

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2024/208

Dated: 26 June 2024

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

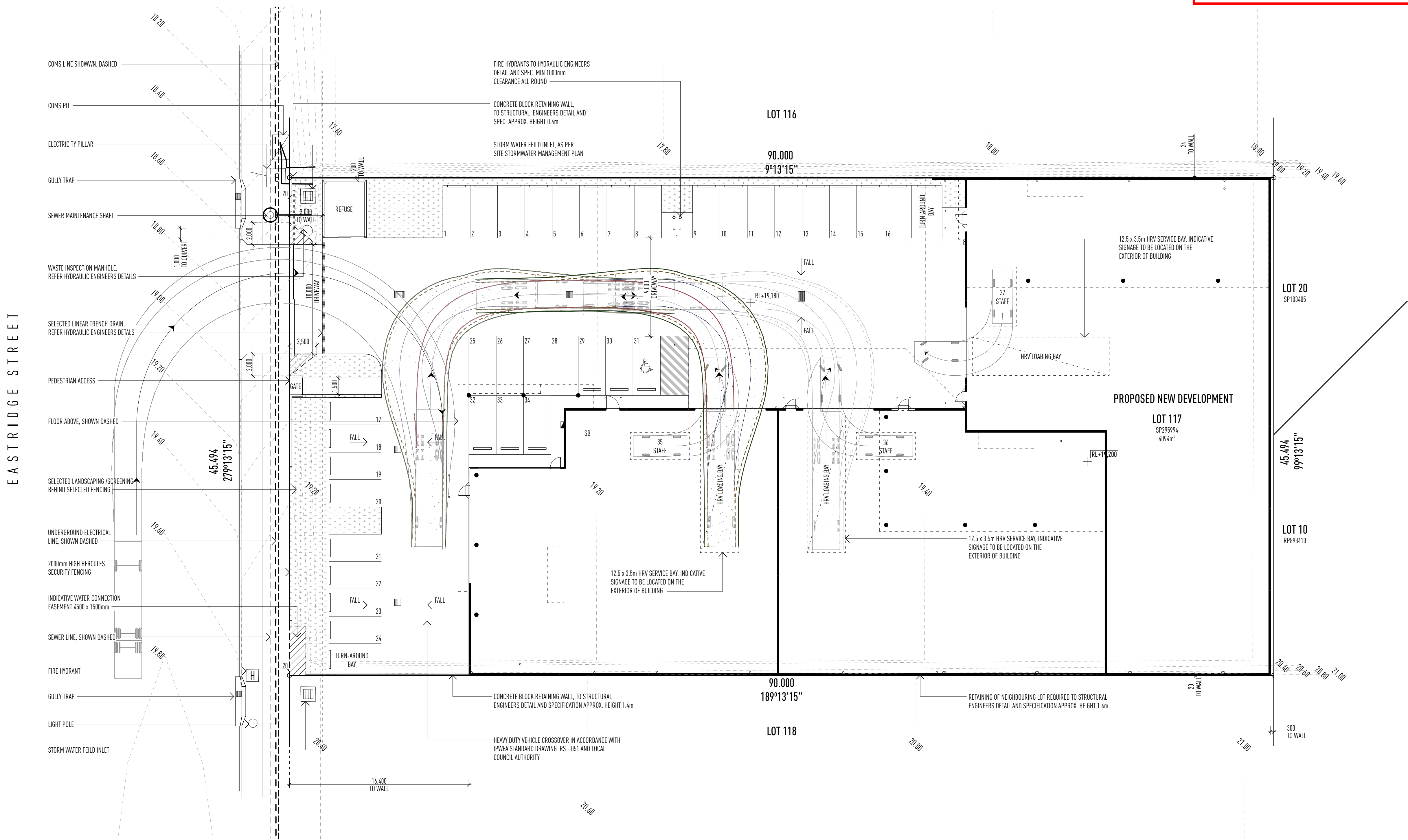
FOR APPROVAL

NOTE

- REINSTATE SURROUNDS WHERE CONSTRUCTION HAS DISTURBED, REMOVE ALL DEBRIS, SURPLUS EXCAVATION / FILL FROM SITE. REGRASS AND GENERALLY LEAVE TIDY.
- ENSURE THAT FINISHED GROUND AND PAVING SURFACES FALL AWAY FROM THE HOUSE AND DRAIN TO AVOID PONDING OF WATER, GRADED TO A SLOPE NOT LESS THAN 1:20 OVER THE FIRST 1000mm FROM THE BUILDING.
- STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH BCA PARTS 3.1.2 & 3.5.2. IN ADDITION TO AS/NZS 3500 & DISCHARGED TO LOCAL AUTHORITIES REQUIREMENTS. REFER HYDRAULIC ENGINEERS DETAILS.
- ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS AS REQUIRED.
- THE HEIGHT IF OVERFLOW RELIEF GULLYS RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.
- CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 90mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80 DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
- FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH B.C.A E1.6 AND SELECTED, LOCATED AND DISTRIBUTED IN ACCORDANCE WITH AS 2444.
- DRIVEWAY
1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS
- ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC. ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC

EXCAVATION NOTES

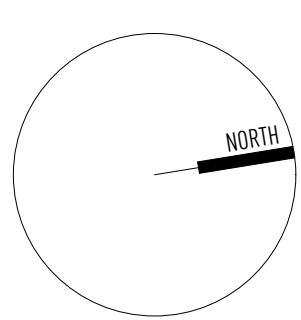
- BANKS TO BE BATTERED IN ACCORDANCE WITH THE BCA, PART 3.1.1 RETAINING WALLS THAT EXCEED 1m IN HEIGHT WILL REQUIRE ADDITIONAL APPROVAL PRIOR TO THE RELEASE OF A FINAL CERTIFICATION FORM 21.
- CONTOURS AND LEVELS MAY BE BASED ON PROPOSED SITE INFORMATION ONLY. CHECK AND VERIFY ALL CONTOUR AND SPOT LEVELS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- GRADE SITE AWAY FROM BUILDING A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO THE PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES.



SITE PLAN

1:200 @ A1

ISSUE	DATE	DESCRIPTION
A	03.04.24	MINOR CHANGE APPLICATION PACKAGE



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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD

FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m			10m		20m
DRAWING SITE PLAN			DRAWING No. BP1358/WD/1.01		
			ISSUE A		
DRAWN	CV / KF / RC		two clicks design		
DATE	APRIL '24				
SCALE	1:200 @ A1				

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BICYCLE STORAGE FACILITIES

VERTICAL STORAGE RACKS TO BE PROVIDED AND IN ACCORDANCE WITH AS2890.3 BICYCLE PARKING FACILITIES.

BICYCLE STORAGE LAYOUT IS TO BE IN ACCORDANCE WITH AS2890.3 SECTION 2 FIGURE 2.4 - VERTICAL STORAGE FACILITIES

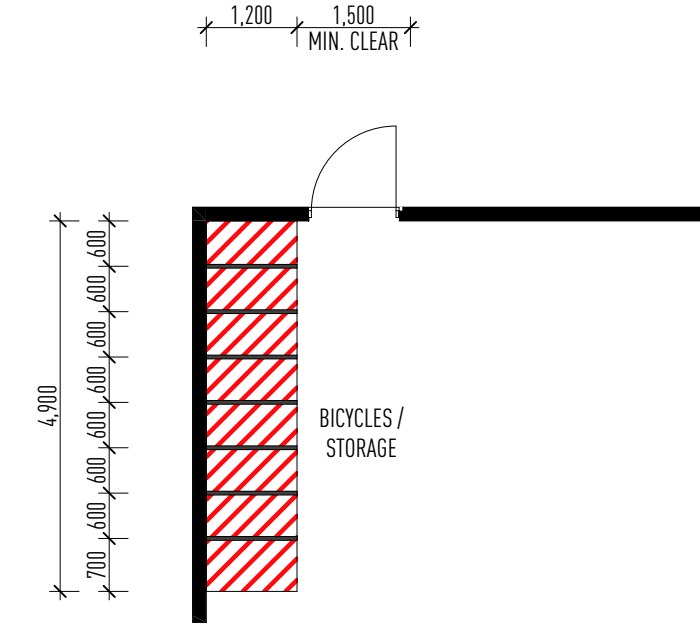
21 BICYCLE PARKS HAVE BEEN ARRANGED TO MEET THE EXAMPLE SET OUT IN AS2890.3 SECTION 2 FIGURE 2.4

BICYCLE PARKING

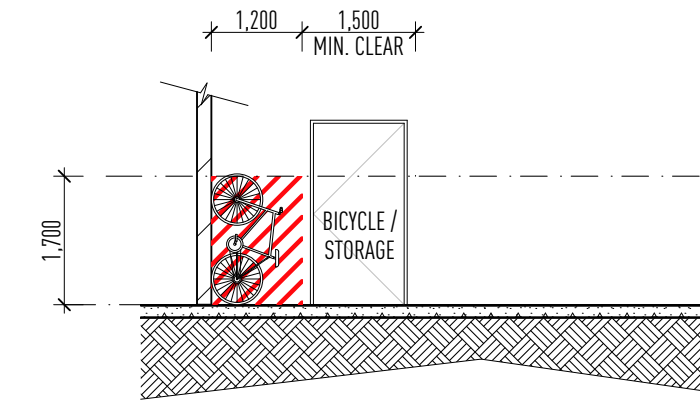
1 : 150 GFA

BICYCLE SPACES REQUIRED: 19

BICYCLE SPACES PROVIDED: 21



TYPICAL BICYCLE STORAGE PLAN 1 : 100



BICYCLE STORAGE DETAIL 1 : 100

WASTE GENERATION GENERAL

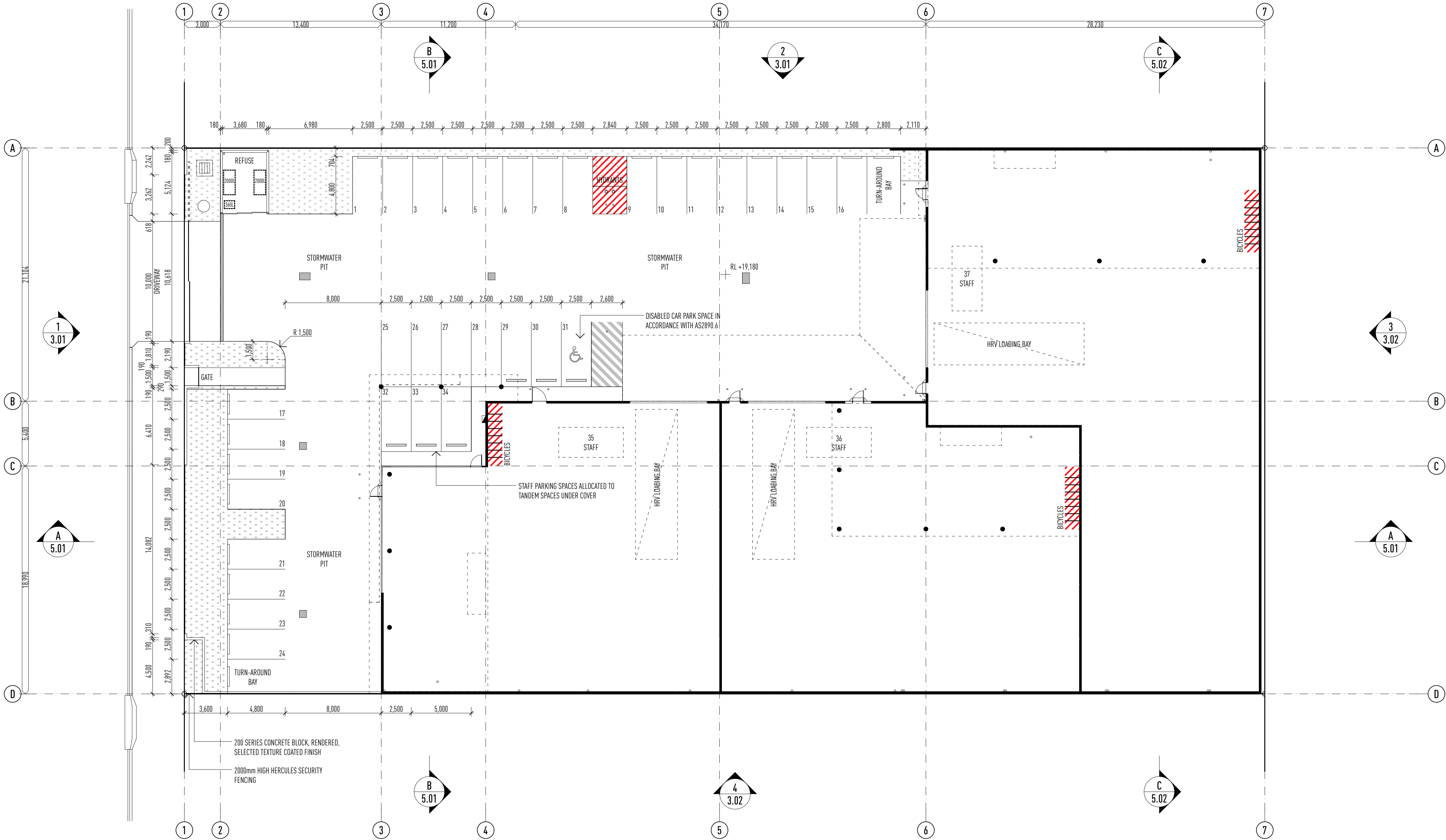
GENERAL	50 LTRS/100m ²	(2,308.5m ²)	=1,154.25	LTRS/DAY
OFFICE	10 LTRS/100m ²	(412.49m ²)	=41.24	LTRS/DAY
TOTAL PER DAY			=1,195.49	LTRS/DAY
TOTAL PER 5 DAY WEEK			=5,977.45	LTRS
1x INDUSTRIAL BINS 3000L (2 PICK UP PER WEEK)			=6000	LTRS
1x INDUSTRIAL BINS 1000L (1 PICK UP PER WEEK)			=1000	LTRS

SIZE	CAPACITY (L)	LENGTH	WIDTH	HEIGHT
-	3000	2630mm	1450mm	1684mm
-	1000	1738mm	901mm	1310mm

WASTE GENERATION RECYCLE

RECYCLE	20 LTRS/100m ²	(412.49m ²)	=82.49	LTRS/DAY
OFFICE			=82.49	LTRS/DAY
TOTAL PER DAY			=164.98	LTRS/DAY
TOTAL PER WEEK			=1154.86	LTRS
1 x WHEELIE BINS 360L (2 PICK UP PER WEEK)			=720	LTRS

SIZE	CAPACITY (L)	LENGTH	WIDTH	HEIGHT
-	360	865	650	1100



SITE DEVELOPMENT PLAN

1:200 @ A1

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NOTE

NCC 2019 VOLUME 1 PART C: COMPARTMENTATION AND SEPARATION

C2.2 GENERAL FLOOR AREA AND VOLUME LIMITATIONS

(a) THE SIZE OF ANY FIRE COMPARTMENT OR ATRIUM IN A CLASS 5, 6, 7, 8 OR 9 BUILDING MUST NOT EXCEED THE RELEVANT MAXIMUM FLOOR AREA NOR THE RELEVANT MAXIMUM VOLUME SET OUT IN TABLE C2.2 AND C2.5 EXCEPT AS PERMITTED IN C2.3

(b) A PART OF A BUILDING WHICH CONTAINS ONLY HEATING, VENTILATING OR LIFT EQUIPMENT, WATER TANKS, OR SIMILAR SERVICE UNITS IS NOT COUNTED IN THE FLOOR AREA OR VOLUME OF A FIRE COMPARTMENT OR ATRIUM IF IT IS SITUATED AT THE TOP OF THE BUILDING.

(c) IN A BUILDING CONTAINING AN ATRIUM, THE PART OF THE ATRIUM WELL BOUNDED BY THE PERIMETER OF THE OPENINGS IN THE FLOORS AND EXTENDING FROM THE LEVEL OF THE FIRST FLOOR ABOVE THE ATRIUM FLOOR TO THE ROOF COVERING IS NOT COUNTED IN THE VOLUME OF THE ATRIUM FOR THIS CLAUSE.

NCC 2019 VOLUME 1 PART E2: SMOKE HAZARD MANAGEMENT

EP4.3 EMERGENCY WARNING AND INTERCOM SYSTEM

TO WARN OCCUPANTS OF AN EMERGENCY AND ASSIST EVACUATION OF A BUILDING, AN EMERGENCY WARNING AND INTERCOM SYSTEM MUST BE PROVIDED, TO THE DEGREE NECESSARY, APPROPRIATE TO:-

(a) THE FLOOR AREA OF THE BUILDING; AND

(b) THE FUNCTION OR USE OF THE BUILDING; AND

(c) THE HEIGHT OF THE BUILDING.

NCC 2019 VOLUME 1 PART E2: SMOKE HAZARD MANAGEMENT

E2.2 GENERAL REQUIREMENTS

(a) A BUILDING MUST COMPLY WITH (b), (c), (d) AND -

(i) TABLE E2.2a AS APPLICABLE TO CLASS 2 TO 9 BUILDINGS SUCH THAT EACH SEPARATE PART

COMPLIES WITH THE RELEVANT PROVISIONS FOR THE CLASSIFICATION; AND

(ii) TABLE E2.2b AS APPLICABLE TO CLASS 6 AND 9b BUILDINGS SUCH THAT EACH SEPARATE PART COMPLIES WITH THE RELEVANT PROVISIONS FOR THE CLASSIFICATION.

(d) A SMOKE DETECTION SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH CLAUSE 6 OF SPECIFICATION E2.2a TO OPERATE AS1668.1 SYSTEMS THAT ARE PROVIDED FOR ZONE PRESSURISATION AND AUTOMATIC AIR PRESSURISATION OF FIRE ISOLATED EXITS.

E2.2 GENERAL REQUIREMENTS - EXTRACT FROM TABLE E2.2a

BUILDINGS NOT MORE THAN 25m IN EFFECTIVE HEIGHT

CLASS 5, 6, 7b, 8 AND 9b BUILDINGS IN A-

(b) CLASS 6, 7b, 8 OR 9b BUILDING (OTHER THAN A SCHOOL) OR PART OF A BUILDING HAVING A RISE IN STOREYS OF MORE THAN 2, OR

THE BUILDING MUST BE PROVIDED WITH-

(d) IN EACH FIRE ISOLATED STAIRWAY, INCLUDING ANY ASSOCIATED FIRE ISOLATED PASSAGEWAY OR FIRE ISOLATED RAMP; AN AUTOMATIC AIR PRESSURISATION SYSTEM FOR FIRE ISOLATED EXITS IN ACCORDANCE WITH AS 1668.1; OR

(e) A ZONE PRESSURISATION SYSTEM BETWEEN VERTICALLY SEPERATED FIRE COMPARTMENTS IN ACCORDANCE WITH AS1668.1, IF THE BUILDING HAS MORE THAN ONE FIRE COMPARTMENT; OR

(f) AN AUTOMATIC SMOKE DETECTION AND ALARM SYSTEM COMPLYING WITH SPECIFICATION E2.2a; OR

(g) A SPRINKLER SYSTEM (OTHER THAN FPA1010D OR FPA1010H SYSTEM) COMPLYING WITH SPECIFICATION E1.5

NCC 2019 VOLUME 1 PART E2: SMOKE HAZARD MANAGEMENT

CLAUSE 4. SMOKE DETECTION SYSTEM

(a) IN ALL CLASSES 2 - 9 BUILDINGS-

(i) A SMOKE DETECTION SYSTEM MUST -

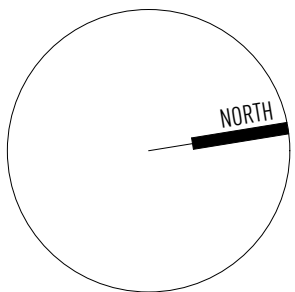
(A) SUBJECT TO (b) AND (c), COMPLY WITH AS1670.1, AND

(B) ACTIVATE A BUILDING OCCUPANT WARNING SYSTEM IN ACCORDANCE WITH CLAUSE 7

CLAUSE 7. BUILDING OCCUPANT WARNING SYSTEM

SUBJECT TO E4.9, A BUILDING OCCUPANT WARNING SYSTEM PROVIDED AS PART OF A SMOKE HAZARD MANAGEMENT SYSTEM MUST COMPLY WITH CLAUSE 3.22 OF AS1670.1 TO SOUND THROUGH ALL OCCUPIED AREAS EXCEPT

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PROJECT

PROPOSED NEW DEVELOPMENT

AT

LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR

EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE

SURFERS PARADISE, Q. 4217 AUSTRALIA

PO BOX 42

ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300

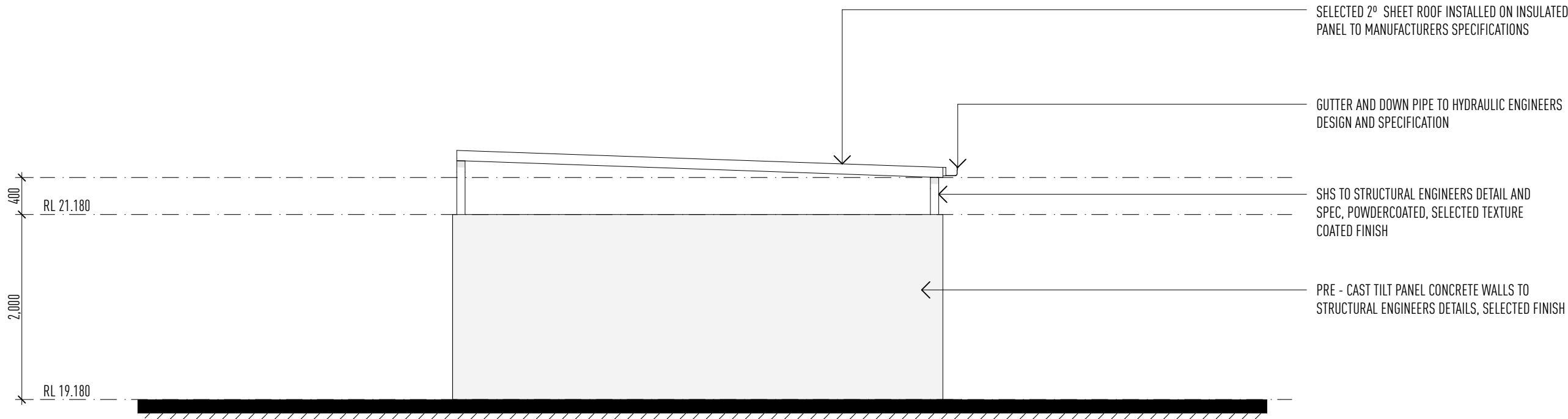
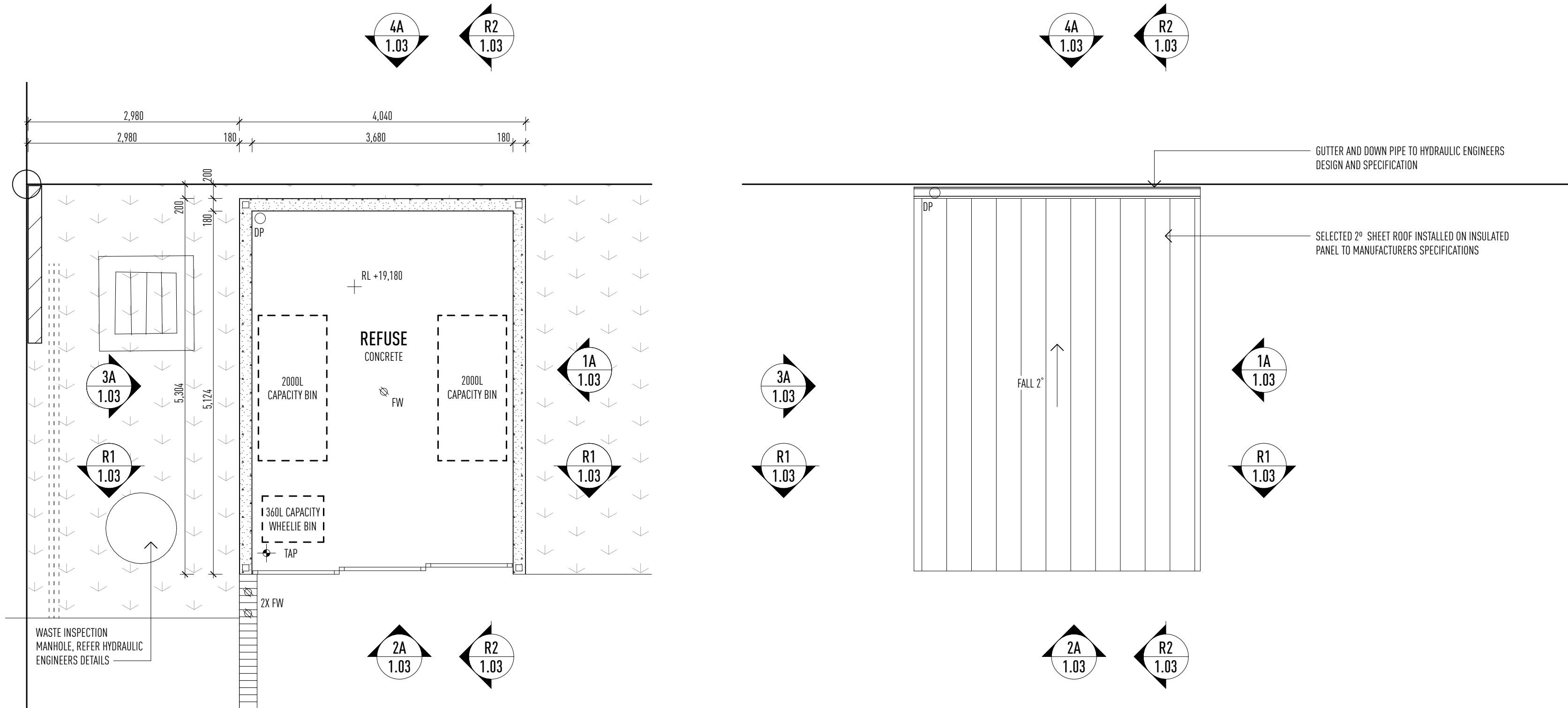
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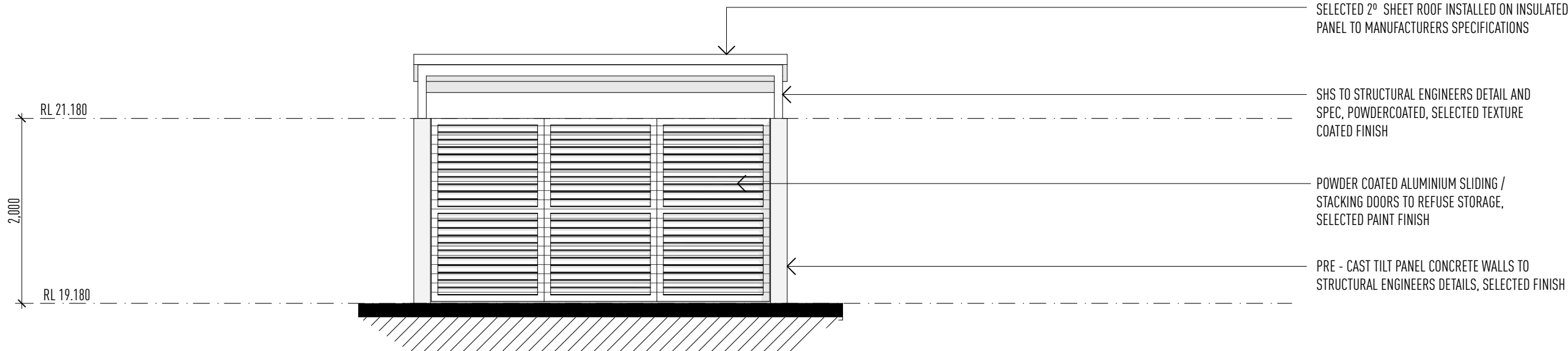


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DRAWING	SITE DEVELOPMENT PLAN	
DRAWN	CV / KF / RC	DRAWING No. BP1358/WD/1.02
DATE	APRIL '24	ISSUE A
SCALE	1:200 @ A1	

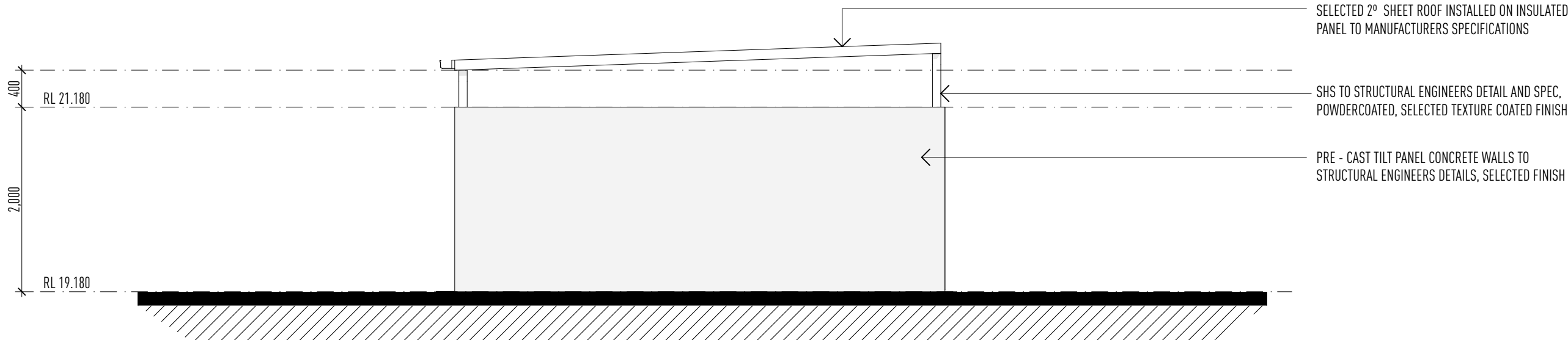
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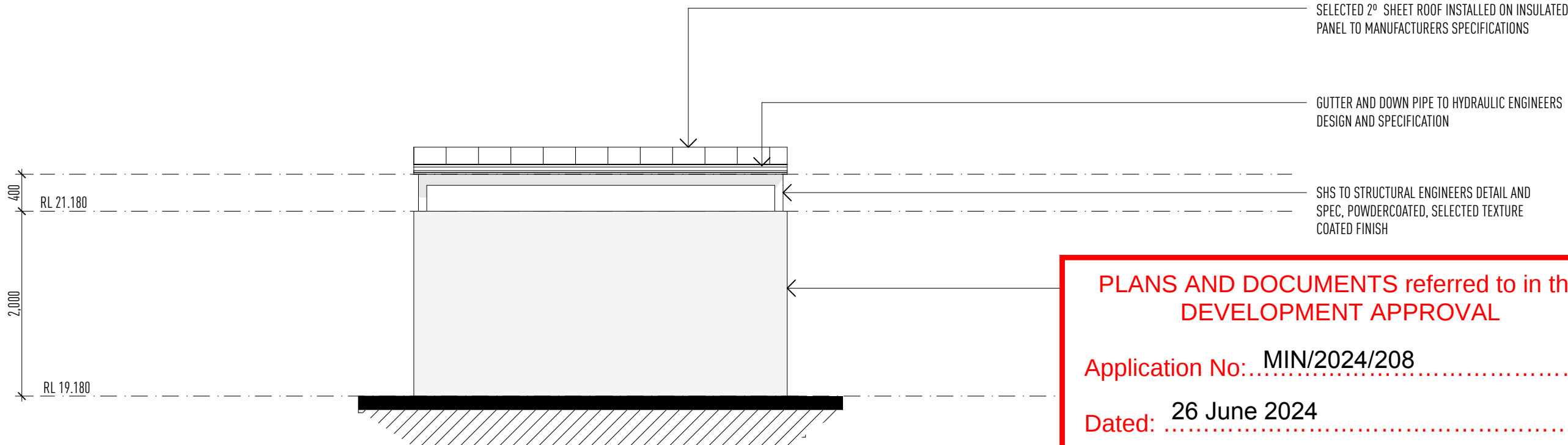
ELEVATION 1 1:50



ELEVATION 2 1:50

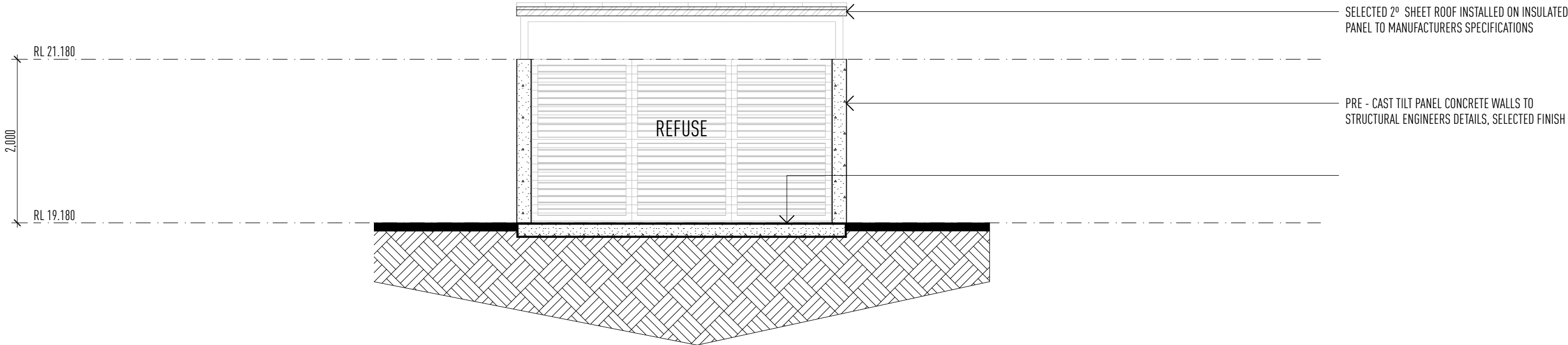


ELEVATION 3 1:50

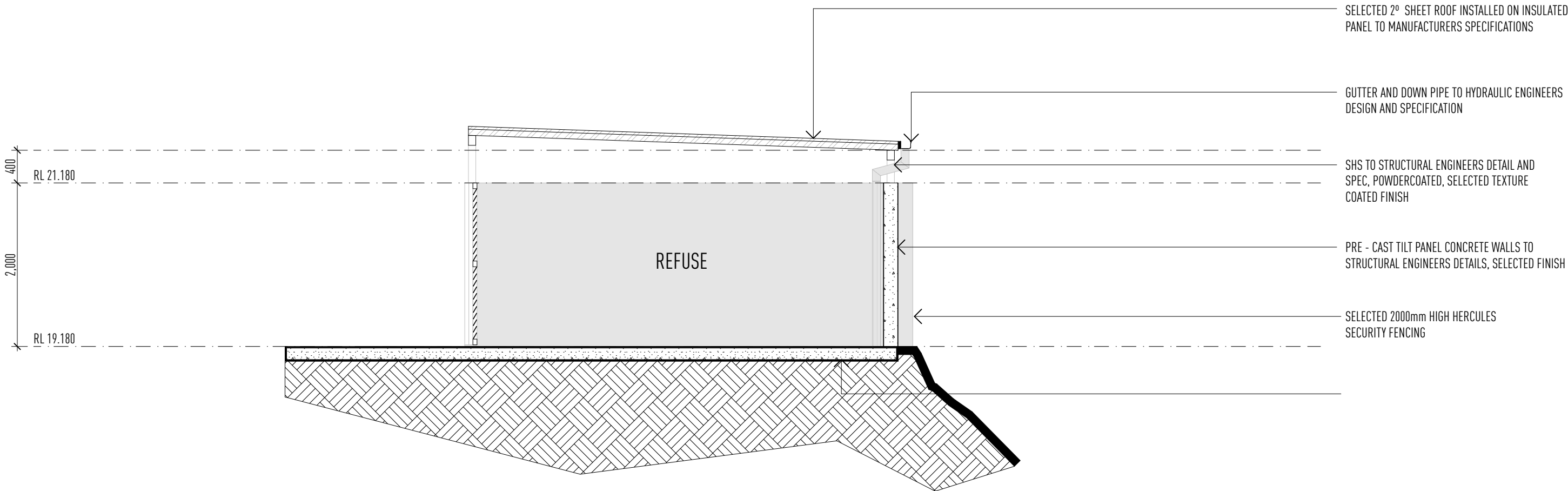


ELEVATION 4 1:50

SECTION R1 1:50



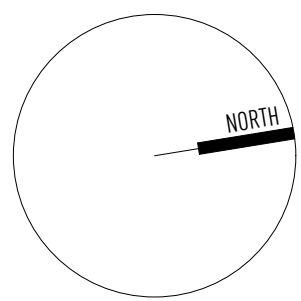
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REFUSE DETAILS

1:50 @ A1

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AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



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DRAWN CV / KF / RC	DATE APRIL '24	SCALE 1:50 @ A1

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LEGEND - LANDSCAPE PLAN

- TURF
- HEDGES
- TREES



LANDSCAPE INTENT PLANS

1:200, 2:1 @ A1

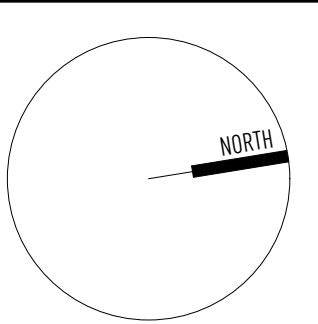
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AT

LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR

Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



DRAWING

LANDSCAPE INTENT PLANS

DRAWN CV / KF / RC

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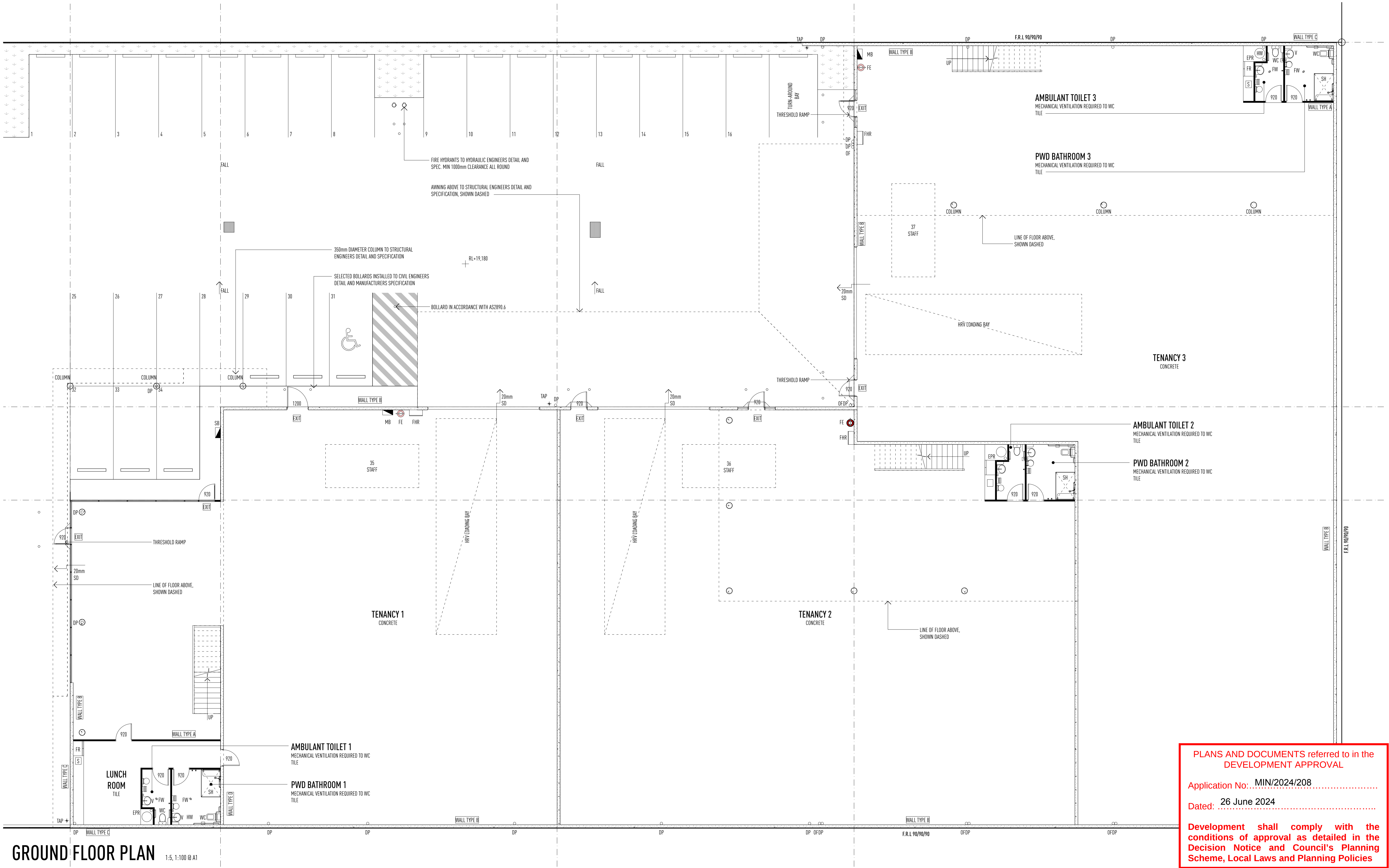
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ISSUE

A

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GROUND FLOOR PLAN 1:5, 1:100 @ A1

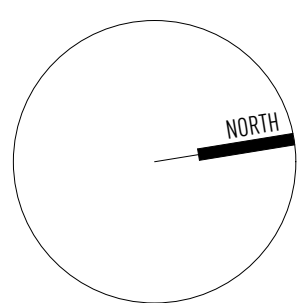
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B	22.04.24	CHANGES TO AREA DIAGRAM



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TEL 07 5527 5300
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DRAWING GROUND FLOOR PLAN		DRAWING No. BP1358/WD/2.01	ISSUE A
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VERTICAL BLADES TO BUILDERS SPECIFICATION, POWDER
COATED ALUMINIUM, SELECTED PAINT FINISH

AWNING ABOVE TO STRUCTURAL ENGINEERS DETAIL AND
SPECIFICATION, SHOWN DASHED

SUSPENDED CONCRETE SLAB TO STRUCTURAL
ENGINEERS SPECIFICATION

DOUBLE SWING BOOM GATE TO
MANUFACTURERS SPECIFICATION

6,500mm HIGH ELECTRIC ROLLER DOOR

VERTICAL BLADES TO BUILDERS
SPECIFICATION, POWDER COATED
ALUMINIUM, SELECTED PAINT FINISH

50mm
SD

6,500mm HIGH ELECTRIC ROLLER DOOR

SUSPENDED CONCRETE SLAB TO
STRUCTURAL ENGINEERS SPECIFICATION

6,500mm HIGH ELECTRIC ROLLER DOOR

SUSPENDED CONCRETE SLAB TO STRUCTURAL
ENGINEERS SPECIFICATION

DOUBLE SWING BOOM GATE TO
MANUFACTURERS SPECIFICATION

VOID TO INDUSTRY BELOW

VOID TO INDUSTRY BELOW

VOID TO INDUSTRY BELOW

TENANCY 1
OFFICE
CARPET

TENANCY 1
MEZZANINE
CONCRETE

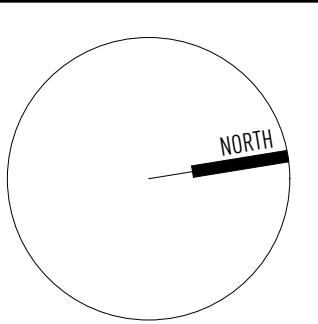
TENANCY 2
OFFICE
CARPET

TENANCY 2
MEZZANINE
CONCRETE

TENANCY 3
OFFICE
CARPET

TENANCY 3
MEZZANINE
CONCRETE

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TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
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					ISSUE A
2m5m10m					
DRAWING FIRST FLOOR PLAN			DRAWING No. BP1358/WD/2.02		
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OVER FLOW TO HYDRAULIC ENGINEERS
DETAIL AND SPEC.

KLIP LOK ROOF INSTALLED TO MANUFACTURERS SPECIFICATIONS ON 2" STEEL RAFTERS TO STRUCTURAL ENGINEERS DESIGN, 50mm INSULATION BLANKET TO UNDERSIDE

AWNING TO ROLLER DOORS, 3" ON GALVANISED STEEL FRAME, FALL TO BOX GUTTER TO STRUCTURAL ENGINEERS DETAIL AND SPEC, INSTALLED TO MANUFACTURERS SPECIFICATION

PARAPET WALL TO BUILDERS SPECIFICATION, FULLY TANKED AND WATERPROOFED

FLASHING / CAPPINGS TO TOP OF PARAPET WALLS, FALL TO INSIDE

BOX GUTTER AND DOWN PIPE TO HYDRAULIC ENGINEERS DESIGN AND SPECIFICATION

FALL 2"

FALL 2"

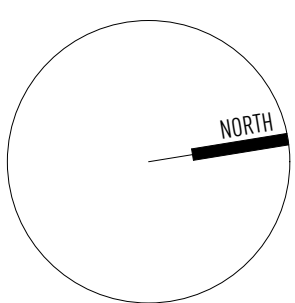
ROOF ANCHOR POINTS TO BE INSTALLED FOR MAINTENANCE, AS PER MANUFACTURERS SPECIFICATION AND TO AS5532

BOX GUTTER AND DOWN PIPE TO HYDRAULIC ENGINEERS DESIGN AND SPECIFICATION

ROOF PLAN

1:100 @ A1

ISSUE	DATE	DESCRIPTION
A	03.04.24	MINOR CHANGE APPLICATION PACKAGE
B	22.04.24	CHANGES TO AREA DIAGRAM



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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR
Eastridge 117 Pty Ltd

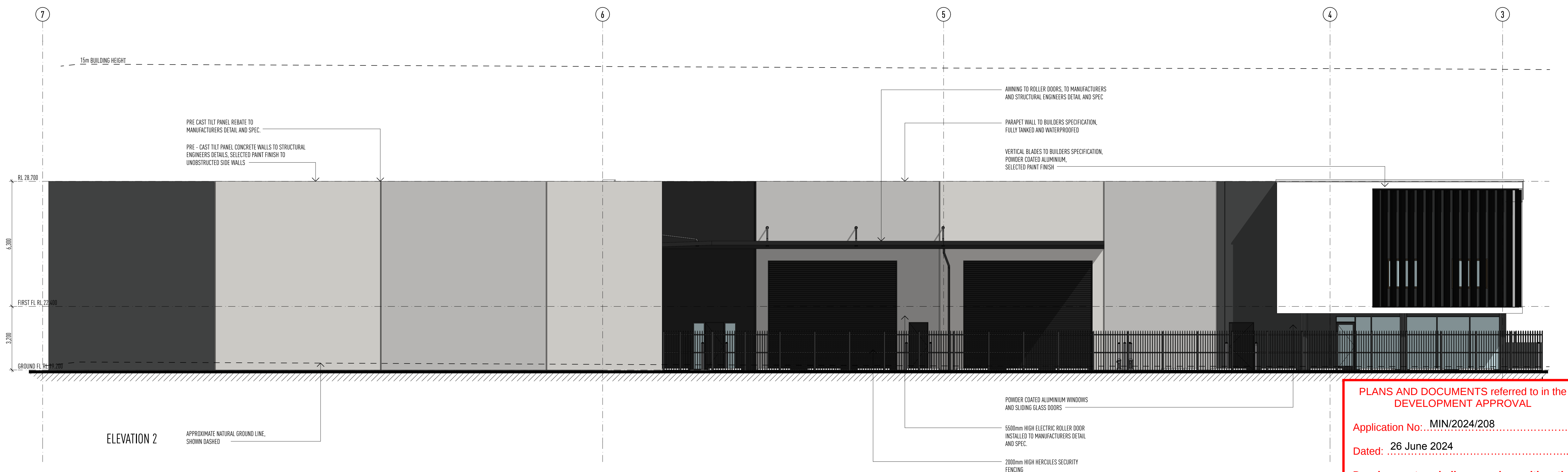
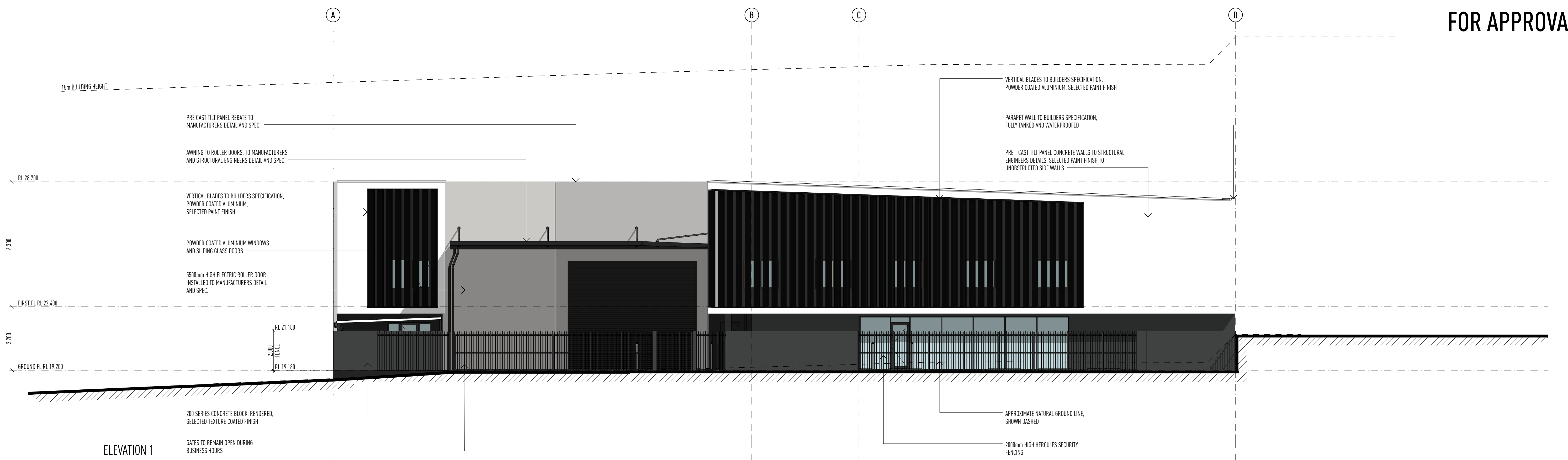
LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



DRAWING ROOF PLAN		DRAWING No. BP1358/WD/2.03	ISSUE A
DRAWN	CV / KF / RC		
DATE	APRIL '24		
SCALE	1:100 @ A1		

two clicks design



ELEVATION 1 & 2 1:100 @ A1

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2024/208

Dated: 26 June 2024

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AT
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FOR
Eastridge 117 Pty Ltd

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PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

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2m5m10m

DRAWING
ELEVATION 1 & 2

DRAWN CV / KF / RC

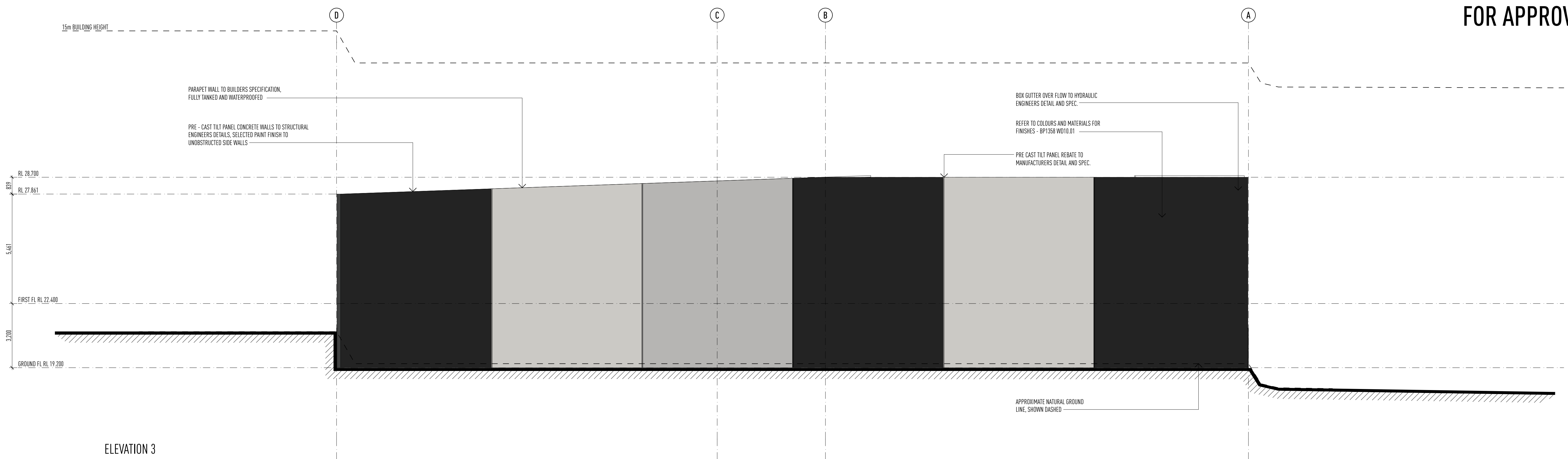
DATE APRIL '24

SCALE 1:100 @ A1

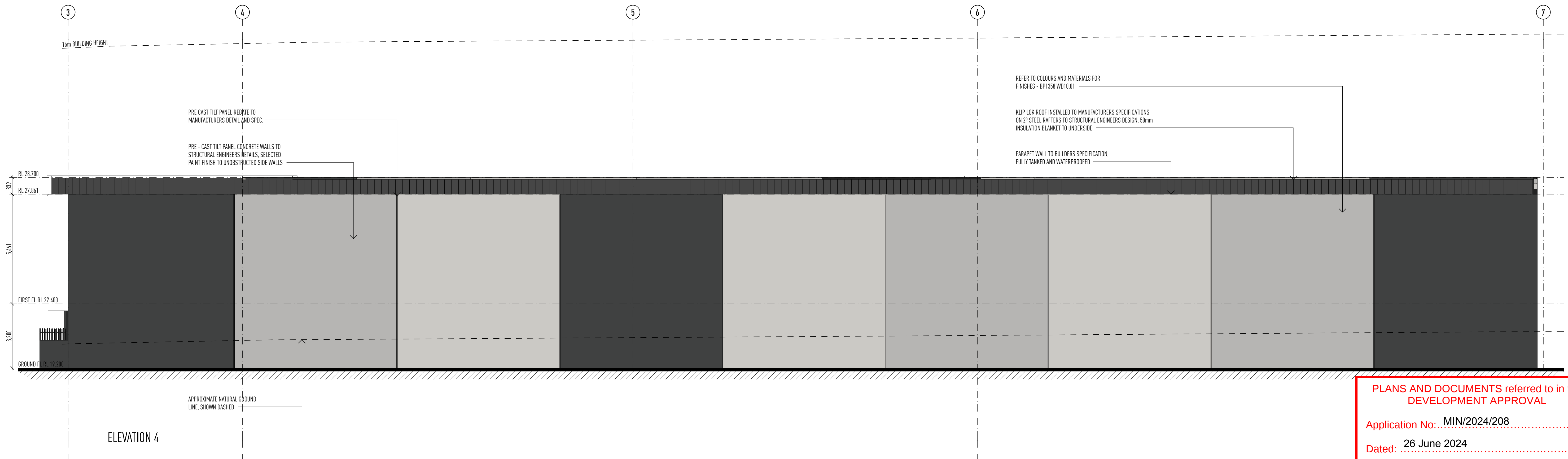
DRAWING No.
BP1358/WD/3.01

ISSUE
A

two clicks design



ELEVATION 3



ELEVATION 4

ELEVATION 3 & 4

1:100 @ A1

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ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
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2m5m10m

DRAWING
ELEVATION 3 & 4

DRAWN
CV / KF / RC

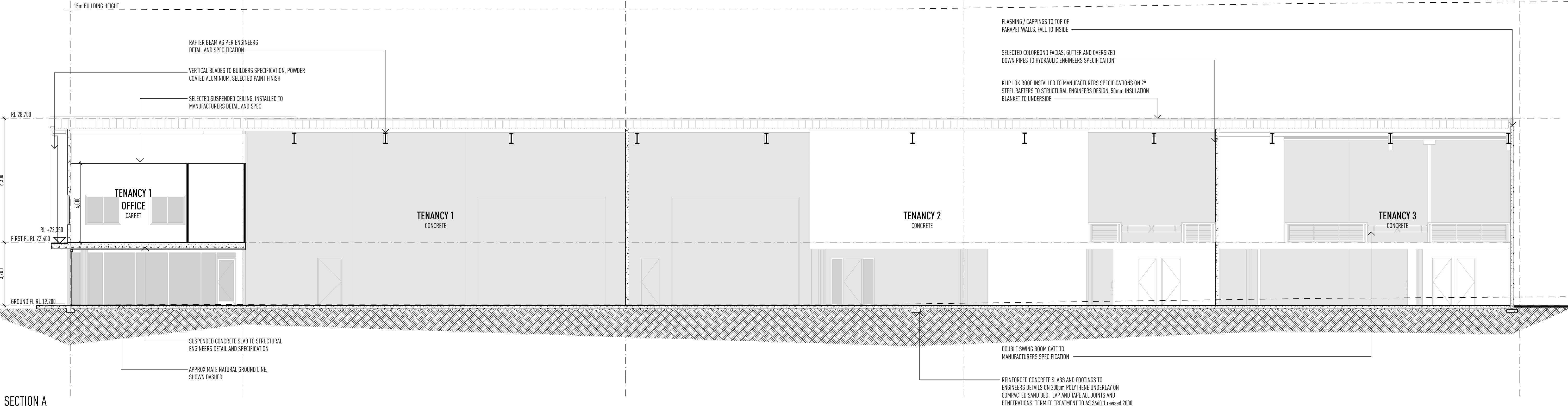
DATE
APRIL '24

SCALE
1:100 @ A1

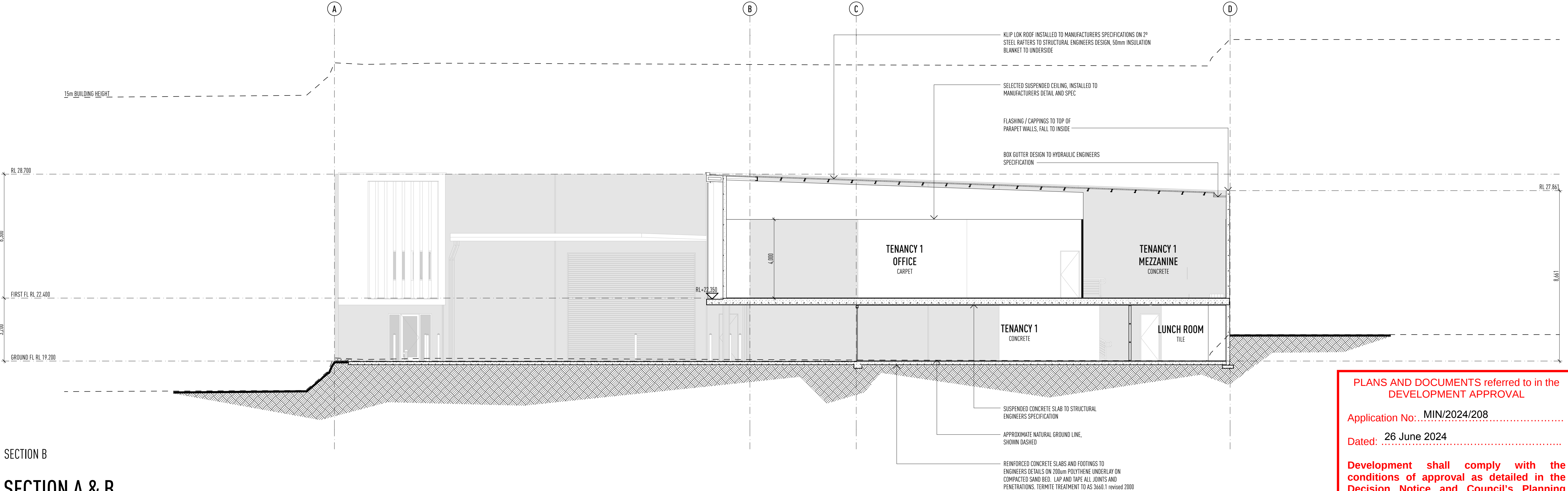
DRAWING No.
BP1358/WD/3.02

ISSUE
A

two clicks design



SECTION A



SECTION B

SECTION A & B

1:100 @ A1

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FOR
Eastridge 117 Pty Ltd

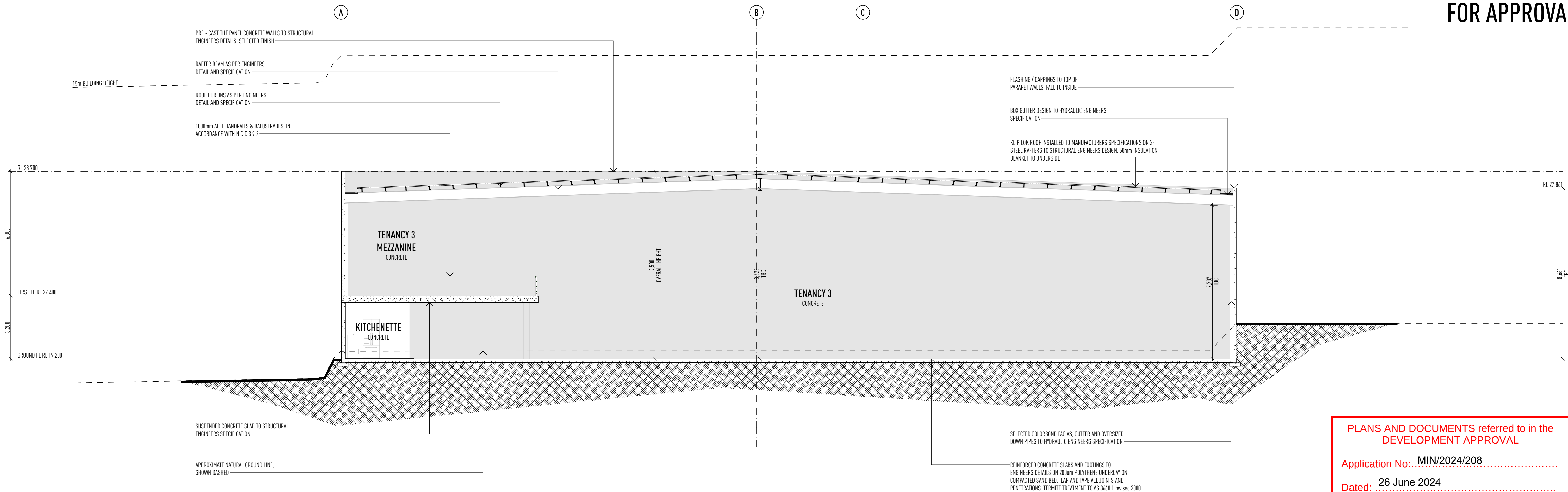
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TEL 07 5527 5300
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DRAWING SECTION A & B		DRAWING No. BP1358/WD/5.01	ISSUE A
DRAWN	CV / KF / RC		
DATE	APRIL '24		
SCALE	1:100 @ A1		

two clicks design



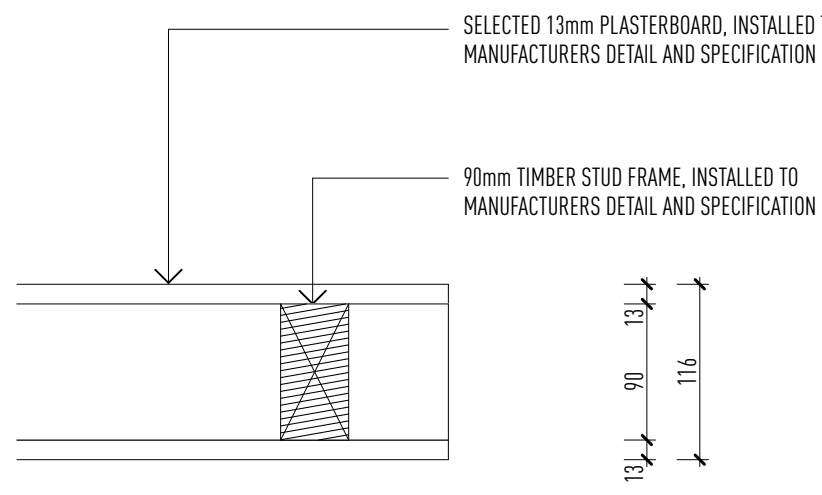
PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2024/208

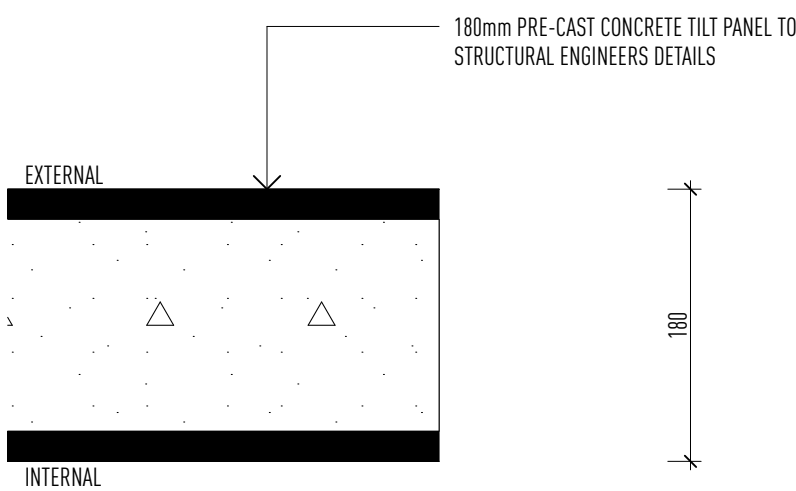
Dated: 26 June 2024

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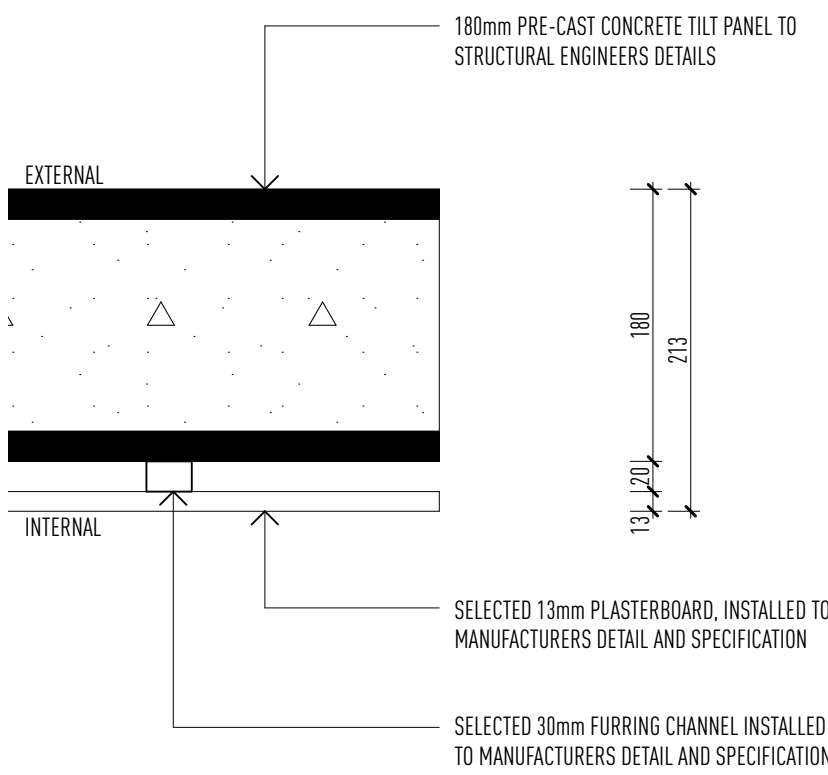
SECTION C



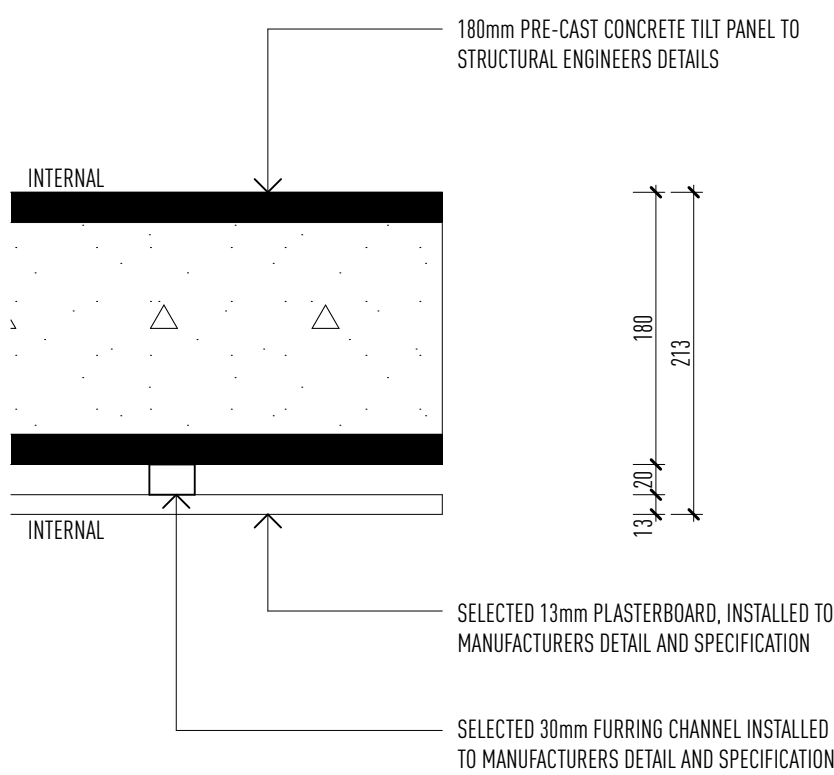
WALL TYPE A 1:5



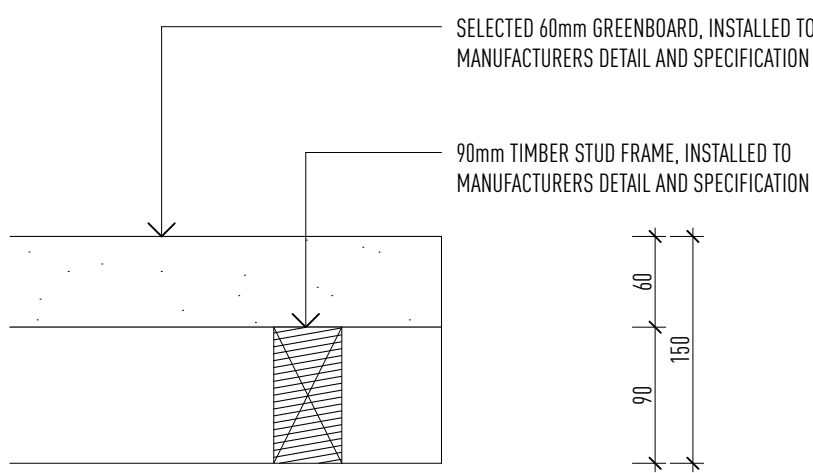
WALL TYPE B 1:5



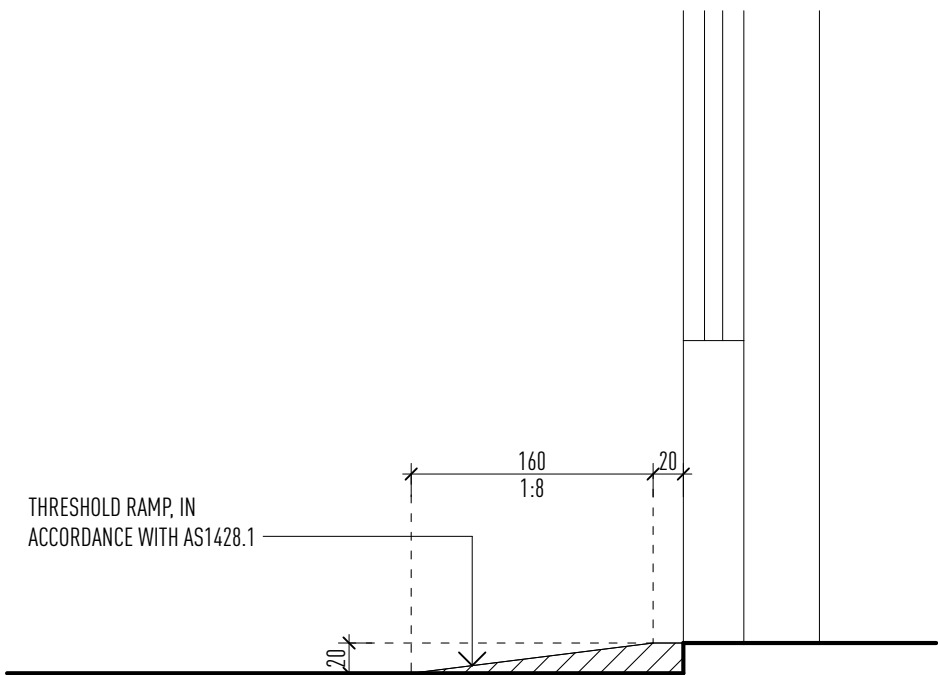
WALL TYPE C 1:5



WALL TYPE D 1:5



WALL TYPE E 1:5



THRESHOLD RAMP 1:5

SECTION C & WALL TYPES 1:100, 1:5 @ A1

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PROPOSED NEW DEVELOPMENT

AT

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FOR

EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE

SURFERS PARADISE, Q. 4217 AUSTRALIA

P.O. BOX 42

ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL

07 5527 5300

EMAIL

INFO@JPD.COM.AU

WEB

WWW.JPD.COM.AU

2m5m10m

DRAWING

SECTION C & WALL TYPES

DRAWING No.

BP1358/WD/5.02

ISSUE

A

DRAWN

CV / KF / RC

DATE

APRIL '24

SCALE

1:100, 1:5 @ A1

two clicks design



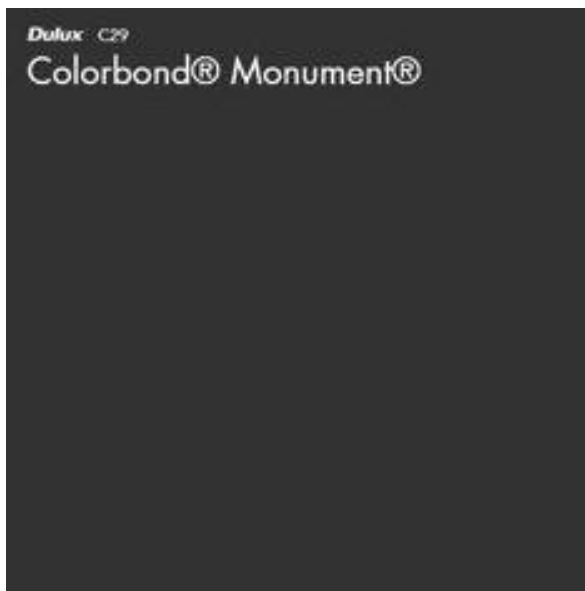
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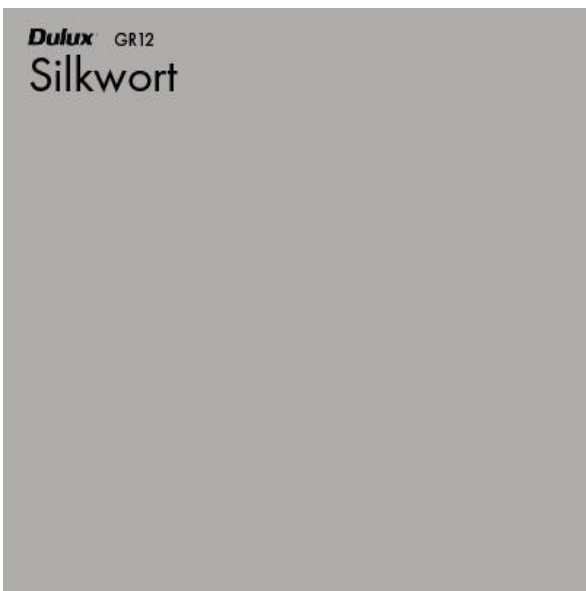
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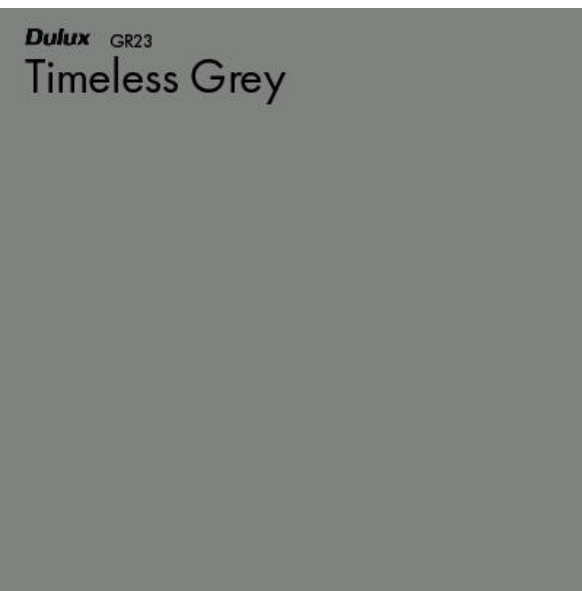
WALLS
RENDER 1
DULUX PAINT OR SIMILAR
COLOURBOND MONUMENT

2



WALLS
RENDER 1
DULUX PAINT OR SIMILAR
SILKWORD

3



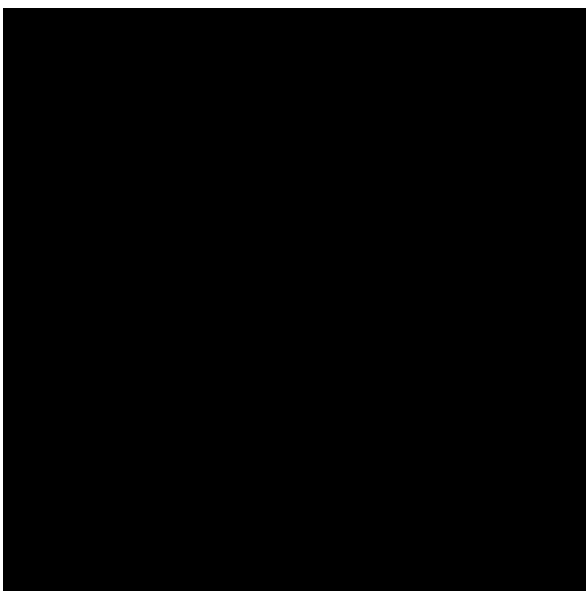
WALLS
RENDER 1
DULUX PAINT OR SIMILAR
TIMELESS GREY

4



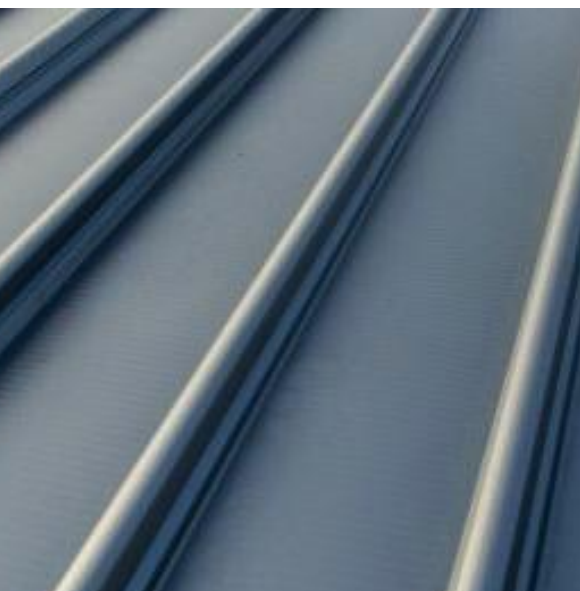
WALLS
RENDER 2
RESENE PAINT OR SIMILAR
DOUBLE ALABASTER

5



WINDOW AND DOOR FRAMES, GATE
POWDER COATED
-
BLACK

6



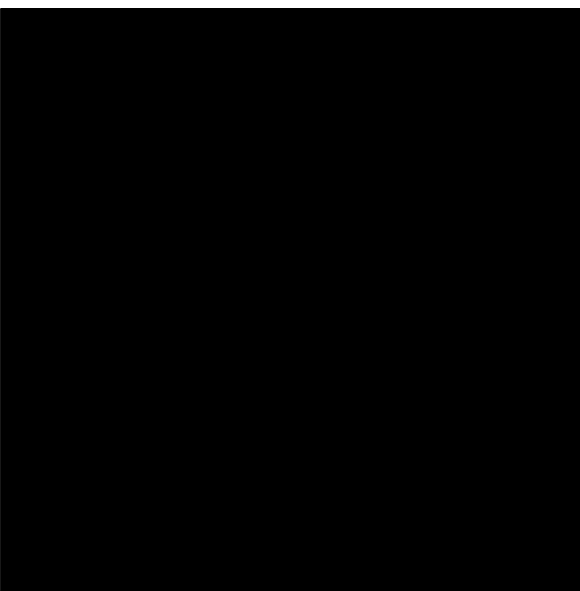
ROOF
KLIP LOCK ROOF SHEETING
POWDER COAT
COLOURBOND MONUMENT OR SIMILAR

7



DRIVEWAY
SELECTED CONCRETE FINISH
-
GREY

8



ALUMINIUM BATTEN SCREENS, ROLLER DOORS
SELECTED ALUMINIUM BATTENS
POWDER COAT
BLACK

COLOURS AND MATERIALS

1:0.974 @ A1

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PO BOX 42

ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL

07 5527 5300

EMAIL

INFO@JPD.COM.AU

WEB

WWW.JPD.COM.AU



DRAWING

COLOURS AND MATERIALS

DRAWN

CV / KF / RC

DATE

APRIL '24

SCALE

1:0.974 @ A1

DRAWING No.

BP1358/WD/10.01

ISSUE

A

two clicks design