

Date: 10 June 2024
Contact: Ruwangi Samarasekera
Location: City Development
Telephone: 07 5582 8866
Your reference:
Our reference: COM/2024/133

Devanco Properties Pty Ltd
C/ Gassman Development Perspectives
PO BOX 392
BEENLEIGH QLD 4207

Dear Sir/Madam

Information Request

I refer to the development application lodged by:
Devanco Properties Pty Ltd

in relation to development of land/premises described as:
Lot 101 SP316137, Lot 102 SP316137 – 1 Homestead Drive, Stapylton Qld 4207

Council of the City of Gold Coast (Council) officers have reviewed the development application and supporting information and determined that further information is required to properly assess the application.

Pursuant to sections 13.2 and 13.3 of the Development Assessment Rules under the *Planning Act 2016*, the applicant may respond to this information request by giving to the assessing authority:

- 1 all of the information requested below; or
- 2 part of the information requested below; or
- 3 part of the information requested below together with a notice advising the assessing authority that it must proceed with the assessment of the application; or
- 4 a notice stating that none of the information requested below will be provided; or
- 5 a notice stating that none of the information requested below will be provided together with a notice advising the assessing authority that it must proceed with the assessment of the application.

You are advised that pursuant to section 13.1 of the Development Assessment Rules, the period for the applicant to respond to this information request is three (3) months of the date of this letter.

If no response is provided or only part of the information is provided to this request within the three (3) month period, Council will continue its assessment of the application based on the information submitted.

It would be in the applicant's best interest to address all of the information requested.
Please note that the provision of sufficient information to properly assess an application is a requirement for a favourable decision.

INFORMATION REQUEST

1. Portable Long Service Levy payment

In accordance with section 77(2) of the **Building and Construction Industry (Portable Long Service Leave) Act 1991**, Council cannot issue a development permit for Operational Works unless it has sighted -

- a) An approved form issued by the Authority that clearly shows –
 - i) That the levy or the first instalment of the levy has been paid; or
 - ii) That an exemption from payment of the levy exists in relation to the work; or
 - iii) That an exemption from immediate payment of the levy exists in relation to the work; or
- b) Written advice from the Authority stating something mentioned in paragraph (a).

Please provide evidence that section 75 of the Act with respect to payment of the levy has been complied with.

2. Water and Waste assessment

Drawing 6228 ENG WM001 REV B (WATER METER PLAN AND DETAILS)

1. Remove reference to ready tap fittings from the plans noting as per the SEQ Civil IPAM list CoGC does not accept the use of pretapped connectors.
2. As per note 8 on CoGC std dwg 11-151-B, the pipework and bends between the tapping ferrule and the meter assembly is to be amended from DN50 DICL to DN50 Copper pipe with brazed joints.
3. Remove references to 'FIRE' on both sections A and B noting the proposed meter is for domestic potable water supply only and will be required to be fitted with a mechanical water meter

Advice Note:

As of March 1st 2024, the City of Gold Coast Council has adopted a new set of water meter standard drawings which are available on both the SEQ and Council websites. Consider amending drawing '6228 ENG WM001' to reflect Council's latest requirements.

Advice Note

The applicant is advised that should Council give further advice about the application (in accordance with s35 of the DA Rules) to resolve outstanding items not adequately addressed within the information request response, the applicant will be requested to complete a 'Notice to Stop the Current Period' for the above mentioned application until the items within the further advice are adequately addressed. Alternatively, the applicant may choose to provide a reasonable extension to the Decision period, as advised by the Assessment manager. If the applicant does not stop the Current Period or provide a reasonable extension to the Decision period, Council officers will proceed with assessing and deciding the application based on the information provided in the information request response, which could result in an unfavourable recommendation by Council officers.

Notice to Stop the Current Period Form:

<https://dsdmipprd.blob.core.windows.net/general/Applicanttemplate9.0-Noticeaboutstoppingthecurrentperiod.doc>

DA Rules extract:

s35.1 An assessment manager or concurrence agency for the application may, at any time before the application is decided, give further advice about the application to the applicant.

s35.2 Further advice may include advice about how the applicant may change the application.

Response format

As this application was lodged electronically, please direct all future correspondence regarding this application in the required PDF format i.e.:

- **Supporting documents** (separate the supporting documents into individual PDF appendices)
- **Plans** (combine as one single PDF)
- **Specialist reports** (separate each specialist report into individual PDF appendices)

Do not password protect the PDF.

The electronic response should be forwarded to mail@goldcoast.qld.gov.au with the Assessment Manager Ruwangi Samarasekera copied into the email rsamarasekera@goldcoast.qld.gov.au

Please note, all development applications are publicly viewable on the Council's City of Gold Coast's PD Online: cityofgoldcoast.com.au/pdonline

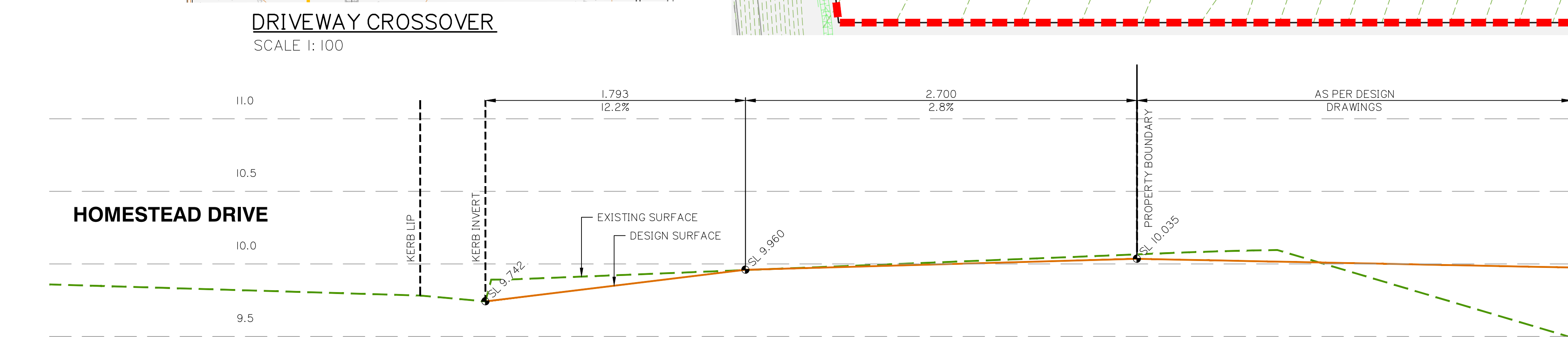
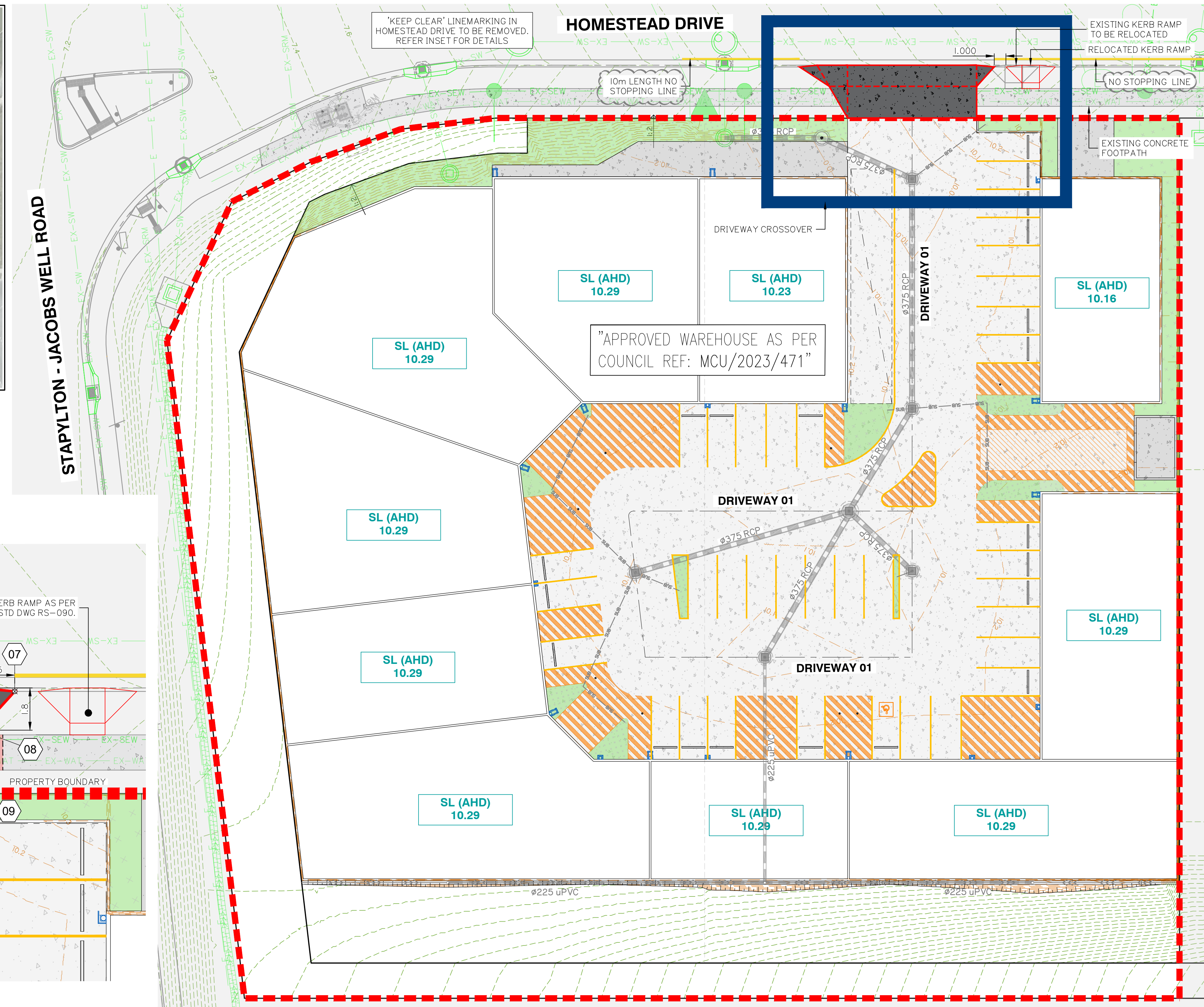
Contacting us

Should you wish to clarify any issues contained in this letter, please do not hesitate to contact Planning Assessment on 07 5582 8866.

AUTHORISED BY



Nathan Seiler
Senior Specialist Civil Engineer - Operational Works
For the Chief Executive Officer
Council of the City of Gold Coast



DRIVEWAY CROSSOVER SETOUT TABLE

PT	NORTHING	EASTING	LEVEL
01	6963.260	2214.264	9.807
02	6965.932	2215.870	9.678
03	6986.946	2216.087	9.489
04	6967.715	2216.940	9.400
05	6965.440	2218.200	9.515
06	6955.818	2223.531	9.954
07	6954.434	2224.127	10.159
08	6954.946	2221.957	10.179
09	6953.638	2219.595	10.247

Project No: 6228	
Designed: JH	Drafted: ML
Approved:	MG
PEQ	16939
Signed:	
Date:	13/03/2024
Drawing No:	Revision:
6228 ENG VXO 400	C

Notification and Payment Confirmation

This form is issued in accordance with the *Building and Construction Industry (Portable Long Service Leave) Act 1991 s77(2)*. Form BCI 14v0.

BUILDING AND CONSTRUCTION WORK DETAILS

QLeave levy number: S368445

Date notified:

Building and construction work description: SHED - INDUSTRIAL

Lot no.: 101&2

Plan no.: SP316137

Building and construction work address: 105 HOMESTEAD DR

Suburb: STAPYLTON

Postcode: 4027

Internal job reference number (if applicable): [TODO]

Total cost of work (GST exclusive): **\$750,000**

Exempted cost of work (GST exclusive): **\$0.00**

Total levy paid: **\$4,312.00**

Start date: 28 Feb 2024

Finish date: 15 Nov 2024

Council: GOLD COAST CITY COUNCIL

Certifier: SEAN IGOE

Owner: ALHAMBRA DEVELOPMENTS PTY LTD & IZINGA PROPERTIES PTY LTD & C THOMPSON

Principal contractor: L&K PROJECT GROUP PTY LTD

QLeave has issued this form to confirm that notification and payment has been received. Under s.77 of the *Building and Construction Industry (Portable Long Service Leave) Act 1991*, all obligations have been met.

Your Assessment Manager (Local Government or Private Certifier - Class A) will require a copy of this form prior to the issue of a development/building permit.

CONTACT QLEAVE

Unit 1 62 Crockford St, Northgate Q 4013 | PO Box 315, Virginia BC Q 4014

Freecall 1800 803 481 | **Email** levies@qleave.qld.gov.au | **Web** www.qleave.qld.gov.au

BUILDING AND CONSTRUCTION WORK COMPLETED

When your building and construction work reaches practical completion, we invite you to submit your final costs and completion date to QLeave. To provide QLeave with these details please complete the building and construction work completed form available at www.qleave.qld.gov.au and send it to levies@qleave.qld.gov.au

PAID

Receipt number

Date paid

Amount paid

41573205573

28 Feb 2024 5:24:26 PM

\$4,312.00

Payer details

Entity type

Entity type

Registered company / partnership

Payer details

Australian Business Number *

93 604 909 792

Entity name

ALHAMBRA DEVELOPMENTS PTY LTD & IZINGA PROPERTIES PTY LTD & C THOMPSON

Entity Description

Other Partnership

Contact details

Contact person *

BRUCE BALLARD

Contact person phone number (including area code) *

0457528035

Contact person e-mail address

bruce@devmcoz.com.au

Postal address

Address line 1 *

23 HARBOUR RISE

Address line 2

Suburb *

HOPE ISLAND

State *

QLD

Postcode *

4212

Building and construction work details

Building and construction work details

Description of work

SHED - INDUSTRIAL

Type of work *

COMMERCIAL / NON-RESIDENTIAL

Estimated start date *

28 Feb 2024

Estimated finish date *

15 Nov 2024

Project owner

☒ Select if project owner details are the same as payer details

Building and construction work address

Lot number

101&2

Plan number

SP316137

Local council *

GOLD COAST CITY COUNCIL

Building and construction work address line 1 *

105 HOMESTEAD DR

Suburb *

STAPYLTON

State *

QLD

Postcode *

4027

Assessment manager (building certifier - private or local council)

Has an assessment manager (building certifier - private or local council) been appointed? *

☒ Yes

☐ No

Name *

SEAN IGOE

Phone number (including area code)

0499560081

Contact e-mail

sean@fluidapprovals.com.au

Principal contractor details

Has a principal contractor been appointed? *

If a Principal Contractor has been appointed it is a requirement under the [Work Health and Safety Regulation 2011 s\(293\)](#) to advise who the Principal Contractor is.

For more information please visit www.worksafe.qld.gov.au - Principal Contractors.

☒ Yes

☐ No

☐ Select if the principal contractor details are the same as the payer details.

Australian Business Number *

14 659 383 687

Entity name

L&K PROJECT GROUP PTY LTD

Business / Trading name

Principal contractor contact name

CLAY KUDLA

Principal contractor contact number

0439249224

Exemptions

You may be eligible for an exemption. You can find a list of exemptions [here on our website](#). Please contact us on 1300 753 283 or email levies@qleave.qld.gov.au before submitting the Notification and Payment form if you believe you may be eligible for an exemption.

Cost of work

Cost of work

Total cost of work in dollars and cents (excluding GST) *

Please note: the cost of work is the total of all costs incurred by the owner that relate to building and construction work, as defined by the *Building and Construction Industry (Portable Long Service Leave) Act 1991*. You can find the [definition of building and construction work on our website](#). For help understanding what costs (direct and indirect) to include in the cost of work, [please read the information here](#).

Whole dollars *

\$750,000

Exemption category

Leviable cost of work

\$750,000

Amount payable

Portable Long Service Leave Levy

\$2,624.50

Construction Skills Queensland Levy

\$750.00

Work Health and Safety Levy

\$937.50

Total levy payable

\$4,312.00

Process submission

Declaration



- I certify that the information provided is true, correct and complete to the best of my knowledge and belief, knowing it is an offence to provide false or misleading information.*



- I agree that this declaration is to be used within the meaning of the [Electronics Transactions \(Queensland\) Act 2001](#) as an electronic communication containing my signature for the purpose of that Act.*

Amount due

\$4,312

Please select a payment option *



Credit/Debit Card

Paying online is safe and easy with our secure Credit/Debit Card facility. Confirmation of notification and payment will be issued immediately upon payment. The following cards are accepted:



Other payment options

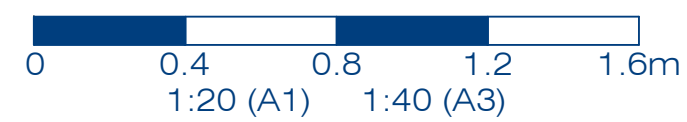
METER ARRANGEMENT PLAN – INSET A

SECTION A – LOT 101 & 102 WATER METER

SECTION B – LOT 101&102 WATER METER

WATER FITTING SCHEDULE

Nº	DESCRIPTION
4	50mm MECHANICAL WATER METER
6	DN50 COPPER PIPE WITH BRAZED JOINTS
7	90° BEND DN50 COPPER CLASS A
17	DN50 BSP BRASS BALL/GLOBE VALVE
18	SCREW ON FLANGE CONNECTOR
21	DN50 IN-LINE BASKET STRAINER
47	DN50 TEST PORT
3	DN50 SWING CHECK VALVE



ON LOT WATER METER WORKS LIVE WORKS SCHEDULE – WATER

No.	DESCRIPTION	DIA. MAIN	ESL	IL	DEPTH TO INVERT (ESL)
I(A)	CONNECT INTO 50MM DIAMETER TAPPING FERRULE OR READYTAP POTABLE WATERMAIN AND LEAD IN FOR METER ASSEMBLY.	50	10.6	9.8	0.80

NOTES:

1. WATER METER ASSEMBLY FITTINGS AND PIPEWORK TO BE AS PER CoGS WATER METER STANDARD DRAWING II-151 A AND TO BE READ IN CONJUNCTION WITH THE MATERIALS AND ASSEMBLY SPECIFICATIONS AND COMPONENT SCHEDULES FOR PROPERTY SERVICE INSTALLATIONS AND METER AND SUB-METER ASSEMBLIES.
2. CONTRACTOR TO CONFIRM LOCATIONS AND LEVELS OF EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS AND NOTIFY SUPERINTENDENT IF DIFFERENT FROM THOSE SHOWN.
3. WATER METER TO BE OFFSET WITHIN CONCRETE SLAB EASEMENT TO PROVIDE 900mm WORKING SPACE AS PER STANDARD DRAWING II-150 REV A.

WATER METER PLAN AND DETAILS

Client:

DEVMCOZ
PROPERTIES PTY LTD

Project:
1-5 HOMESTEAD DR
DEVELOPMENT

Site Address:

LOT 101&102 on SP316137
1 & 5 HOMESTEAD DRIVE
STAPYLTON, QLD 4207

RPD:

Lot: 101 and 102
Plan: SP316137
Local Authority: CoGC

Level Datum: AHD
Meridian: -
PSM:
RL:

ISSUED FOR APPROVAL

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THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
GENERAL NOTES.

Drawing Title:

WATER METER PLAN AND DETAILS

C	11/06/24		IR RESPONSE	ML	MG
B	22/05/24		WM LOCATION UPDATED	ML	MG
A	13/03/24		ORIGINAL ISSUE	ML	MG
Rev	Date		Description	DRN	CHK

DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE.	A1 UNREDUCED
CULVERT AND PIPE SIZES IN MILLIMETRES	A3 REDUCED

Scale:



0 4 8 12 16m

1:200 (A1) 1:400 (A3)

PROJECT NORTH POINT



Project No. 6228

Designed: JH

Approved:

RPEQ

Signed:

Date:

Drawing No:

Revision

6228 ENG WM 001

C