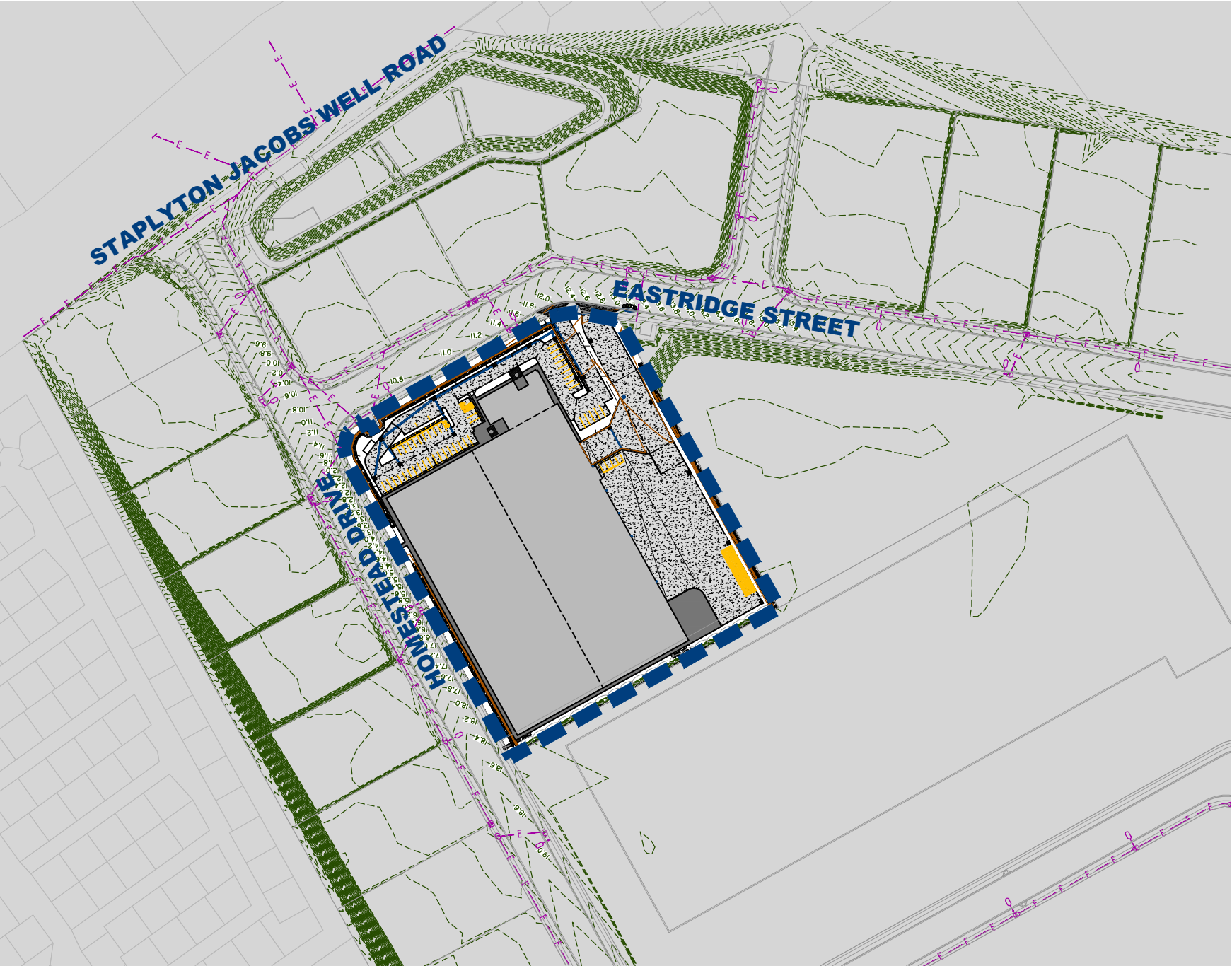


PROPOSED WAREHOUSE

PROPOSED LOT 122 on SP329476, 10 Eastridge Street, Stapylton



LOCALITY PLAN



76 BUSINESS STREET, YATALA
Tel: +61 7 3807 3333
Fax: +61 7 3287 5461
E: mail2gassman.com.au
w. www.gassman.com.au

DRAWING INDEX

6182-L-OW-PRI-CP01	Locality Plan
6182-L-OW-PRI-SP01	Specifications & Planting Schedule
6182-L-OW-PRI-DT01	Detail Drawings
6182-L-OW-PRI-ST01	Surface Treatment Plan
6182-L-OW-PRI-ST02	Surface Treatment Plan
6182-L-OW-PRI-ST03	Surface Treatment Plan
6182-L-OW-PRI-ST04	Surface Treatment Plan
6182-L-OW-PRI-PP01	Planting Plan
6182-L-OW-PRI-PP02	Planting Plan
6182-L-OW-PRI-PP03	Planting Plan
6182-L-OW-PRI-PP04	Planting Plan

LANDSCAPE PLANS APPROVED

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Application No.: OPW/2024/734

Dated: 22 July 2024



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Client:



FRASERS
PROPERTY

Project: Warehouse Facility

Site Address: (Proposed Lot 122)
10 Eastridge Street, Stapylton

DRAWING TO BE READ IN CONJUNCTION WITH GENERAL NOTES

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DRAWING TITLE					
Landscape Operational Works					
Scale:					
Designed:		JLS			
Checked:		JLS			
Approved:		MG			
Date:		16.05.24			
Drawing No:		6182-L-PRI-CP00		Rev. No:	
				A	

Client:



Project:

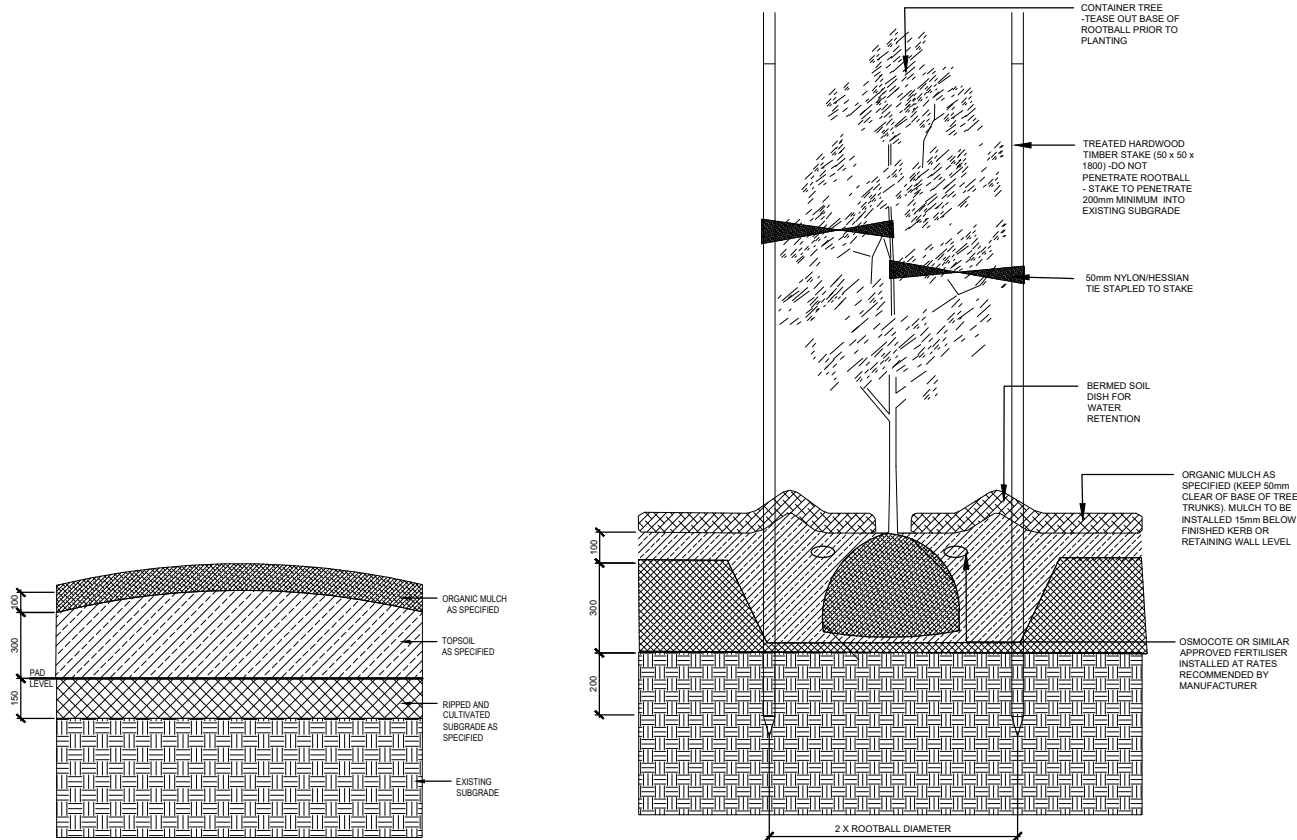
Warehouse Facility

Site Address:

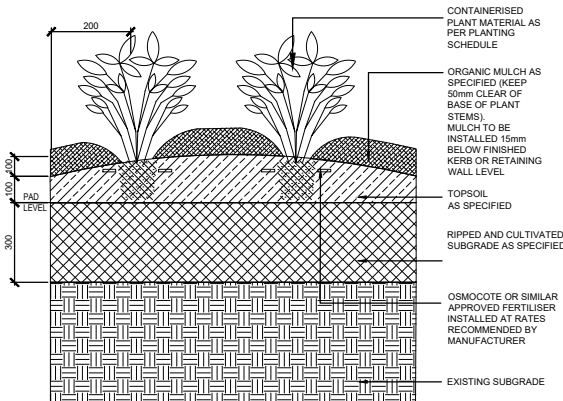
(Proposed Lot 122)
10 Eastridge Street, Stapylton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

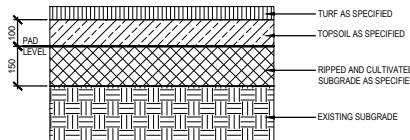
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TYPICAL DETAIL: TREE PLANTING

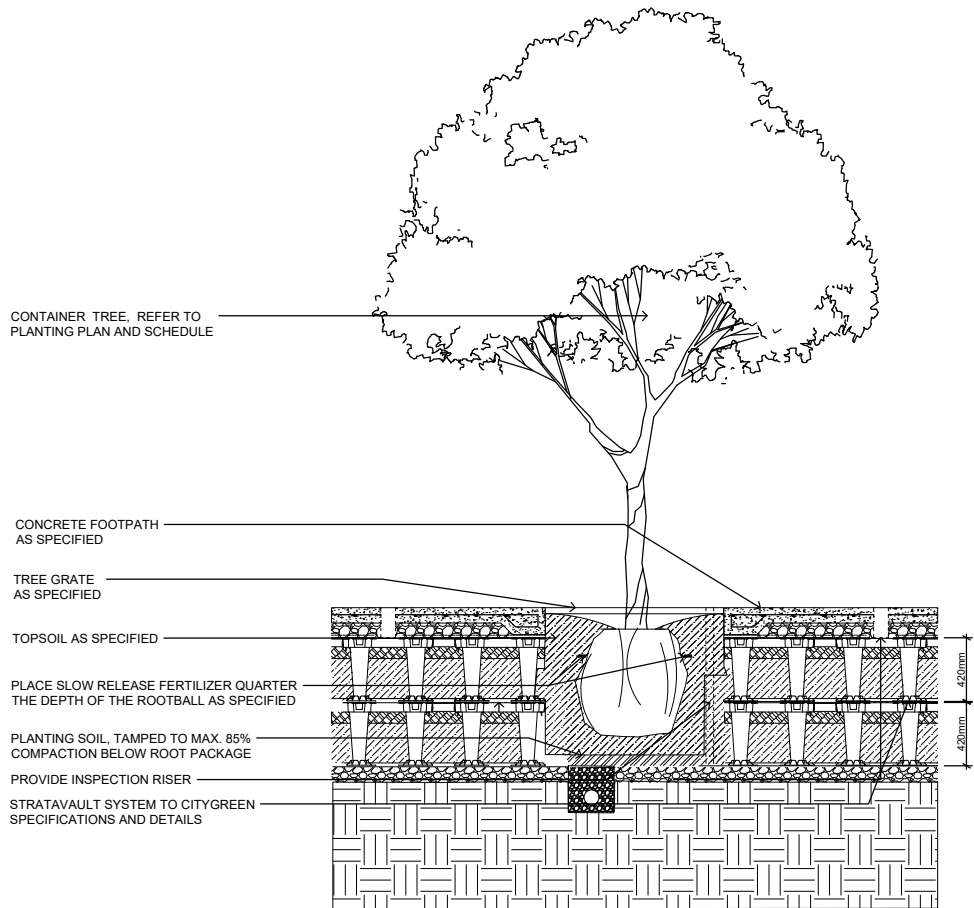


TYPICAL DETAIL: SHRUB / GROUNDCOVER PLANTING

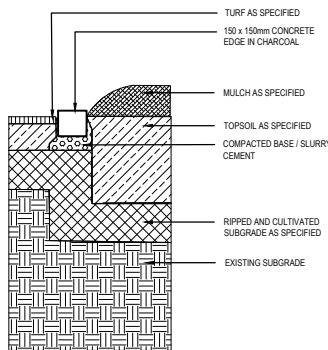


TYPICAL DETAIL: TURF INSTALLATION (IF MAKE GOOD REQUIRED)

TYPICAL DETAIL: GARDEN TREATMENT



TYPICAL DETAIL: STRATA VAULT



TYPICAL DETAIL: CONCRETE EDGE

- LANDSCAPE PLANS APPROVED**
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Application No.: OPW/2024/734

Dated: 22 July 2024

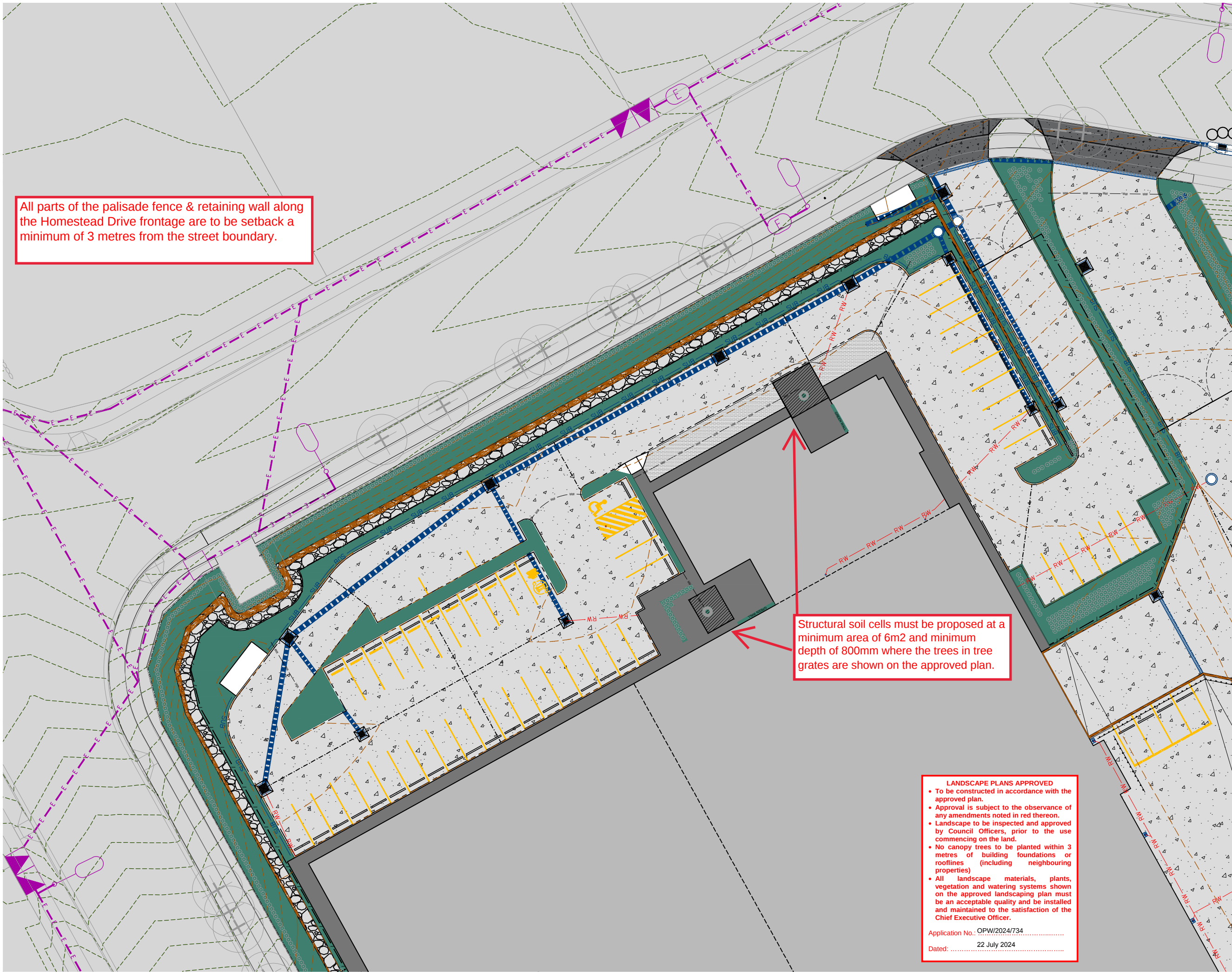
DRAWING TITLE
Landscape Operational Works
DETAIL DRAWINGS

Issue	Date	Description	DRN	CHK
A	16.05.24	FOR APPROVAL	JLS	MG

Scale:

Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	16.05.24

Drawing No: 6182-L-PRI-DT01
Rev. No: A



All parts of the palisade fence & retaining wall along the Homestead Drive frontage are to be setback a minimum of 3 metres from the street boundary.

Structural soil cells must be proposed at a minimum area of 6m2 and minimum depth of 800mm where the trees in tree grates are shown on the approved plan.

LANDSCAPE PLANS APPROVED

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Application No. OPW/2024/734
Dated: 22 July 2024

Client: **FRASERS**
PROPERTY

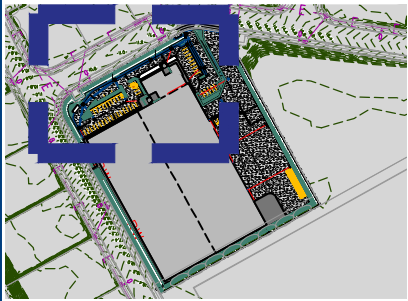
Project: Warehouse Facility

Site Address:
(Proposed Lot 122)
10 Eastridge Street, Stapylton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

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KEY PLAN



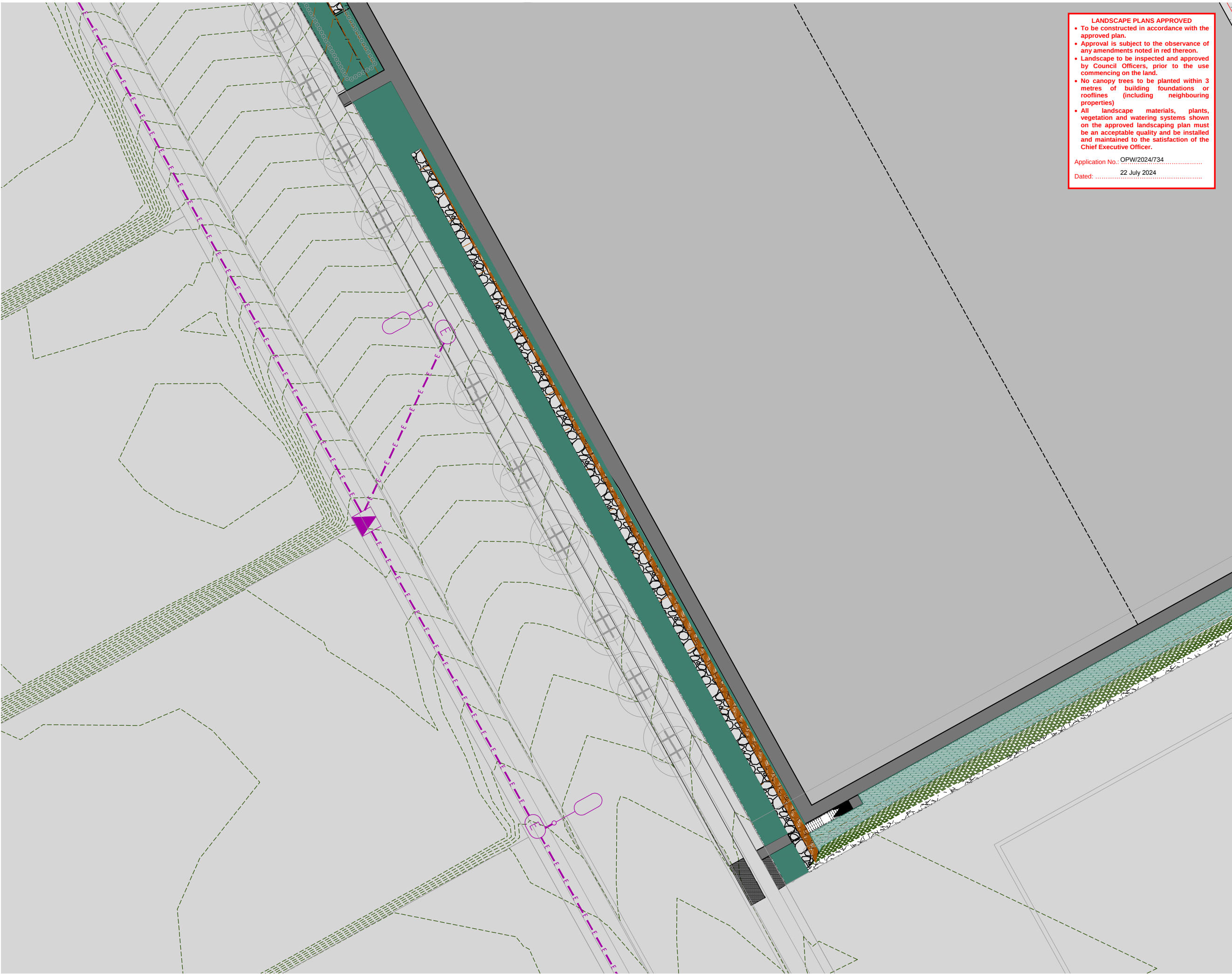
LEGEND

	EXISTING TURF TO PUBLIC VERGE AS PER OPERATIONAL RPT DAMAGE TO BE REPAIRED		GREEN WALL SPECIFICATION AND DETAIL DESIGN TBC
	EXISTING TREES TO PUBLIC VERGE TO BE RETAINED AS PER OPERATIONAL RPT TREE REMOVALS TO OCCUR REPLACEMENT TREES TO BE INCLUDED WITHIN STAGE 1 OF LANDSCAPE DETAILS AS PER OSCG STREET TREE GUIDELINES		1200mm DIA TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL
	PROPOSED A GRADE WINTERGREEN TURF		COMPACTED BLUE ROCK / ROAD BASE TO RETAINING WALL (OR SIMILAR APPROVED)
	80mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL		
	150mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL		
	1.2m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL		
	ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL		
	STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL		
	DEEP GARDEN / PODIUM GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL		
	DEEP GARDEN PLANTING WATER VIA HOSE COCK AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL		

DRAWING TITLE
Landscape Operational Works
SURFACE TREATMENT PLAN

Issue	Date	Description	JLS	MG	DRN	CHK
A	16.05.24	FOR APPROVAL				
Scale:		1:400 at A3				
Designed:		JLS				
Checked:		JLS				
Approved:		MG				
Date:		16.05.24				

Drawing No: 6182-L-PRI-ST01 Rev. No: A



LANDSCAPE PLANS APPROVED

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Application No.: OPW/2024/734
Dated: 22 July 2024



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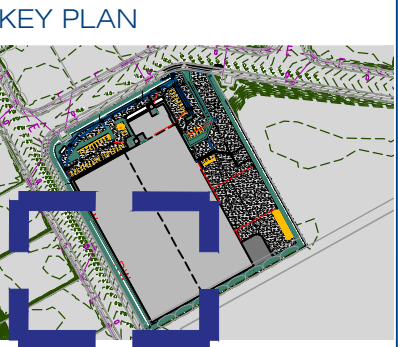
Client: 

Project: Warehouse Facility

Site Address:
(Proposed Lot 122)
10 Eastridge Street, Stapylton

DRAWING TO BE READ IN CONJUNCTION WITH GENERAL NOTES

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LEGEND

	EXISTING TURF TO PUBLIC VERGE AS PER OPW/2024/734 ANY DAMAGE TO BE REPAIRED		GREEN WALL SPECIFICATION AND DETAIL DESIGN TBC
	EXISTING TREES TO PUBLIC VERGE TO BE RETAINED AS PER OPW/2024/734 ANY DAMAGE TO BE REPAIRED		1200mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL
	PROPOSED A GRADE WINTERGREEN TURF		COMPACTED BLUE ROCK / ROAD BASE TO RETAINING WALL (OR SIMILAR APPROVED)
	90mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL		
	150mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL		
	1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL		
	ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL		
	STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL		
	DEEP GARDEN / PODIUM GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL		
	DEEP GARDEN PLANTING WATER VIA HOSE COCK AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL		

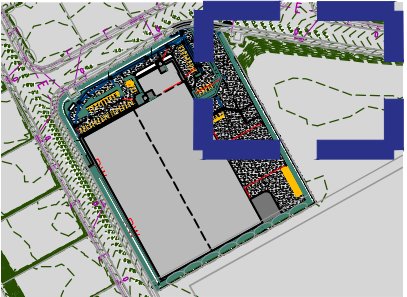
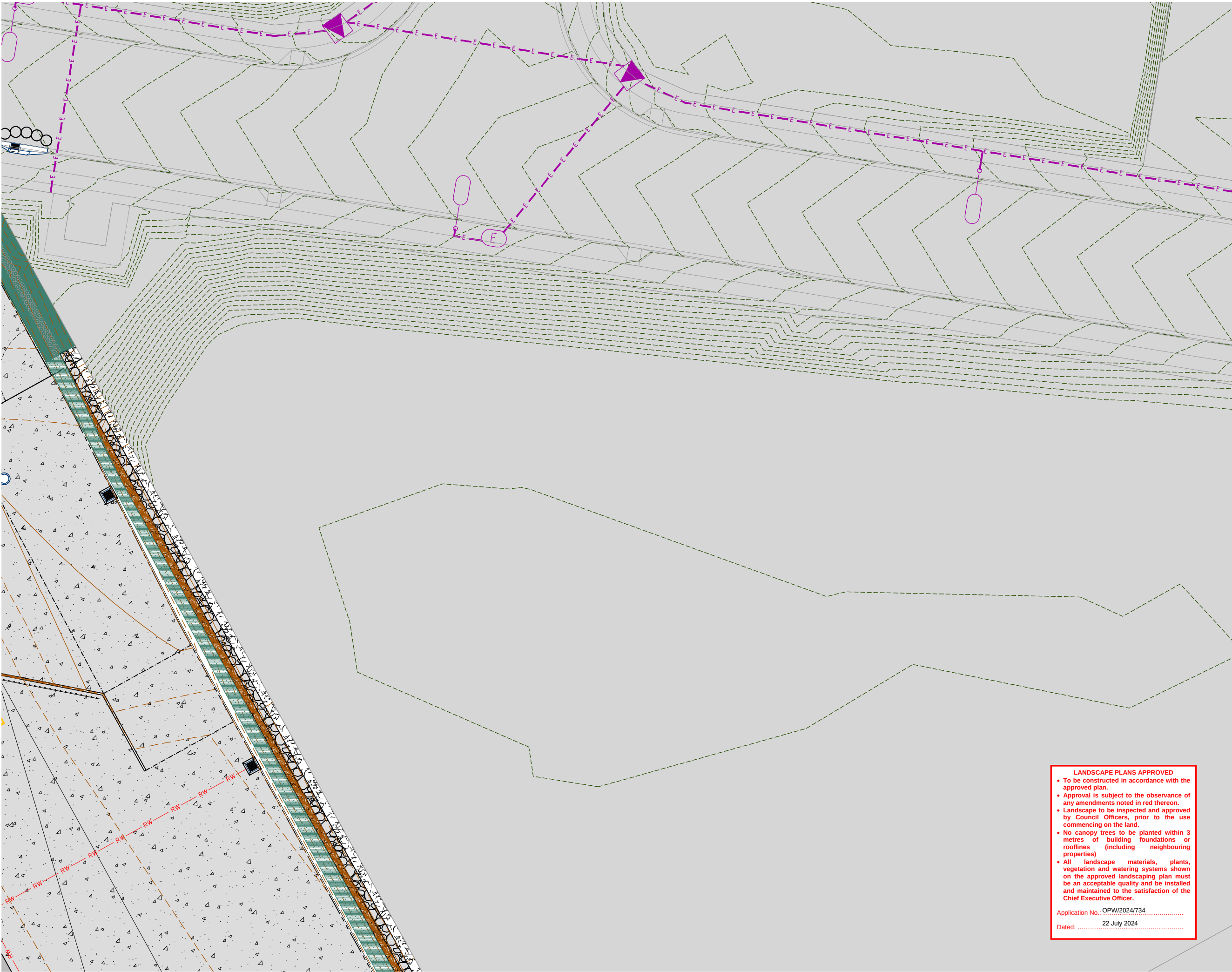
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DRAWING TITLE
Landscape Operational Works
SURFACE TREATMENT PLAN

Issue	Date	Description	JLS	MG
A	16.05.24	FOR APPROVAL	JLS	MG

Scale:	1:400 at A3
Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	16.05.24

Drawing No: 6182-L-PRI-ST02
Rev. No: A



EXISTING TURF TO PUBLIC VERGE AS PER OPPOSING WAY DAMAGE TO BE REPAIRED

EXISTING TREES TO PUBLIC VERGE TO BE RETAINED AS PER OPPOSING WAY TREE REMOVAL HAS TO OCCUR REPLACEMENT TREES TO BE INSTALLED WITHIN STAGE 1 OF WAYSTAGE ESTATE AS PER COSC STREET TREE GUIDELINES

PROPOSED A GRADE WINTERGREEN TURF

90mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL

150mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL

1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL

ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL

STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL

DEEP GARDEN / PODIUM GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL

DEEP GARDEN PLANTING WATER VIA HOSE COCK AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL

GREEN WALL SPECIFICATION AND DETAIL DESIGN TBC

1200mm dia TREE GRATE REFER TO FURTHER DETAIL

COMPACTED BLUE ROCK / ROAD BASE TO RETAINING WALL (OR SIMILAR APPROVED)

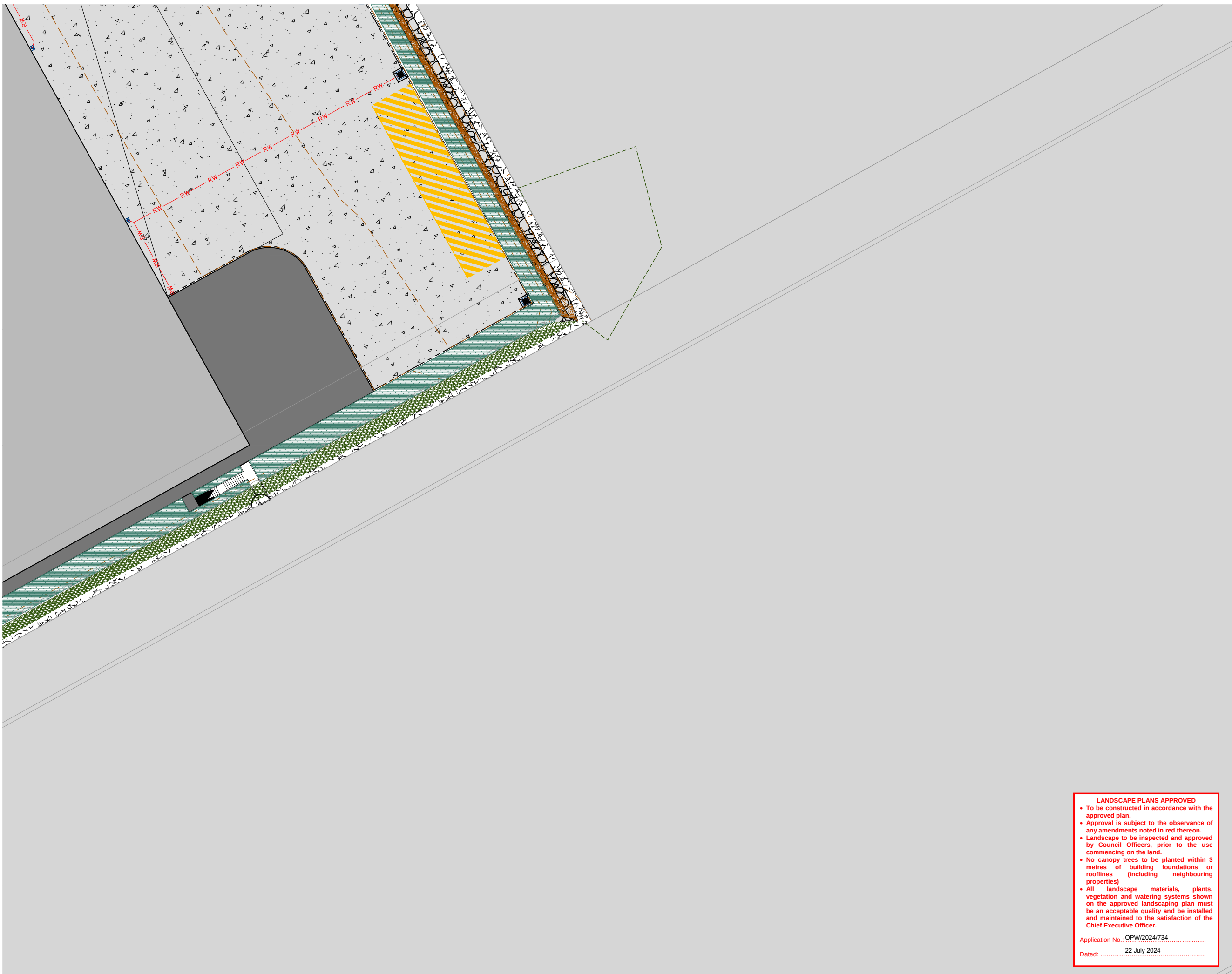
- LANDSCAPE PLANS APPROVED
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Application No.: OPW/2024/734

Dated: 22 July 2024

SURFACE TREATMENT PLAN

1:400 at A3



LANDSCAPE PLANS APPROVED

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Application No.: OPW/2024/734
Dated: 22 July 2024

Client: **FRASERS PROPERTY**

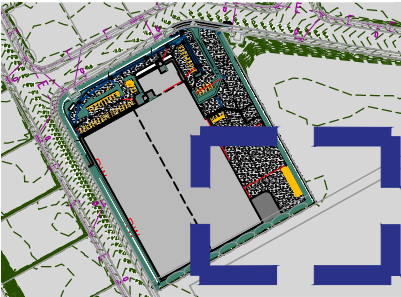
Project: **Warehouse Facility**

Site Address:
(Proposed Lot 122)
10 Eastridge Street, Stapylton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

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KEY PLAN



LEGEND

	EXISTING TURF TO PUBLIC VERGE AS PER OPERATIONAL WORKS TO BE REPAIRED		GREEN WALL SPECIFICATION AND DETAIL DESIGN TBC
	EXISTING TREES TO PUBLIC VERGE TO BE REMOVED AS PER OPERATIONAL WORKS WHERE THERE REMAINS HAS TO OCCUR REPLACEMENT TREES TO BE INSTALLED WITHIN STAGE 1 OF VANTAGE DESIGN AS PER LOCAL STREET TREE GUIDELINES		120mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL
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DRAWING TITLE

Landscape Operational Works
PLANTING PLAN

Issue	Date	Description	JLS	MG	DRN	CHK
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Scale: 1:400 at A3

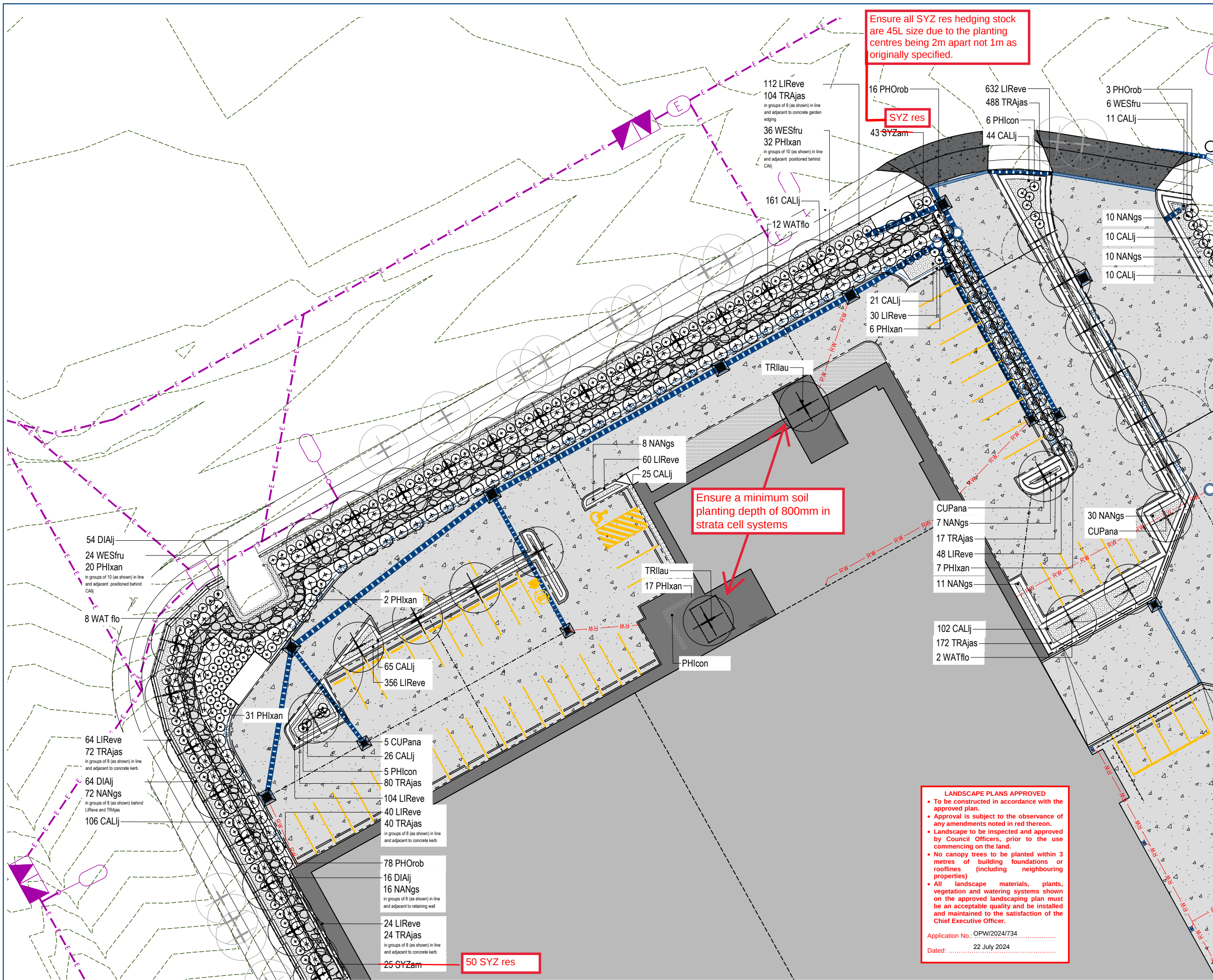
Designed: JLS

Checked: JLS

Approved: MG

Date: 16.05.24

Drawing No: 6182-L-PRI-ST04
Rev. No: A



Client:



Project:

Warehouse Facility

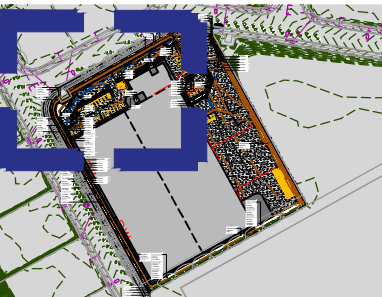
Site Address:

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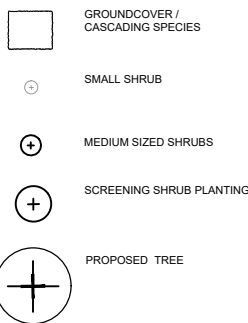
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KEY PLAN



LEGEND



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Landscape Operational Works
PLANTING PLAN

Issue	Date	Description	JLS	MG
A	16.05.24	FOR APPROVAL		
			DRN	CHK

Scale: 1:400 at A3

Designed: JLS

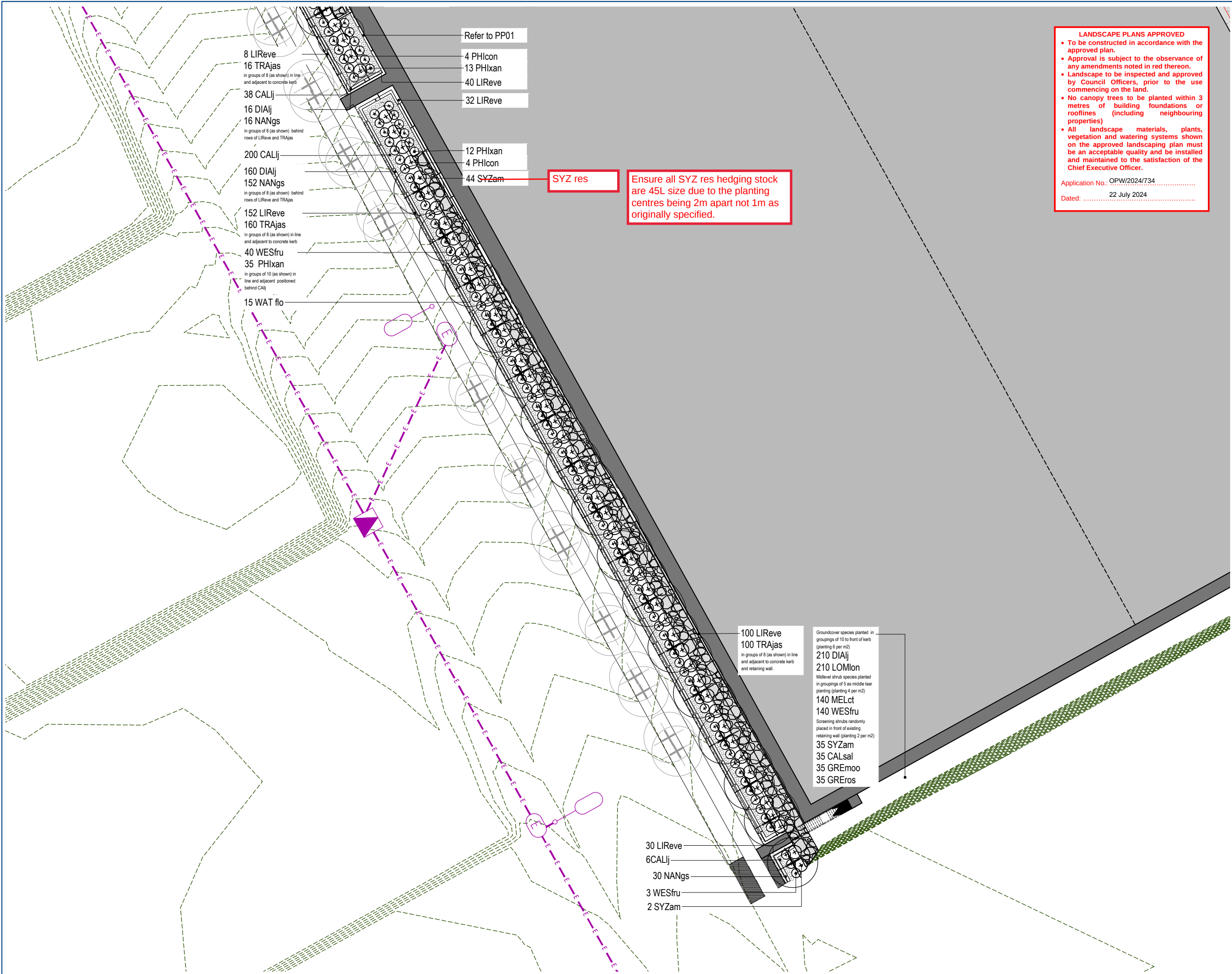
Checked: JLS

Approved: MG

Date: 16.05.24

Drawing No: 6182-L-PRI-PP01

Rev. No: A



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Application No.: OPW/2024/734
Dated: 22 July 2024

Client: **FRASERS PROPERTY**

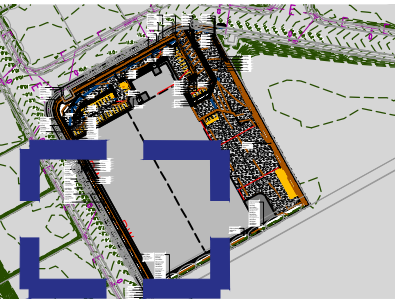
Project: **Warehouse Facility**

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KEY PLAN



LEGEND

- GROUND COVER / CASCADING SPECIES
- SMALL SHRUB
- ⊕ MEDIUM SIZED SHRUBS
- ⊕ SCREENING SHRUB PLANTING
- ⊕ PROPOSED TREE



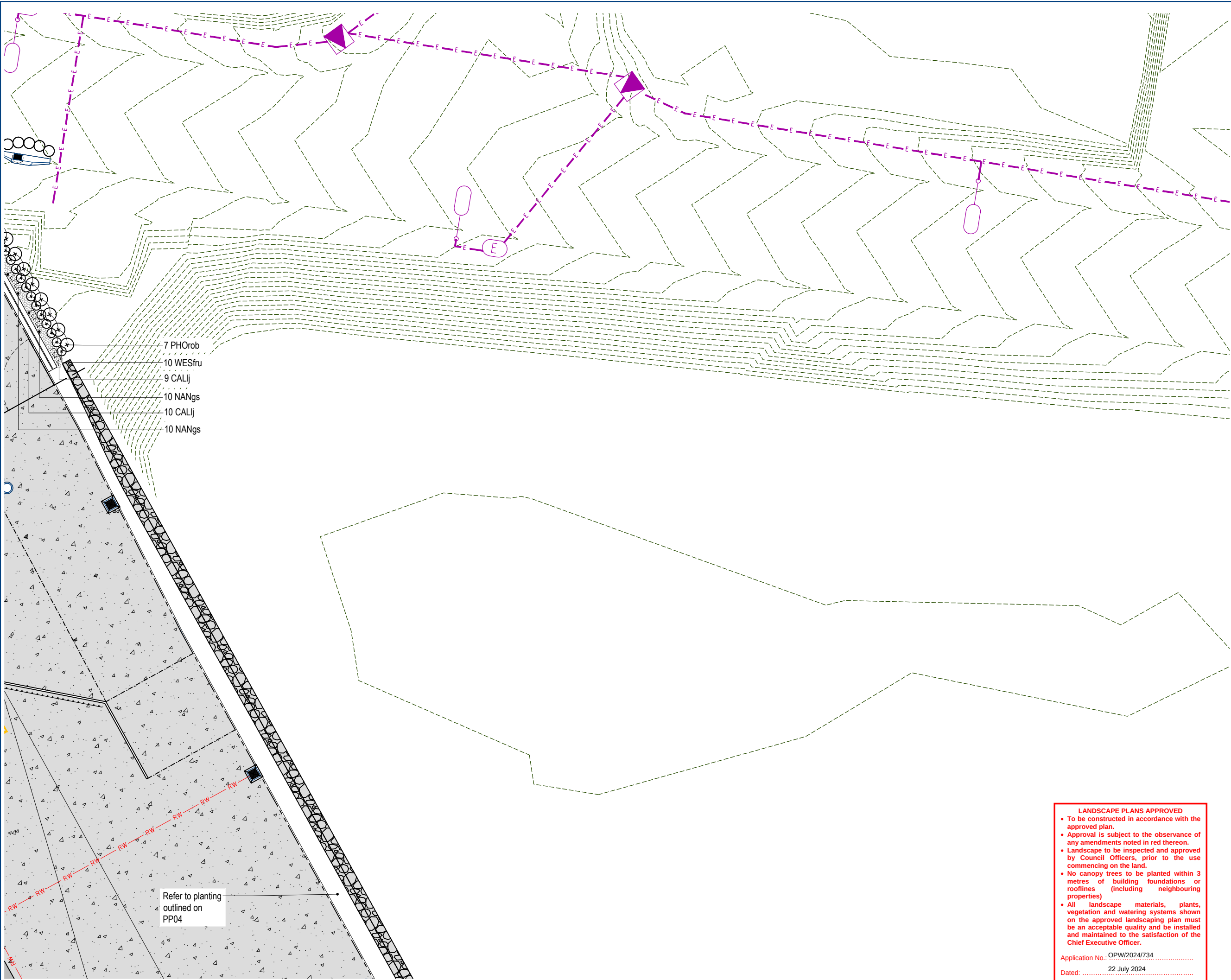
DRAWING TITLE

Landscape Operational Works
PLANTING PLAN

Issue	Date	Description	JLS	MG
A	16.05.24	FOR APPROVAL	JLS	MG

Scale:	1:400 at A3
Designed:	JLS
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Approved:	MG
Date:	16.05.24

Drawing No: 6182-L-PRI-PP01 Rev. No: A



Client:

FRASERS
PROPERTY

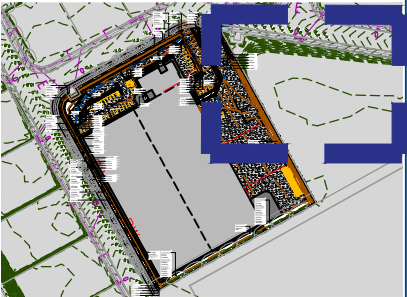
Project:
Warehouse Facility

Site Address:
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10 Eastridge Street, Stapylton

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KEY PLAN



LEGEND

- GROUNDCOVER / CASCADING SPECIES
- SMALL SHRUB
- MEDIUM SIZED SHRUBS
- SCREENING SHRUB PLANTING
- PROPOSED TREE



DRAWING TITLE
Landscape Operational Works
PLANTING PLAN

		FOR APPROVAL			
Issue	Date	Description	DRN	CHK	

Scale: 1:400 at A3

Designed: JLS

Checked: JLS

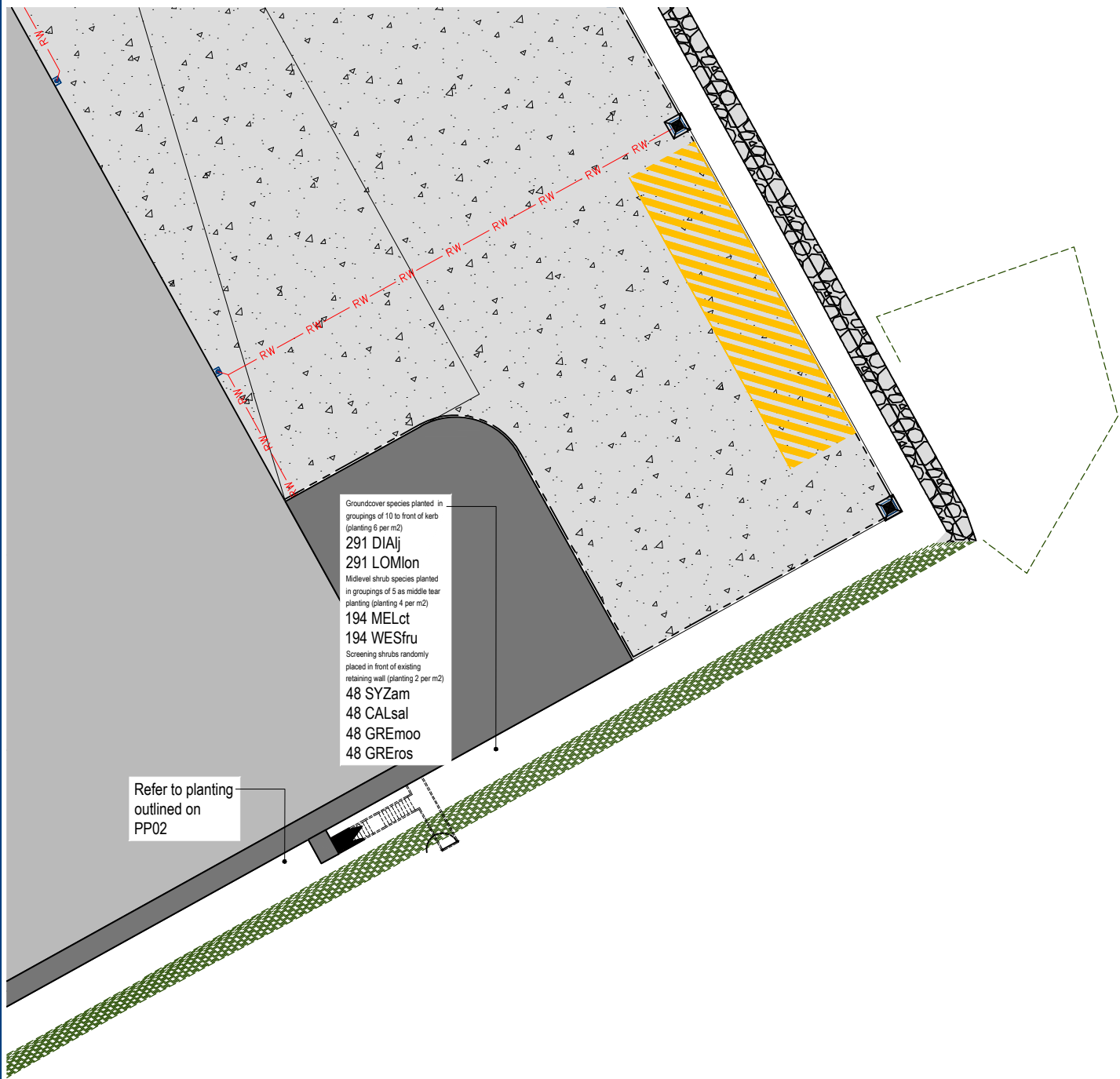
Approved: MG

Date: 16.05.24

Drawing No: 6182-L-PRI-PP03
Rev. No: A

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Application No.: OPW/2024/734
Dated: 22 July 2024



Client:

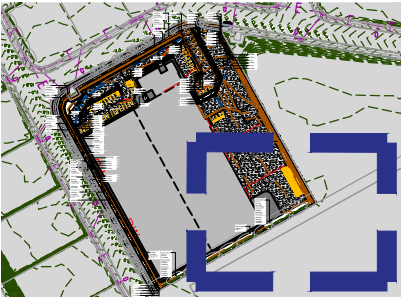
Project:
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Site Address:
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KEY PLAN



LEGEND

- GROUNDCOVER / CASCADING SPECIES
- SMALL SHRUB
- MEDIUM SIZED SHRUBS
- SCREENING SHRUB PLANTING
- PROPOSED TREE



DRAWING TITLE
Landscape Operational Works
PLANTING PLAN

Issue	Date	Description	DRN	CHK
A	16.05.24	FOR APPROVAL	JLS	MG

Scale: 1:400 at A3

Designed: JLS

Checked: JLS

Approved: MG

Date: 16.05.24

Drawing No: 6182-L-PRI-PP04
Rev. No: A

- LANDSCAPE PLANS APPROVED**
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Application No.: OPW/2024/734
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