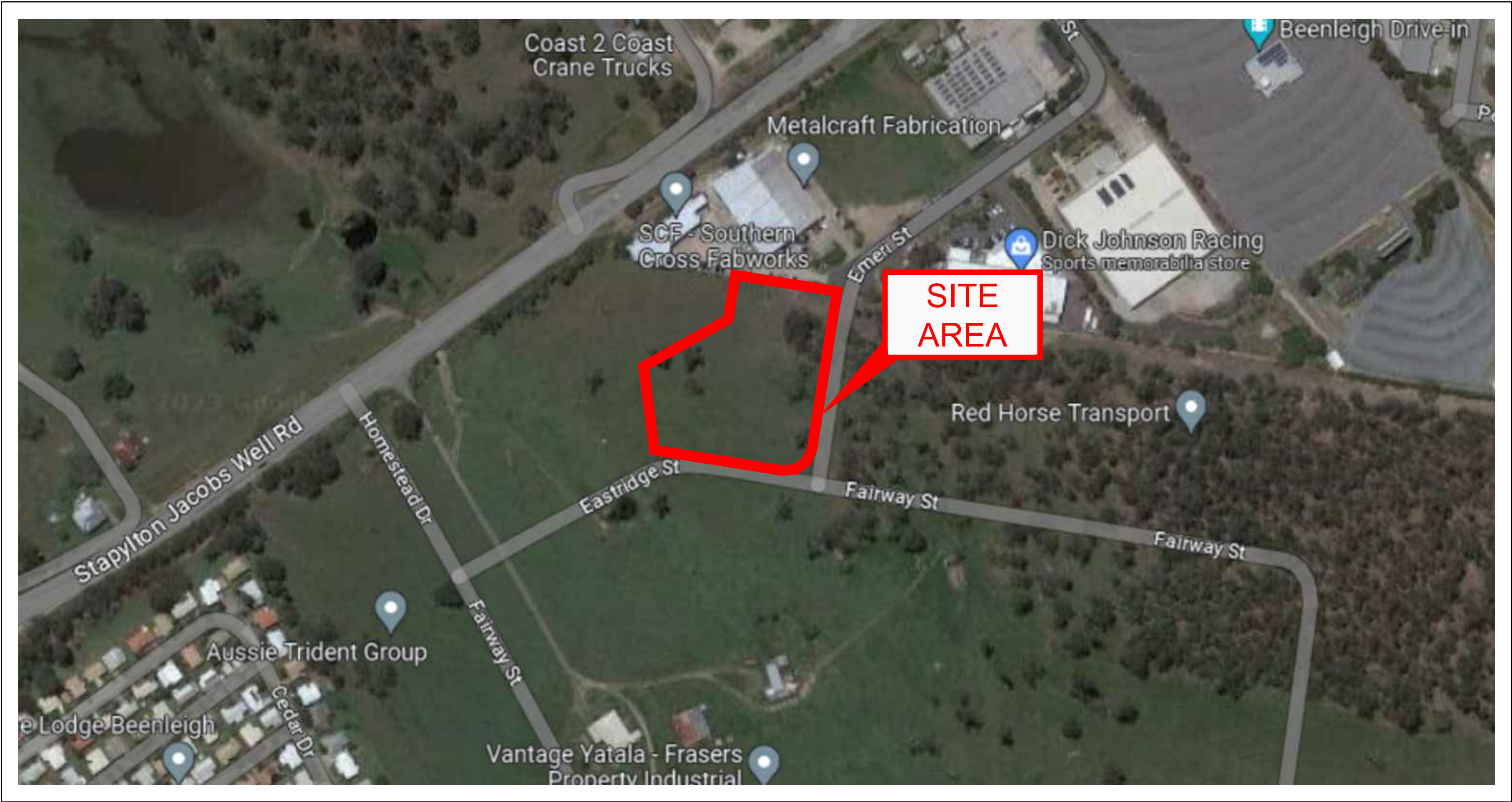


14 EASTRIDGE STREET, STAPYLTON PROPOSED WAREHOUSE

STORMWATER MANAGEMENT PLANS



LOCALITY PLAN

N.T.S.

DRAWING INDEX

Drawing No.	DESCRIPTION
000	COVER SHEET PLAN
101	STORMWATER LAYOUT PLAN GROUND FLOOR
102	SEDIMENT AND EROSION CONTROL PLAN
103	MISCELLANEOUS DETAILS SHEET
104	SITE / LOCALITY PLAN

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C	ISSUE FOR COMPLYING DEVELOPMENT CERTIFICATE	14/08/2024	MJT	SBF						
B	ISSUE FOR COMPLYING DEVELOPMENT CERTIFICATE	21/03/2024	MJT	SBF						
A	ISSUE FOR DEVELOPMENT APPLICATION	31/08/2023	MJT	JSF						
Issue	Description	Date	Design	Checked						
1:1000 at full size				200mm						

LEGEND

	PROPOSED STORMWATER DRAINAGE PIPE
	0100 HDPE OR PVC STORMWATER DRAINAGE PIPE CAST IN SLAB
	065 HDPE OR PVC STORMWATER DRAINAGE PIPE CAST IN SLAB
	050 HDPE OR PVC STORMWATER DRAINAGE PIPE CAST IN SLAB
	PROPOSED STORMWATER PIPE TO RAINWATER TANK
	0100 SUBSOIL DRAINAGE TO BE WRAPPED IN GEOTEXTILE BIDIMA34
	RISER PIPE
	DOWNPIPE 0150 U.N.O
	VERTICAL DROP 0100
	VERTICAL DROP FROM SLAB
	PLANTER GRATE 0150
	FLOOR GRATE 0150
	FLOOR GRATE 200x200 (ALLOW MINIMUM 1.0% FALL TO FG)
	FLOOR GRATE 300x300 (ALLOW MINIMUM 1.0% FALL TO FW)
	RAINWATER OUTLET 0260 SPS (ALLOW MINIMUM 1.0% FALL TO RWO)
	SUSPENDED PLANTER BOX RAINWATER OUTLET
	AC CONDENSER TUNDISH TO MANUFACTURER'S DETAILS
	050mm EMERGENCY OVERFLOW SPITTERS/PIPES U.N.O.
	RAINWATER TANK
	INVERT LEVEL
	DESIGN SURFACE LEVEL
	EXISTING SURFACE LEVEL
	EXISTING STORMWATER DRAINAGE
	EXISTING WATER MAIN
	EXISTING SEWER MAIN
	EXISTING TELESTRA
	EXISTING ELECTRICAL
	EXISTING ELECTRICAL UNDERGROUND
	EXISTING OVERHEAD ELECTRICAL
	EXISTING GAS
	EXISTING HOUSE DRAINAGE
	EXISTING OPTIC FIBER

NOTE:

- CONTRACTOR IS TO PROVIDE OVERFLOW OUTLETS & EMERGENCY OVERFLOW SPITTERS TO ALL TRAPPED AREAS.
- DP/V/D ARE 0100 PIPES U.N.O.
- ALL TRANSFERRING PIPES ARE SUSPENDED U.N.O.
- BALCONIES PIPES ARE 050mm HDPE OR PVC CAST IN SLAB AT MIN 1.0% SLOPE.

PIPES NOTE:

- 065 PVC @ MIN 1.0%
 - 090 PVC @ MIN 1.0%
 - 0100 PVC @ MIN 1.0%
 - 0150 PVC @ MIN 1.0%
 - 0225 PVC @ MIN 0.5%
 - 0300 PVC @ MIN 0.4%
- UNLESS NOTED OTHERWISE

NOTE:

ALL LINEAR GRATED DRAINS TO BE MIN. 100mm DEEP U.N.O.

NOTE:

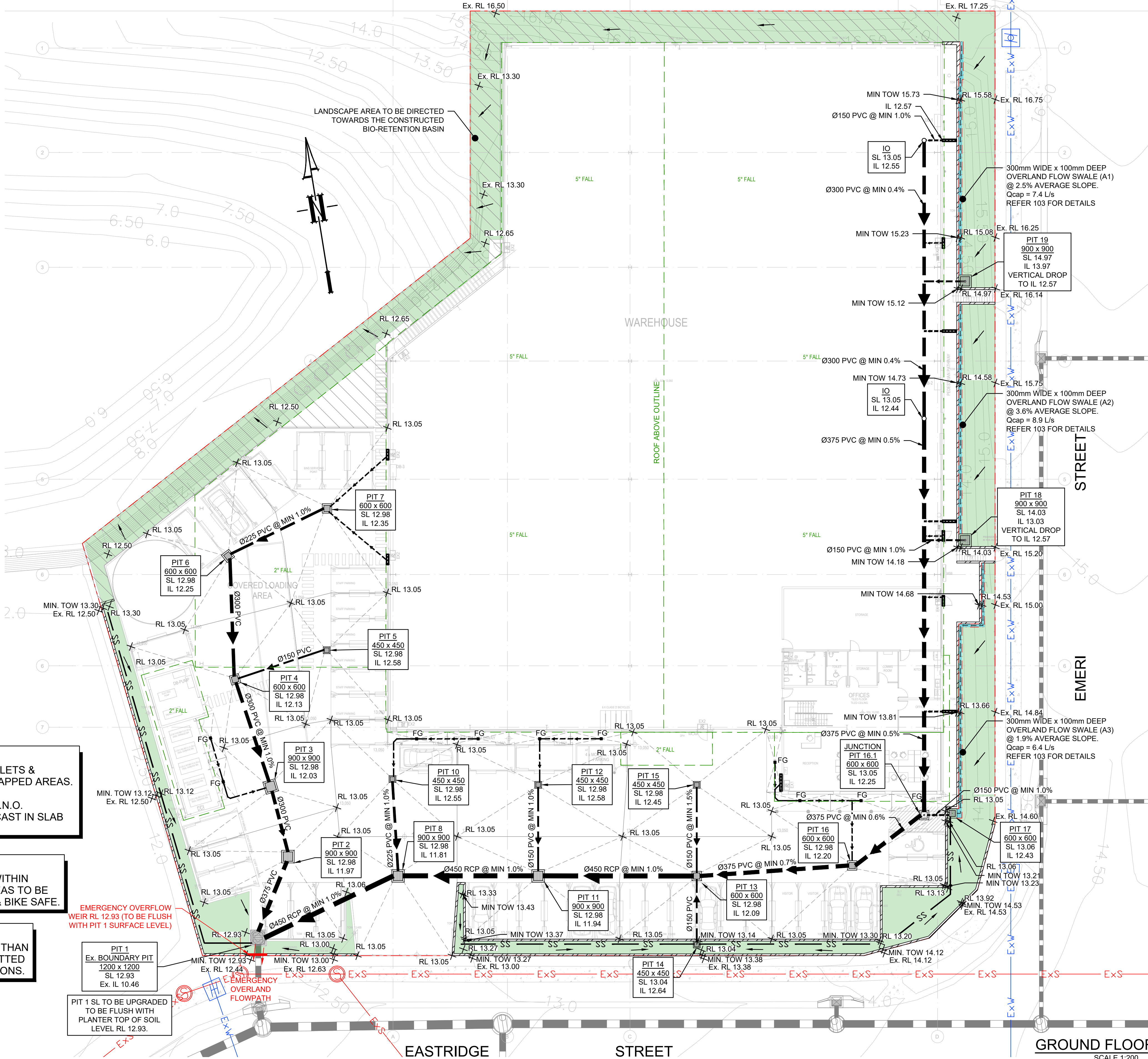
ALL GRATES WITHIN FOOTWAY AREAS TO BE HEEL GUARD & BIKE SAFE.

NOTE:

PITS DEEPER THAN 1.0m TO BE FITTED WITH STEP IRONS.

EMERGENCY OVERFLOW WEIR RL 12.93 (TO BE FLUSH WITH PIT 1 SURFACE LEVEL)

PIT 1 SL TO BE UPGRADED TO BE FLUSH WITH PLANTER TOP OF SOIL LEVEL RL 12.93.



NOTE:

AS PER THE SITE-BASED STORMWATER MANAGEMENT PLAN, PREPARED BY GASSMAN DEVELOPMENT PERSPECTIVES (GDP), OVER LAND SITUATED AT 60 STAPYLTON JACOBS WELL ROAD, THAT OUR SUBJECT LOT IS INCLUDED IN IT, AN ON-SITE DETENTION & BIO-RETENTION BASIN IS CONSTRUCTED, AND THE WHOLE AREA IS CONNECTED TO IT. THEREFORE, OSD & WSUD ARE NOT REQUIRED FOR OUR SITE, AS IT HAS BEEN ACCOUNTED FOR WITHIN THE NEWLY CONSTRUCTED REGIONAL BASIN/BIO-RETENTION.

GENERAL NOTES

- ALL LINES ARE TO BE 090 uPVC 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWERGRADE & SEALED.
- EXISTING SERVICES LOCATIONS SHOWN INDICATIVE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY.
- ALL PITS IN DRIVEWAYS TO BE 450x450 CONCRETE AND ALL PITS IN LANDSCAPED AREAS TO BE 450x450 PLASTIC.
- PITS LESS THAN 600mm DEEP MAY BE BRICK, PRECAST OR CONCRETE.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL EXTERNAL SLABS TO BE WATERPROOFED.
- ALL GRATES TO HAVE CHILD PROOF LOCKS.
- ALL DRAINAGE WORKS TO AVOID TREE ROOTS.
- ALL DP's TO HAVE LEAF GUARDS.
- ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
- COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S. 3500.3.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING.
- CARE TO BE TAKEN AROUND EXISTING SEWER. STRUCTURAL ADVICE IS REQUIRED FOR SEWER PROTECTION AGAINST ADDITIONAL LOADING FROM NEW PITS, PIPES AND RETAINING WALLS WATER LEVELS.
- ALL PIPES IN BALCONIES TO BE 065 uPVC CAST IN CONCRETE SLAB. CONTRACTOR TO PROVIDE A BREAK / OPEN VOID IN RAIL / BALUSTRADE FOR STORMWATER EMERGENCY OVERFLOW. ALL ENCLOSED AREAS/PLANTER BOXES TO BE FITTED WITH FLOOR WASTES & DRAINED TO OSD DOWNPIPES TO BE CHECKED BY ARCHITECT & PLUMBER PRIOR TO CONSTRUCTION.

NOTE:

REFER ARCHITECTURAL DRAWINGS FOR FINAL SET-OUT LEVELS.

NOTE:

ALL STORMWATER DRAINAGE PIPES ARE 0100 PVC AT MIN 1.0% SLOPE U.N.O.

NOTE:

IT IS CONTRACTOR'S RESPONSIBILITY TO ENSURE MINIMUM PONDING IS ACHIEVED OVER THE FLOOR WASTES BY GRADING CATCHMENTS' SURFACES AT MINIMUM 1.0% FALL.

NOTE:

MAXIMUM CAR PARK GRADES TO BE 5% FOR CONVENTIONAL CAR PARKS & 2.5% FOR DISABLED CAR PARKS. CARPARK / DRIVEWAY WORKS TO COMPLY WITH AS 2890

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G	ISSUE FOR COMPLYING DEVELOPMENT CERTIFICATE	14/06/2024	MJT	SBF
F	ISSUE FOR COMPLYING DEVELOPMENT CERTIFICATE	25/03/2024	MJT	SBF
E	ISSUE FOR COMPLYING DEVELOPMENT CERTIFICATE	21/03/2024	MJT	SBF
D	ISSUE FOR DEVELOPMENT APPLICATION	10/01/2024	MJT	SBF
Issue	Description	Date	Design	Checked

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Scale
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SCALE 1:200 @ A1

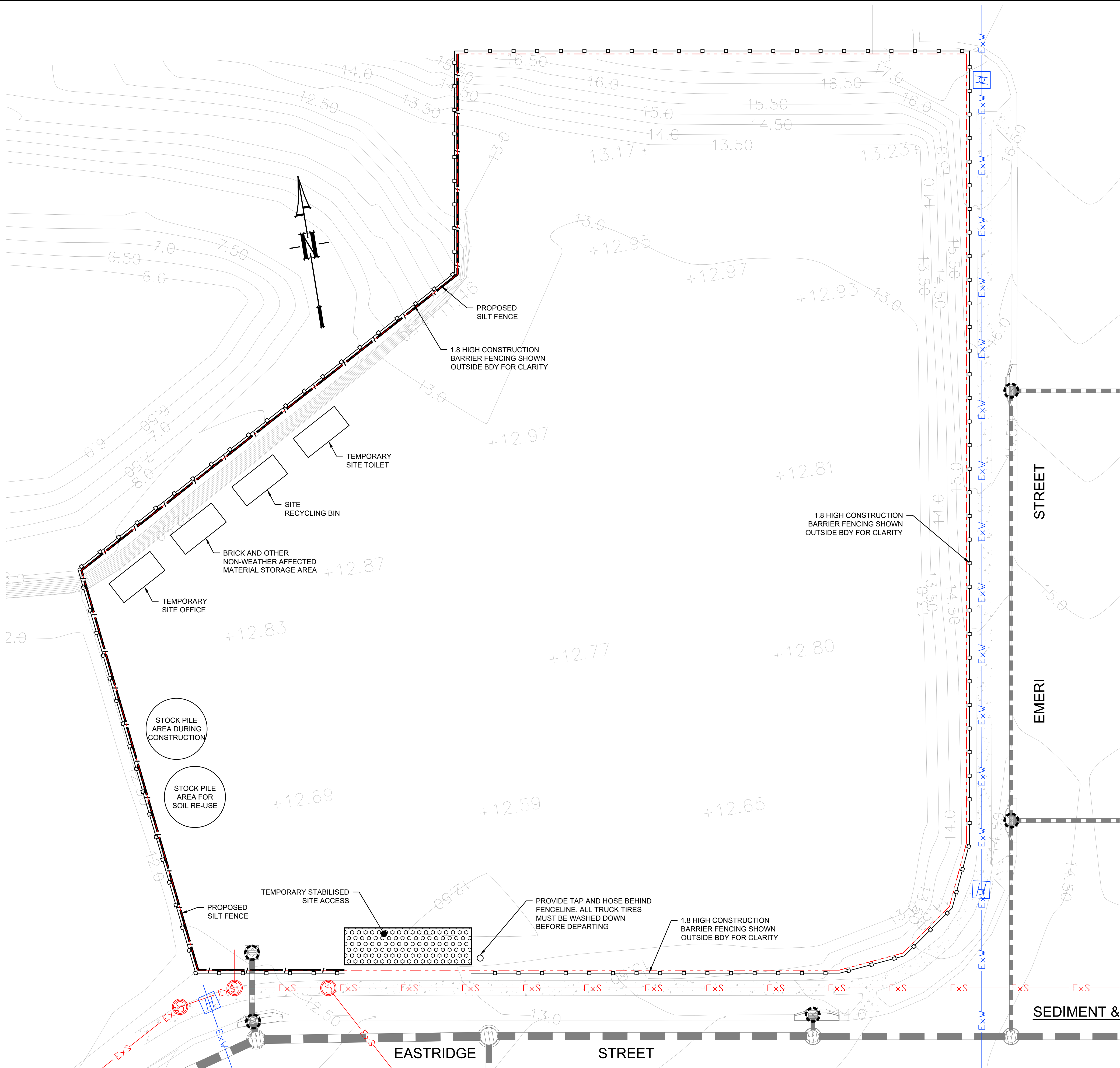
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Project
14 EASTRIDGE STREET, STAPYLTON PROPOSED WAREHOUSE STORMWATER MANAGEMENT PLANS COMPLYING DEVELOPMENT CERTIFICATE

Drawing Title	STORMWATER LAYOUT PLAN GROUND FLOOR
Scale	A1
Project No.	23337
Dwg. No.	101
Issue	H

LEGEND

- EXISTING STORMWATER DRAINAGE
- ExSW EXISTING STORMWATER DRAINAGE
- ExW EXISTING WATER MAIN
- ExS EXISTING SEWER MAIN
- ExT EXISTING TELESTRA
- ExE EXISTING ELECTRICAL
- ExEU EXISTING ELECTRICAL UNDERGROUND
- ExEO EXISTING OVERHEAD ELECTRICAL
- ExG EXISTING GAS
- HD EXISTING HOUSE DRAINAGE
- ExOP EXISTING OPTIC FIBER
- S PROPOSED SEWER PIPE (RE-ALIGNED)
- TPZ TREE PROTECTION ZONE (TPZ)
- SRZ STRUCTURAL ROOT ZONE (SRZ)
- EXISTING CONTOUR
- EXISTING SURFACE LEVEL
- EARTHWORKS LEVELS
- DESIGN SURFACE LEVELS
- SILT FENCE
- STABILISED SITE ACCESS
- 1.8 HIGH CONSTRUCTION BARRIER FENCING
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- INLET PROTECTION



SEDIMENT & EROSION NOTES:

1. IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO NOMINATE THE LOCATIONS AND TYPES OF SEDIMENT AND EROSION CONTROL MEASURES TO BE ADOPTED. THESE MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CLEARING OR EARTHWORKS AND MAINTAINED UNTIL THE WORKS ARE COMPLETED AND NO LONGER POSE AN EROSION HAZARD, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
2. IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO IDENTIFY AND MARK TREES WHICH ARE TO BE PRESERVED. NOTWITHSTANDING THE ABOVE, THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO MINIMISE DISTURBANCE TO EXISTING VEGETATION AND GROUND COVER OUTSIDE THE MINIMUM AREAS REQUIRED TO COMPLETE THE WORKS AND SHALL BE RESPONSIBLE FOR RECTIFICATION, AT ITS OWN COST, OF ANY DISTURBANCE BEYOND THOSE AREAS.
3. PROVIDE GULLY GRATE INLET SEDIMENT TRAPS AT ALL GULLY PITS.
4. PROVIDE SILT FENCING ALONG PROPERTY LINE AS DIRECTED BY SUPERINTENDENT.
5. ADDITIONAL CONTROL DEVICES TO BE PLACED WHERE DIRECTED BY THE PRINCIPLE.
6. ALTERNATIVE DESIGNS TO BE APPROVED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
7. WASH DOWN/RUMBLE AREA TO BE CONSTRUCTED WITH PROVISIONS RESTRICTING ALL SILT AND TRAFFICKED DEBRIS FROM ENTERING THE STORMWATER SYSTEM.
8. NO WORK OR STOCKPILING OF MATERIALS TO BE PLACED OUTSIDE OF SITE WORK BOUNDARY.
9. APPROPRIATE EROSION AND SEDIMENT CONTROLS TO BE USED TO PROTECT STOCKPILES AND MAINTAINED THROUGH OUT CONSTRUCTION.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE DUE CARE OF NATURAL VEGETATION. NO CLEARING IS TO BE UNDERTAKEN WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT.
11. TO AVOID DISTURBANCE TO EXISTING TREES, EARTHWORKS WILL BE MODIFIED AS DIRECTED ON-SITE BY THE SUPERINTENDENT.
12. THE LOCATION OF EROSION AND SEDIMENTATION CONTROLS WILL BE DETERMINED ON SITE BY THE SUPERINTENDENT.
13. ACCESS TRACKS THROUGH THE SITE WILL BE LIMITED TO THOSE DETERMINED BY THE SUPERINTENDENT AND THE CONTRACTOR PRIOR TO ANY WORK COMMENCING.
14. ALL SETTING OUT IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO WORKS COMMENCING ON SITE. THE SUPERINTENDENT'S SURVEYOR SHALL PEG ALL ALLOTMENT BOUNDARIES, PROVIDE COORDINATE INFORMATION TO THESE PEGS AND PLACE BENCH MARKS. THE CONTRACTOR SHALL SET OUT THE WORKS FROM AND MAINTAIN THESE PEGS.

SEDIMENT & EROSION CONTROL PLAN

SCALE 1:200

Issue	Description	Date	Design	Checked
B	ISSUE FOR COMPLYING DEVELOPMENT CERTIFICATE	21/03/2024	MJT	SBF
A	ISSUE FOR DEVELOPMENT APPLICATION	31/08/2023	MJT	JSF

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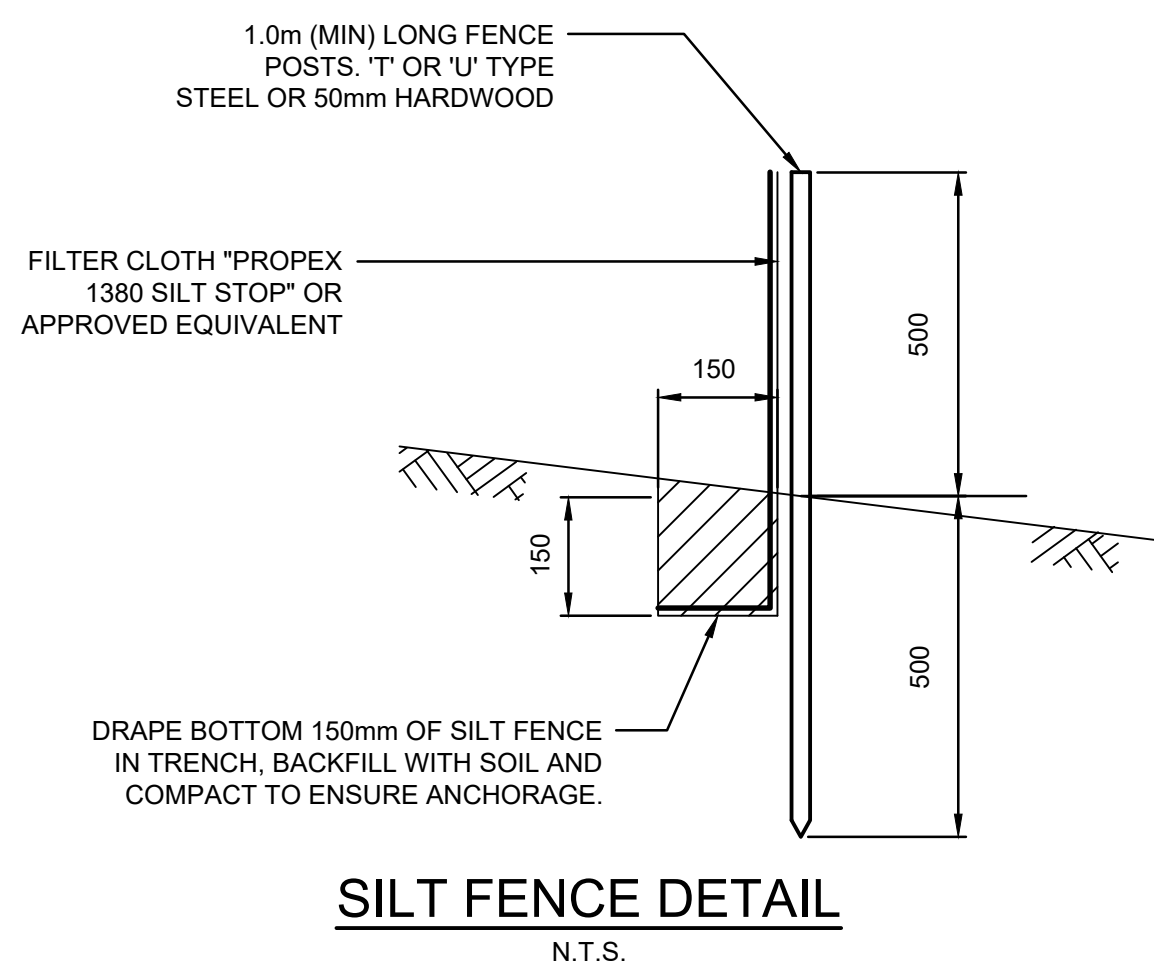
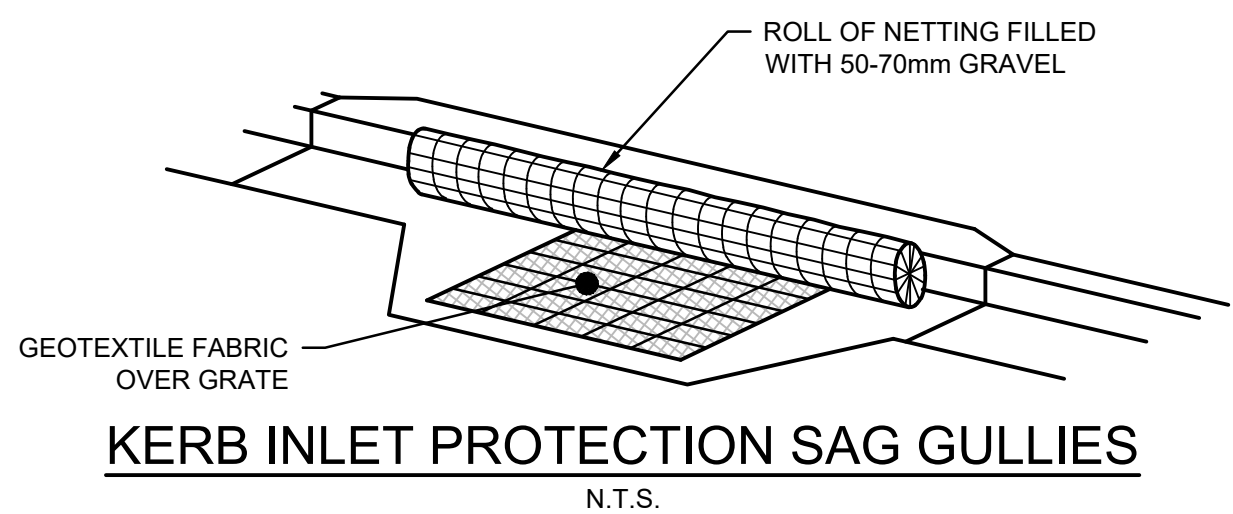
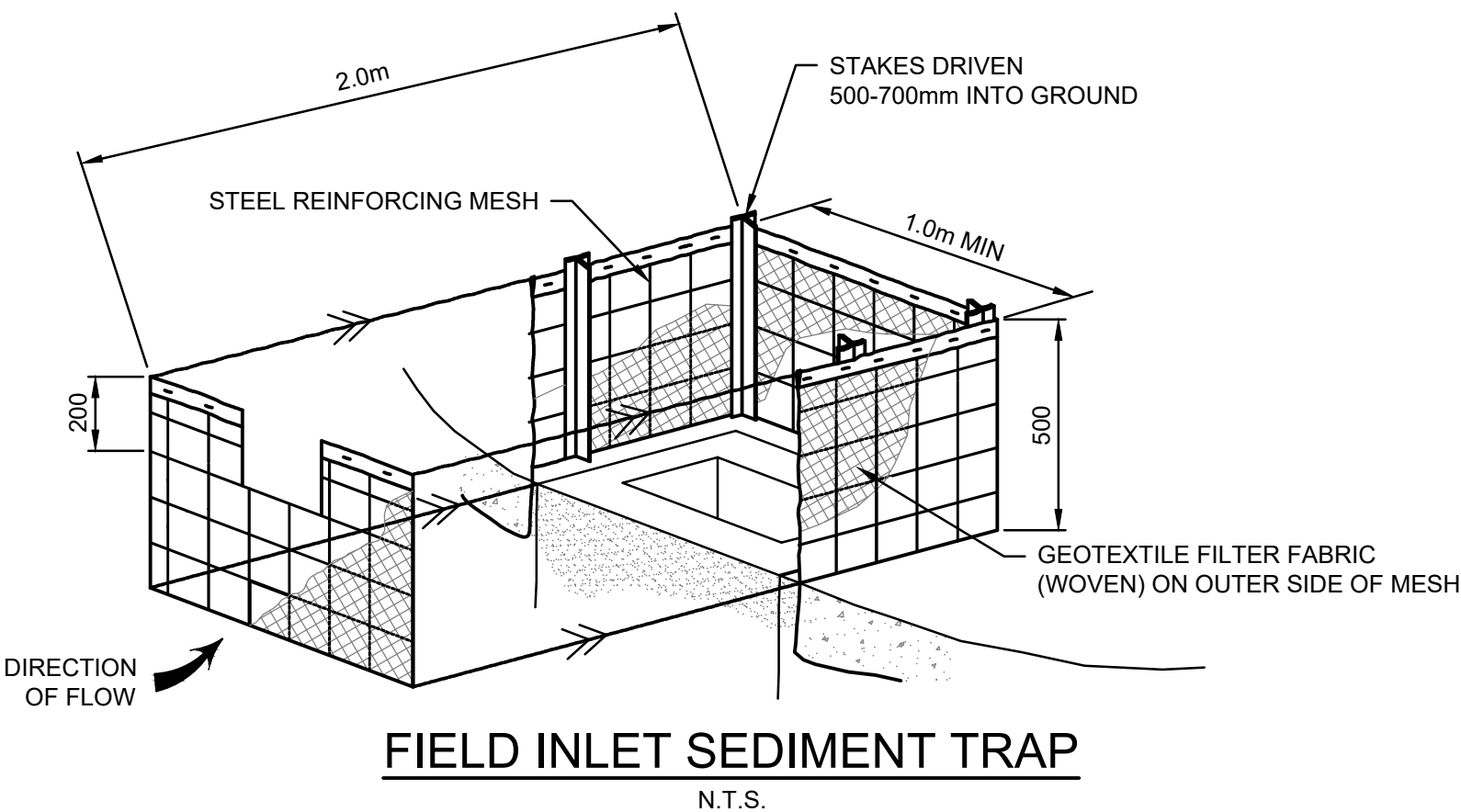
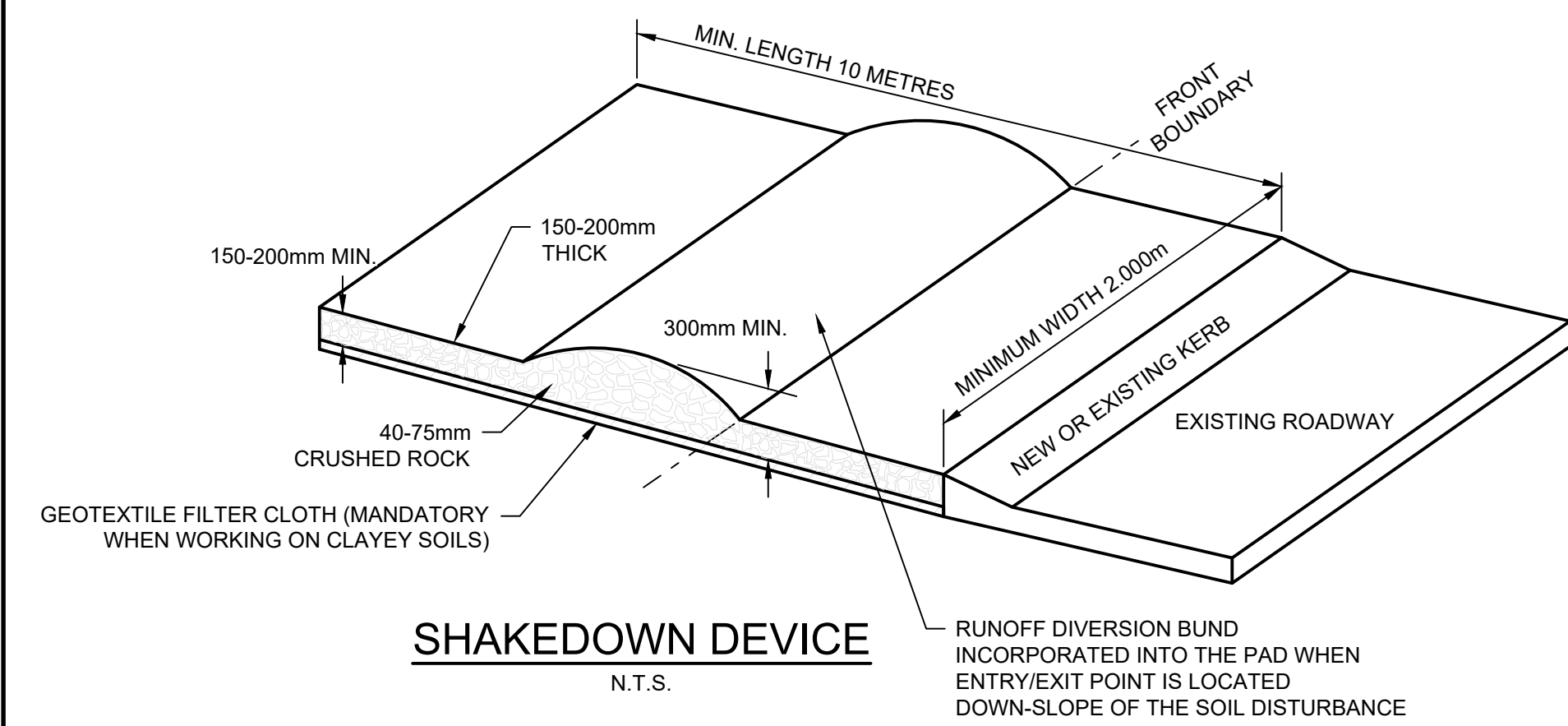
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Scale
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SCALE 1:200 @ A1

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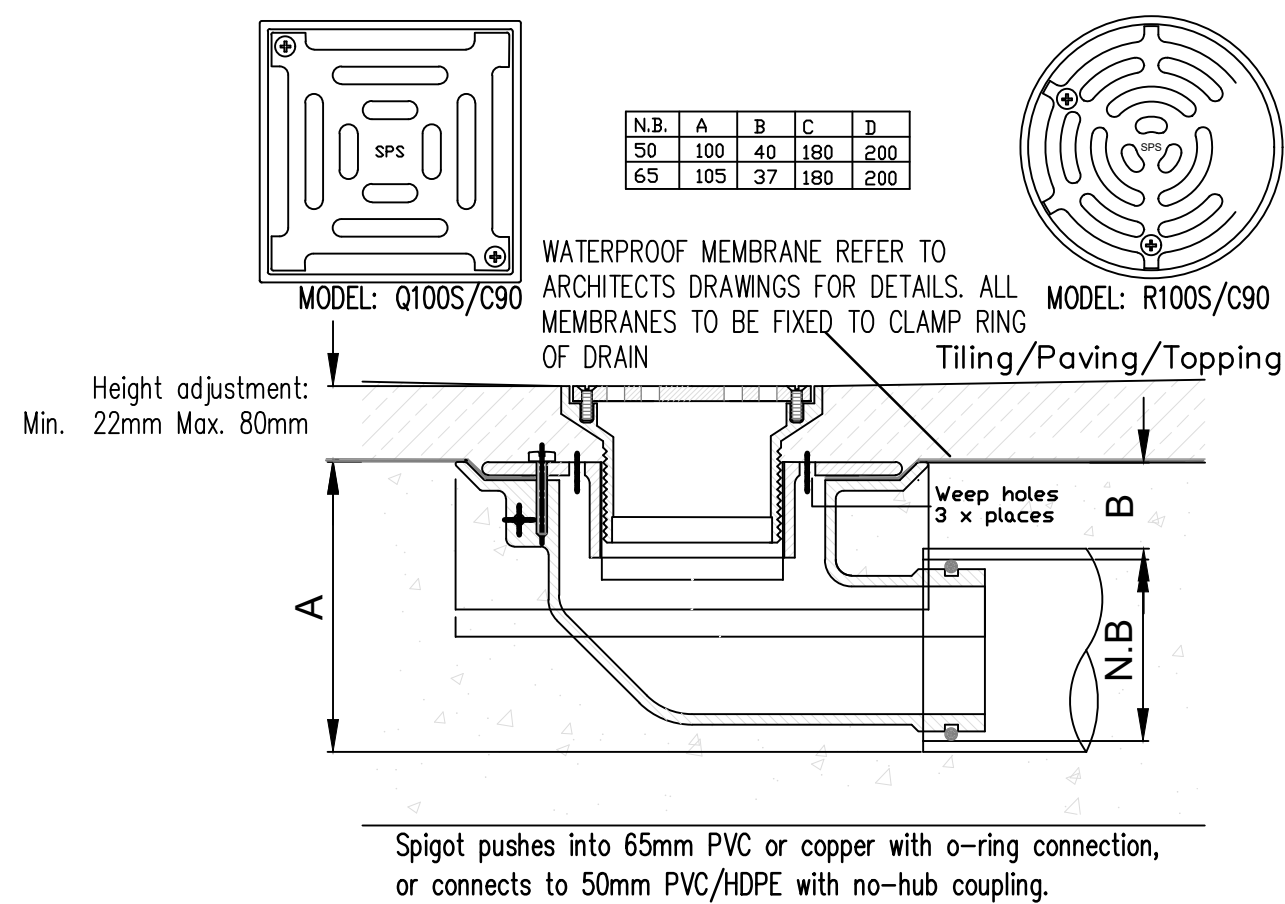
Project
**14 EASTRIDGE STREET, STAPYLTON
PROPOSED WAREHOUSE
STORMWATER MANAGEMENT PLANS
COMPLYING DEVELOPMENT CERTIFICATE**

Drawing Title
**SEDIMENT AND EROSION
CONTROL PLAN**
Scale 1:200 A1 Project No. 23337 Dwg. No. 102 Issue B

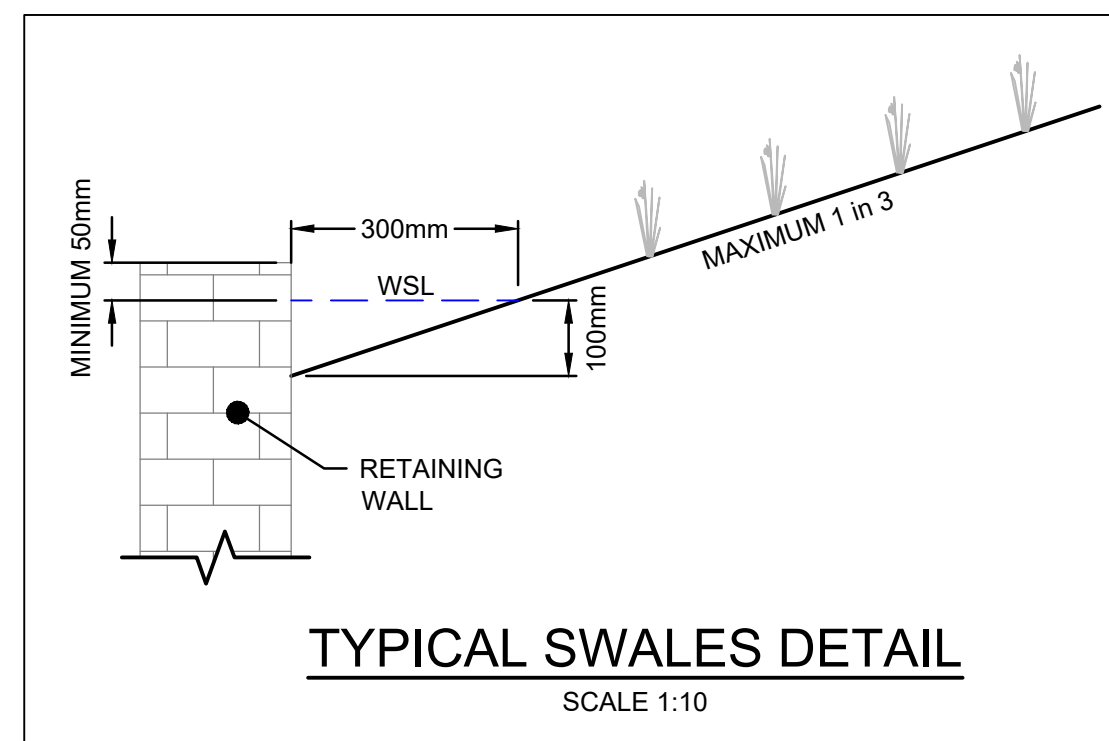
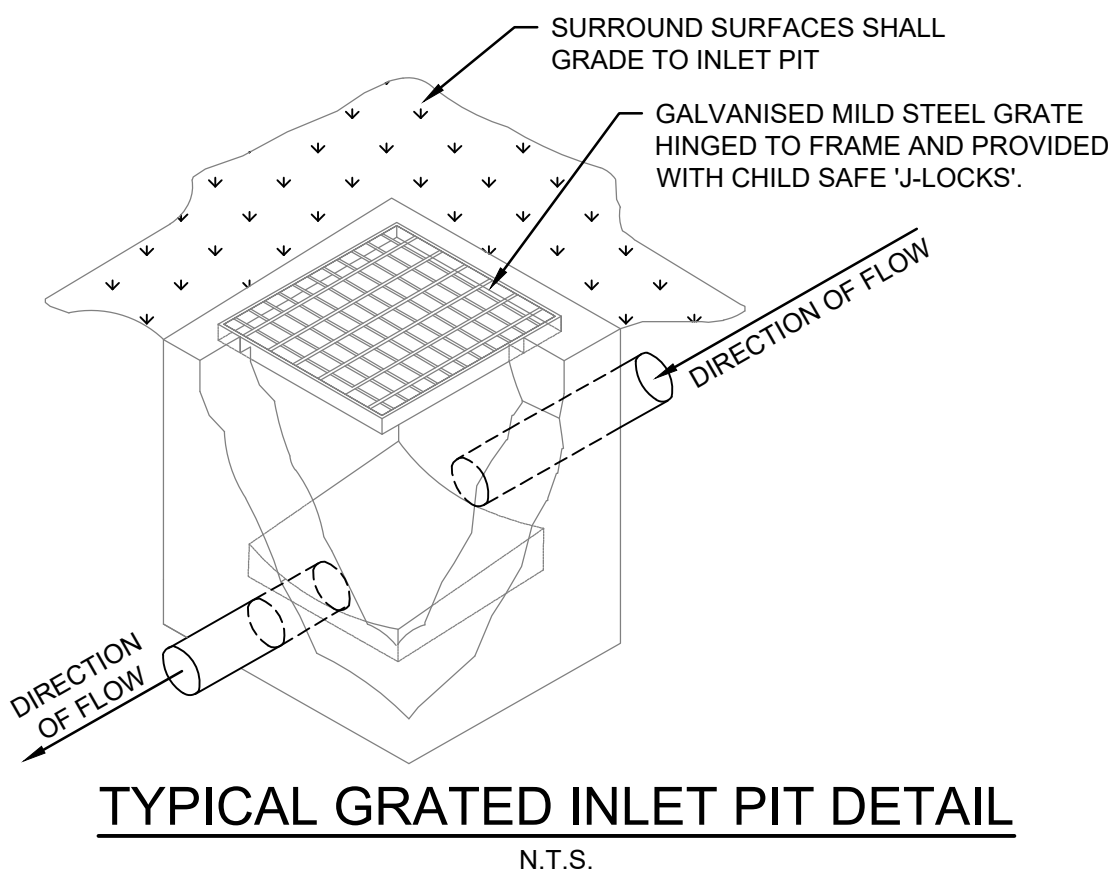
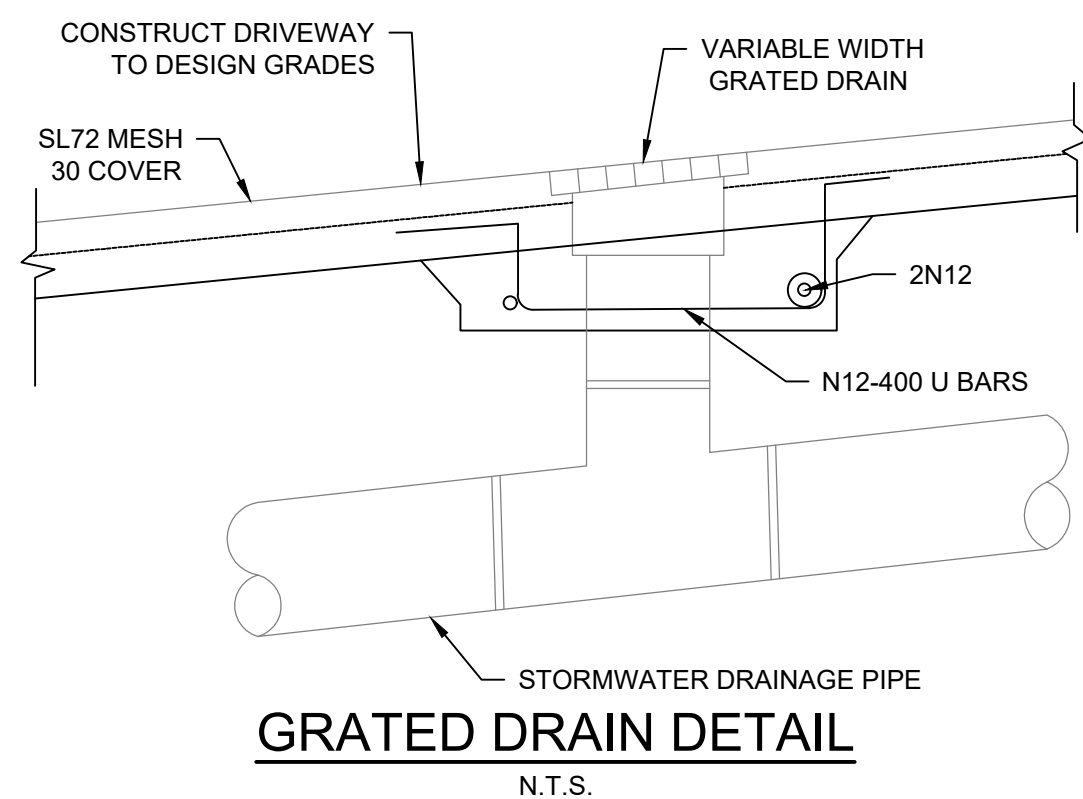


SILT FENCE NOTES:

1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150mm AND FOLDED.
4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14mm GAUGE, 150mm MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES
5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, ESPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE
6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCY SPILLWAYS AT SPACINGS NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACINGS ON STEEP TERRAIN.



TYPICAL CAST IN FLOOR WASTE/RAINWATER OUTLET



CATCHMENT CALCULATIONS:

- AREA DRAINING TO SWALE (A1) = 91 m²
 $Q_{100} = CIA / 3600 = 0.787 \times 297 \times 91 / 3600 = 5.9L/s$
- AREA DRAINING TO SWALE (A2) = 91 m²
 $Q_{100} = CIA / 3600 = 0.787 \times 297 \times 80 / 3600 = 5.2L/s$
- AREA DRAINING TO SWALE (A3) = 75 m²
 $Q_{100} = CIA / 3600 = 0.787 \times 297 \times 75 / 3600 = 4.9L/s$

SWALE (A1) CAPACITY CALCULATIONS

mannings n=	0.035	Top width (m)=	0.39
channel slope (%) =	3.60	Flow area (m ²)=	0.03
base width (m) =	0.00	Perimeter (m) =	0.54
depth (m)=	0.130	Hyd radius (m) =	0.05
side slope 1 (1 in x)=	3.00	Velocity (m/s) =	0.70
side slope 2 (1 in x)=	0.00	Capacity (cume/s)=	0.0179
		Froude No	0.88
		VxD ratio =	0.09

SWALE (A2) CAPACITY CALCULATIONS

mannings n=	0.035	Top width (m)=	0.39
channel slope (%) =	3.60	Flow area (m ²)=	0.03
base width (m) =	0.00	Perimeter (m) =	0.54
depth (m)=	0.130	Hyd radius (m) =	0.05
side slope 1 (1 in x)=	3.00	Velocity (m/s) =	0.70
side slope 2 (1 in x)=	0.00	Capacity (cume/s)=	0.0179
		Froude No	0.88
		VxD ratio =	0.09

SWALE (A3) CAPACITY CALCULATIONS

mannings n=	0.035	Top width (m)=	0.27
channel slope (%) =	5.70	Flow area (m ²)=	0.01
base width (m) =	0.00	Perimeter (m) =	0.37
depth (m)=	0.090	Hyd radius (m) =	0.03
side slope 1 (1 in x)=	3.00	Velocity (m/s) =	0.69
side slope 2 (1 in x)=	0.00	Capacity (cume/s)=	0.0084
		Froude No	1.04
		VxD ratio =	0.06

Stormwater Drainage System Maintenance Schedule

Maintenance Action	Frequency	Responsibility	Procedure
General			
Inspect roof drainage system of building and remove any debris/sludge	Six Monthly	Strata/Maintenance Contractor	Remove any leaves or debris and sludge from gutters of building and flush downpipes of building to remove any blockages. Pits downstream of downpipes to be cleaned of flushed debris.
Inspect pits and trench drains on site and remove debris/litter/sludge	Monthly or following Rain Period	Strata/Maintenance Contractor	Remove grate. Remove any debris/litter/sludge from within pits.
Inspect site for litter and floatable debris and remove	Fortnightly	Strata/Maintenance Contractor	Remove litter from site and sweep all driveway and pathways in order to remove leaves or sediments that may enter into the drainage system.

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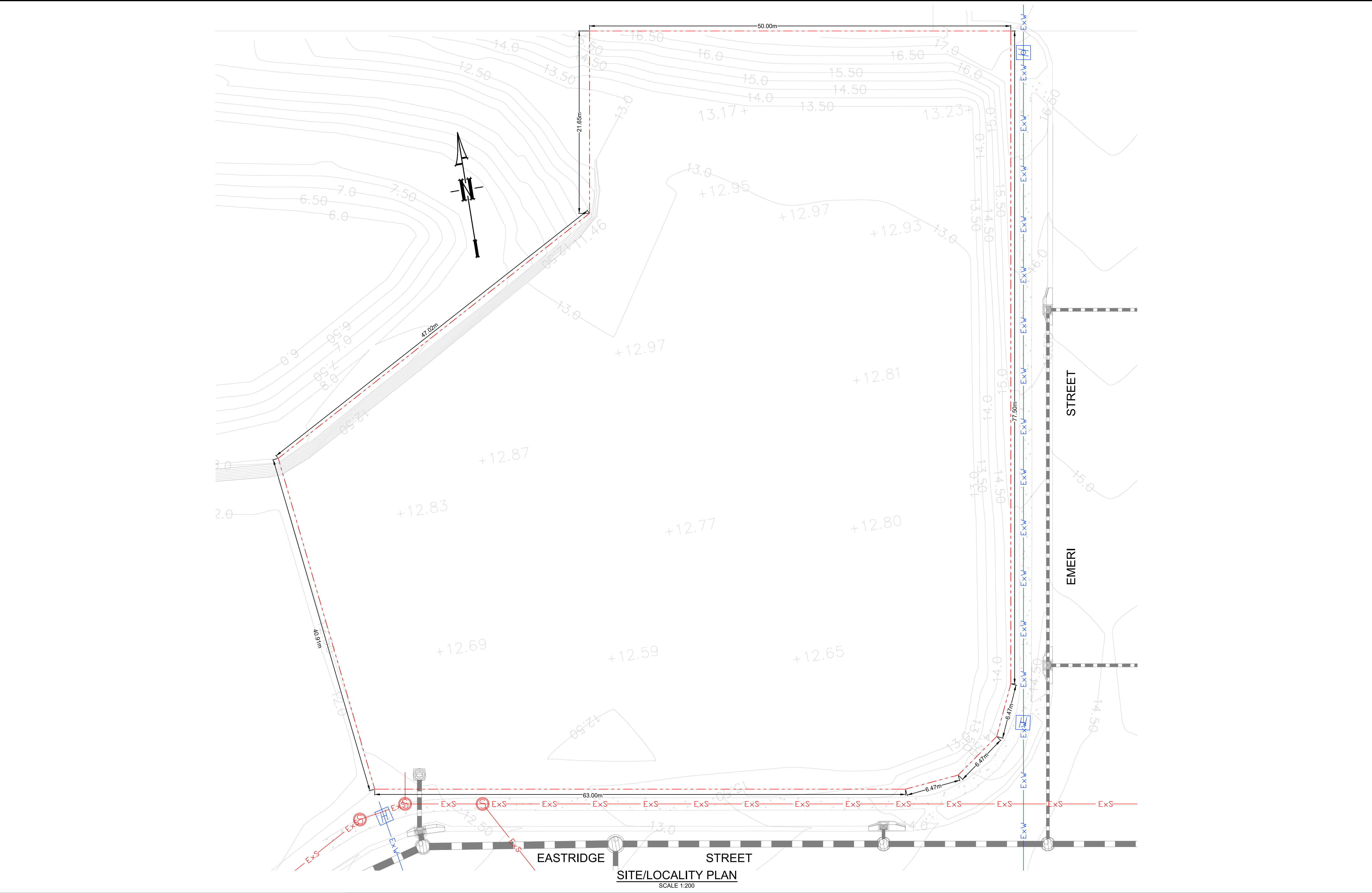
Scale

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Drawing Title
**MISCELLANEOUS
DETAILS SHEET**

Scale N.T.S.	A1 Project No. 23337	Dwg. No. 103	Issue D
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