

OPERATIONAL WORKS FOR CHANGE TO GROUND LEVEL

DRAWING INDEX		
DRAWING No.	REV No.	DRAWING TITLE
6181 ENG BE 001	C	DRAWING INDEX AND LOCALITY PLAN
6181 ENG BE 002	A	GENERAL NOTES
6181 ENG BE 004	A	LEGEND
6181 ENG BE 005	C	KEY PLAN LAYOUT
6181 ENG BE 010	A	EXISTING SURFACE LAYOUT PLAN
6181 ENG BE 050	A	SEDIMENT AND EROSION CONTROL TYPICAL DETAILS
6181 ENG BE 051	C	SEDIMENT AND EROSION CONTROL PLAN
6181 ENG BE 100	C	BULK EARTHWORKS CUT AND FILL PLAN
6181 ENG BE 120	C	FINISHED SURFACE LEVEL PLAN
6181 ENG BE 150	C	FINISHED SURFACE LEVEL CROSS SECTIONS
6181 ENG BE 200	C	RETAINING WALL CONTROL LINE AND SETOUT TABLES
6181 ENG BE 210	A	RETAINING WALL TYPICAL DETAILS
6181 ENG BE 211	B	RETAINING WALL LONGITUDINAL SECTIONS



LOCALITY PLAN
SCALE 1:2000 (A1)



FPI QUEENSLAND PTY. LTD.

VantageYatala

SITE ADDRESS

LOT 120 on SP329476
EASTRIDGE STREET
STAPYLTON, QLD 4207

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2025/72

Dated: 23/04/2025

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

THIS APPROVAL ENDORSES THE CHANGE TO
GROUND LEVEL EARTHWORKS ALONE, NOT
INCLUDING ANY OTHER WORKS SHOWN IN
THE DRAWINGS.

DWG No. 6181 ENG BE 001 – REV C
DECEMBER 2024

GENERAL NOTES

1. **CONTRACT DOCUMENTATION**
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION AND CoGC STANDARD DRAWINGS AND SPECIFICATIONS.
2. **DATUM**
LEVELS SHOWN ON THE PLANS ARE A.H.D.
3. **SURVEY SETOUT**
THE SURVEY SET OUT INFORMATION TO ALLOW THE CONTRACTOR TO ACCURATELY SET OUT THE WORKS HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR. THE CONTRACTOR IS NOT TO SCALE FROM THESE PLANS AS A MEANS OF OBTAINING SETOUT INFORMATION.
4. **EXISTING SURVEY CONTROL STATIONS**
IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EXISTING SURVEY CONTROL STATIONS ARE NOT DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES. SHOULD THE CONTRACTOR IDENTIFY ANY CONFLICT BETWEEN EXISTING SURVEY CONTROL AND THE REQUIRED CONSTRUCTION ACTIVITIES THE SUPERINTENDENT IS TO BE NOTIFIED IMMEDIATELY.
5. **EXISTING SERVICES**
THE LOCATION OF EXISTING SERVICES WHERE SHOWN ON THE PLANS ARE INDICATIVE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT SERVICE AUTHORITIES TO ASCERTAIN THE EXACT LOCATION OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS AND TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE EXISTING SERVICES.
6. **SITE ACCESS**
THE CONTRACTOR SHALL ONLY GAIN ACCESS TO THE SITE VIA ACCESS LOCATIONS APPROVED BY THE SUPERINTENDENT. FREEDOM OF ACCESS TO OTHER WORK AREAS ON THE SITE SHALL BE MAINTAINED AT ALL TIMES.
7. **PROVISION FOR TRAFFIC**
PROVISION FOR TRAFFIC ON LOCAL ROADS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND CoGC COUNCIL REQUIREMENTS.
8. **WORK EXTENT**
THE CONTRACTOR IS TO RESTRICT ACTIVITIES TO THOSE AREAS DESIGNATED AS WORKS AREAS UNDER THE CONTRACT. AT NO TIME IS THE CONTRACTOR TO ENTER ADJOINING PROPERTIES OR CONTRACT AREAS WITHOUT THE WRITTEN AUTHORISATION OF THE SUPERINTENDENT.
9. **TESTING**
ALL TESTING IS TO BE CARRIED OUT BY AN APPROVED N.A.T.A TESTING AUTHORITY IN ACCORDANCE WITH THE PROJECT SPECIFICATION AND REQUIREMENTS OF CoGC COUNCIL.
10. **"AS CONSTRUCTED" SURVEY**
"AS CONSTRUCTED" SURVEY SHALL BE CARRIED OUT BY THE PRINCIPAL'S SURVEYOR AS WORK PROCEEDS. THE CONTRACTOR IS TO PROVIDE ADEQUATE NOTICE TO THE PRINCIPAL'S SURVEYOR ON WHEN THIS IS REQUIRED TO ENSURE COMPLIANCE WITH THE REQUIREMENTS OF CoGC COUNCIL.
11. **MAINTENANCE OF SITE CONDITION**
AT THE COMPLETION OF WORKS THE SITE IS TO BE LEFT IN A CLEAN AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT AND CoGC.

EARTHWORKS

1. **PRECEDENCE**
EARTHWORKS SPECIFICATION PREPARED BY PROJECT GEOTECHNICAL ENGINEER TO TAKE PRECEDENCE OVER STANDARD COUNCIL EARTHWORKS NOTES.
2. **TOPSOIL STRIPPING**
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT AND FILL AREAS AND SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
3. **EARTHWORKS LEVELS**
EARTHWORKS LEVELS SHOWN ON THE DRAWING ARE TO FINISHED SURFACE LEVELS AND INCLUDE 100mm OF TOPSOIL. THE CONTRACTOR SHALL VERIFY BENCH MARK LEVELS AND ADVISE THE SUPERINTENDENT OF ANY DISCREPANCY BEFORE COMMENCEMENT OF CONSTRUCTION.
4. **UNDESIRABLE MATERIAL**
THE ENTIRE SITE/WORK AREAS SHALL BE CLEARED OF ALL UNDESIRABLE MATTER. THIS SHALL INCLUDE DEAD TIMBER, GRASS, OLD FOUNDATIONS, CONCRETE, MASONRY REMAINS, GARBAGE, DEBRIS AND ALL OTHER OBSTRUCTIONS TO THE WORKS UNLESS NOTED OTHERWISE. HOLES LEFT BY THE REMOVAL OF ANY OF THE ABOVE SHALL BE FILLED WITH APPROVED COMPACTED MATERIAL WITH PROPERTIES AT LEAST SIMILAR TO INSITU SOILS.
5. **COMPACTION STANDARD**
FILL MATERIAL SHALL BE COMPACTED TO THE FOLLOWING STANDARD, WHERE DRY DENSITY RATIO IS DETERMINED IN ACCORDANCE WITH AS 1289 USING STANDARD COMPACTION METHODS.

a. 100% DRY DENSITY RATIO IN COHESIVE MATERIAL OR 80% IN COHESIONLESS MATERIAL FOR ROAD SUBGRADE.

b. 98% DRY DENSITY RATIO IN COHESIVE MATERIAL OR 65% IN COHESIONLESS MATERIAL FOR ALL AREAS OTHER THAN THE ROADWAY AND BUILDING PADS.

c. 98% DRY DENSITY RATIO IN COHESIVE MATERIAL OR 70% IN COHESIONLESS MATERIAL FOR BUILDING PADS.
5. **PAVEMENT DEPTHS**
EARTHWORKS VOLUMES DO NOT INCLUDE DESIGN PAVEMENT DEPTHS AS INDICATED ON THE TYPICAL BULK EARTHWORKS ROAD SECTION.
6. **TESTING**
ALL EARTHWORKS TO BE CARRIED OUT UNDER LEVEL 1 SUPERVISION IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3798 UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT. ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A TESTING AUTHORITY.
7. **ROCK**
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT DOCUMENT.

8. **DAMS AND PONDS**
WHERE POSSIBLE, WATER FROM DAMS AND PONDS SHALL BE MAINTAINED AND UTILISED FOR CONSTRUCTION PURPOSES AND DUST SUPPRESSION. DAMS AND PONDS NOT TO BE RETAINED SHALL BE DEWATERED, CLEARED OF ANY FOREIGN MATTER AND ORGANIC MATERIAL WITH THIS MATERIAL TO BE REMOVED OFF SITE.
9. **RETAINING STRUCTURES**
THE DESIGN AND STRUCTURAL CERTIFICATION OF RETAINING STRUCTURES SHALL BE UNDERTAKEN BY THE CONTRACTOR'S STRUCTURAL ENGINEER (RPEQ) IN CONSULTATION WITH THE PROJECT'S CIVIL ENGINEER AND LANDSCAPE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR THE SUBMISSION AND APPROVAL COORDINATION OF THE ASSOCIATED DRAWINGS AND CERTIFICATION TO GoGC. A COPY OF THIS SUBMISSION IS TO BE PROVIDED TO THE SUPERINTENDENT.
10. **TOPSOIL REPLACEMENT**
ALL BATTERS AND ALLOTMENT CUT & FILL AREAS SHALL BE TOP SOILED FROM ONSITE STOCKPILES. IF DIRECTED BY THE SUPERINTENDENT THE TOPSOIL SHALL BE SCREENED PRIOR TO PLACING. THE CONTRACTOR SHALL ALLOW IN THEIR RATE FOR SCREENING AND THE DISPOSAL OF REJECT MATERIAL TO TIP OFFSITE INCLUDING ALL FEES. THE CONTRACTOR MUST ENSURE THAT THE STRIPPING SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO AVOID CONTAMINATION BY OVER CUTTING. IF TOPSOIL IS CONTAMINATED BY OVER CUTTING AND DETERMINED NOT SUITABLE FOR REUSE BY THE SUPERINTENDENT, THE CONTRACTOR SHALL BEAR THE COST OF REMOVAL FROM SITE OF ALL CONTAMINATED TOPSOIL AND THE COST TO SUPPLY AND IMPORT SUITABLE TOPSOIL FOR RE-SPREADING.
11. **GRASSING / SEEDING**
ALL CUT & FILL AREAS AND DISTURBED AREAS SHALL BE GRASSED OR SEEDED TO THE SATISFACTION OF THE SUPERINTENDENT.
12. **STOCKPILES**
ALL MATERIAL/SPOIL ARISING FROM WORKS ON SITE SHALL BE COMPACTED TO AN APPROPRIATE STANDARD WITHIN THE FILL AREAS OF FUTURE STAGES AS NOMINATED BY THE SUPERINTENDENT. THE CONTRACTOR IS NOT TO CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS WRITTEN AUTHORIZATION IS RECEIVED FROM THE SUPERINTENDENT.

SEDIMENT AND EROSION

1. THE OBJECTIVES OF THE EROSION AND SEDIMENT CONTROL PROGRAM ARE:

a. ALLOW STORMWATER TO PASS THROUGH THE SITE IN A CONTROLLED MANNER AT NON-EROSIVE FLOW VELOCITIES.

b. MINIMISE SOIL EROSION FROM WATER AND WIND

c. MINIMISE ADVERSE EFFECTS OF SEDIMENT RUNOFF.

d. MINIMISE OR PREVENT ENVIRONMENTAL HARM ASSOCIATED WITH DISCHARGE FROM THE CONSTRUCTED SITE.

e. ENSURE THAT THE VALUE AND USE OF RESIDENTIAL AND INDUSTRIAL PROPERTIES ADJACENT TO THE DEVELOPMENT ARE NOT DIMINISHED AS A RESULT OF THE MIGRATION OF SEDIMENT FROM THE DEVELOPMENT.
2. THE EROSION AND SEDIMENT CONTROL PROGRAM SHALL COMPLY WITH THE ENVIRONMENTAL BEST ENGINEERING GUIDELINES FOR QUEENSLAND CONSTRUCTION SITES. THE CURRENT INSTITUTION OF ENGINEERS AUSTRALIA AND LOCAL AUTHORITY GUIDELINES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTIONS INCLUDING THE MAINTENANCE PERIOD. NOTWITHSTANDING THE FINISHED EARTHWORK DESIGN SHOWN ON THE DRAWINGS THE CONTRACTOR IS RESPONSIBLE TO IMPLEMENT ADDITIONAL SEDIMENT CONTROL MEASURES AND DEVICES USING BEST PRACTICES AS NECESSARY TO MINIMISE THE QUANTITY LEAVING THE SITE DURING CONSTRUCTION AND UPON COMPLETION OF EARTHWORKS.
3. THE CONTRACTOR IS TO FOLLOW CONSTRUCTION PHASE AS OUTLINED IN THE CONSTRUCTION SEQUENCE/SILT MANAGEMENT PROGRAM. ALL SEDIMENT CONTROL DEVICES SHALL BE MONITORED, CLEANED AND/OR REPLACED WHENEVER THE ACCUMULATED SEDIMENT REDUCES THE CAPACITY BY 50%. ALL PERIMETER BANK/SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET. AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS AND PROTECT ANY DOWNSTREAM CONSTRUCTION AND GULLY INLETS. INLETS TO HAVE SILT PROTECTION IN ACCORDANCE WITH KERB INLET PROTECTION DETAIL AT LOCATIONS SHOWN OR AS INDICATED BY THE ENGINEER.
4. PRIOR TO THE COMMENCEMENT OF EARTHWORKS, THE CONTRACTOR IS TO CARRY OUT SOIL TESTING (IF REQUIRED BY SUPERINTENDENT) TO DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL AND RESULTS TO BE GIVEN TO THE ENGINEERS SO THE FINALIZATION OF THE EROSION AND SEDIMENT CONTROL PLAN CAN BE COMPLETE.
5. TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN LOCATIONS AGREED WITH THE SUPERINTENDENT. CLEARING OF SITE AND STOCKPILE AREAS TO BE AS DIRECTED BY THE SUPERVISING ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AT ALL TIMES INCLUDING WEEKENDS AND PUBLIC HOLIDAYS.
6. SUITABLE ACCESS SHALL BE PROVIDED TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES (IT IS TO BE NOTED THAT CLEARING SHALL ONLY OCCUR IN AREAS WHERE THERE IS NO OTHER ALTERNATIVE TO GAIN ACCESS TO THE LOCATION OF THE SEDIMENT CONTROL DEVICES). APPROVAL FOR REMOVAL OF PROTECTED SIZE VEGETATION MUST BE OBTAINED PRIOR TO CLEARING.
7. ROCK BUNDS TO BE PLACED AROUND ALL HEADWALLS DURING CONSTRUCTION.
8. 0.8m TURF IS TO BE PLACED BEHIND ON ALL BATTERS WITHIN PRIVATE OPEN SPACE STEEPER THAN 1:4 UNLESS OTHERWISE NOTED. THE EXTENT OF GRASSING SHALL BE DETERMINED BY THE ENGINEER AND SHALL BE SEEDED, AS SPECIFIED, WITHIN 7 DAYS OF FINAL TRIMMING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT GRASS STRIKE RATES ARE ACHIEVED AT ON AND OFF MAINTENANCE INSPECTION IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
9. TURF IS TO BE PLACED FROM BACK OF KERB TO ROAD RESERVE BOUNDARY ON ALL ROADS AFTER EARTHWORKS ARE COMPLETE.
10. GEO-FABRIC LINING OF CHANNELS AND CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
11. FILLING AND OR MAINTENANCE OF EXISTING AND OR SEDIMENT BASINS MAY REQUIRE FLOCCULATION.
12. BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH THE APPROVED OPEN SPACE MANAGEMENT PLAN (OSMP).
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN OUT OPT'S, SEDIMENT FOREBAYS AND ALL OTHER SEDIMENT CONTROL DEVICES DURING CONSTRUCTION AND PRIOR BOTH ON AND OFF MAINTENANCE INSPECTIONS WITH CoGC. THE CONTRACTOR SHALL ALLOW FOR THE COST OF THESE WORKS WITHIN THEIR SUBMITTED TENDER PRICE.

CONSTRUCTION SEQUENCE/SILT MANAGEMENT PROGRAM

1. **PRE START**

a. ERECT SITE SIGNAGE, CONSTRUCT ENTRY AND EXIT POINT AS INDICATED CONSTRUCT VEHICLE WASH-DOWN AREA AND ASSOCIATED SILT MANAGEMENT DEVICES.

b. CONSTRUCT SITE OFFICE AND STORAGE COMPOUND AREA

c. ERECT SILT FENCE AT LOW POINTS OF THE SITE AS DEMONSTRATED

d. ERECT TEMPORARY TREE PROTECTION FENCING FOR VEGETATION TO BE RETAINED IN ACCORDANCE WITH AN OPW (TREE CLEARING) APPROVAL OR IN ACCORDANCE WITH AS4970 PROTECTION OF TREES ON DEVELOPMENT SITE.

e. CONSTRUCT ROCK CHECK DAMS AND SILT FENCE DOWN STREAM OF BASIN.

f. CONSTRUCT BASIN TO FULL DEPTH.

g. CONSTRUCT BALANCE OF BASIN IN CONJUNCTION WITH CLEARING AND BULK EARTHWORKS OPERATIONS.

h. BASIN TO BE UTILISED AS A TEMPORARY SEDIMENT BASIN. DO NOT FILL IN FILTRATION MATERIAL UNTIL CONSTRUCTION OF DEVELOPMENT IS COMPLETE.
2. **CLEARING AND BULK EARTHWORKS**
THERE SHALL BE NO CLEARING OF PROTECTED SITE VEGETATION WITHOUT AN APPROVED TREE CLEARING PLAN WHICH SHALL BE IN ACCORDANCE WITH AS4970. SILT FENCE, SAND BAGS AND EARTH RILLS WITHIN ROADS TO BE ERECTED AS INDICATED OR REQUIRED DURING CLEARING & EARTHWORKS. SUPERINTENDENT TO CONFIRM THE EXTENT OF CLEARING PRIOR TO COMMENCEMENT OF WORKS.
3. **CONSTRUCTION OF SEWER/ROOFWATER / STORMWATER /SERVICES**
EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE OF TRENCH AND TO PROTECT PIPE WORK AND DIRECT SURFACE MATERIAL AWAY FROM EXCAVATIONS. TOPSOIL AND GRASS SEED AREAS IN ALLOTMENTS IMMEDIATELY AFTER COMPLETING THE SEWER AND ROOFWATER DRAINAGE CONSTRUCTION. DEPRESS GROUND AROUND TEMPORARY FIELD INLETS TO CREATE SILT POND.
4. **CONSTRUCTION – SEDIMENT BASINS**
SEDIMENT BASIN TO BE CONSTRUCTED TO THE EARTHWORK PROFILES SHOWN. STORMWATER OUTLET PIPES TO BE TEMPORARY BLOCKED OFF UNTIL DECOMMISSIONING OF SEDIMENT BASIN (SUBSEQUENT TO CONSTRUCTION OF ALL STAGES). PLACE SPOIL FROM SEDIMENT BASIN INTO ALLOCATED AREAS AS ENGINEERED FILL IN ACCORDANCE WITH THE STAGING ORDER. SEDIMENT BASIN SHALL ONLY BE REMOVED AFTER APPROVAL BY SUPERINTENDENT AND COUNCIL.
5. **CONSTRUCTION – STOCKPILING**
TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING. STOCKPILE SITE TO BE CLEARED OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE DRIP ZONE OR STRUCTURAL ROOT ZONE OF ANY RETAINED VEGETATION.
6. **CONSTRUCTION – ROADWORKS**
SILT FENCES TO ALLOTMENTS TO BE ERECTED. KERB INLET PROTECTION TO BE PROVIDED TO ALL GULLIES.
7. **CONSTRUCTION – ALLOTMENTS**
TOPSOIL AND SEED ALLOTMENTS. SILT FENCES TO ALLOTMENTS TO BE RE-ERECTED. COVERS TO GULLY GRATES TO BE REMOVED IF THE SUPERINTENDENT INDICATE THE GRASS STRIKE IS SUFFICIENT (80% WITHIN 30 CALENDAR DAYS OF FINAL ALLOTMENT RIMMING).
8. **POST CONSTRUCTION – ALLOTMENTS**
TOPSOIL AND GRASS SEED ALL ALLOTMENTS. COVERS TO GULLY GRATES TO BE REMOVED IF THE SUPERINTENDENT INDICATES THE GRASS STRIKE IS SUFFICIENT (80% WITHIN 30 CALENDAR DAYS OF FINAL ALLOTMENT TRIMMING).
9. **POST CONSTRUCTION – BASIN**
BASIN TO CONTINUE ACTING AS SEDIMENT BASIN UNTIL COMPLETION OF ALL STAGES.
10. **POST CONSTRUCTION – ROAD RESERVES**
TOPSOIL AND TURFING IS TO BE PROVIDED BEHIND KERB.
11. **MAINTENANCE (PRE TO POST CONSTRUCTION)**
THE SILT FENCES ARE TO BE INSPECTED WEEKLY. ANY REPAIRS REQUIRED ARE TO BE EFFECTED IMMEDIATELY. SILT AFTER RAIN IS TO BE CLEANED FROM STREETS AND ALLOTMENTS IMMEDIATELY AND CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE OF THE FAILURE.
12. **BASIN CONSTRUCTION**
PRIOR TO COMMENCING CONSTRUCTION OF THE DETENTION BASIN THE DIVERSION OF SURFACE WATER FROM THE PROPOSED WORK AREAS, USING MEASURES SUCH AS OPEN DRAINS/SUMPS, ARE REQUIRED TO AID IN SITE DE-WATERING. BASIN TO CONTINUE ACTING AS SEDIMENT BASIN UNTIL 85% OF CATCHMENT CONSTRUCTION IS COMPLETE. THE CLAY FILLING FOR THE BASIN WALLS SHALL BE PLACED IN HORIZONTAL LAYERS OF 200mm THICKNESS AND COMPACTED TO DENSITY RATIO WITHIN THE RANGE 98%-102% STANDARD COMPACTION (AS 1289.5.1.1). PLACEMENT MOISTURE CONTENT SHOULD BE WITHIN THE RANGE OMC -1% TO OMC -2% (WHERE OMC = OPTIMUM MOISTURE CONTENT FOR STANDARD COMPACTION). CONTRACTOR TO PROVIDE SAFETY FENCING TO BASIN DURING CONSTRUCTION AND APPROPRIATE SIGNAGE (PERMANENT OR TEMPORARY).



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No:.....MIN/2025/72

Dated:23/04/2025

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

THIS APPROVAL ENDORSES THE CHANGE TO GROUND LEVEL EARTHWORKS ALONE, NOT INCLUDING ANY OTHER WORKS SHOWN IN THE DRAWINGS.



planning | environment | landscape | engineering | survey
T: 9807 3333 | F: 3287 5461 | www.gasman.com.au
Gold Coast | 78 Business Street, Yatala QLD | PO Box 362, Beerleigh 4207

Client:



FPI QUEENSLAND
PTY. LTD.

Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

RPD:

Lot: 120
Plan: SP316137
Local Authority: CoGC

Level Datum: AHD
Meridian: -
PSM: -
RL: -

ISSUED FOR APPROVAL

©2012 Gasman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gasman Development Perspectives.
THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

Drawing Title:

GENERAL NOTES

A	27/02/24	ORIGINAL ISSUE	ML	MG
Rev	Date	Description	DRN	CHK
DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE. CULVERT AND PIPE SIZES IN MILLIMETRES			A1 UNREDUCED	A3 REDUCED

Scale:

PROJECT NORTH POINT

Project No. 6181	
Designed: JH	Drafted: ML
Approved:	MG
RPEQ	16939
Signed:	
Date:	27/02/2024

Drawing No: 6181 ENG BE 002	Revision: A
-----------------------------	-------------

GENERAL NOTES

Client:



Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

RPD:

Lot: 120
Plan: SP316137
Local Authority: CoGC

Level Datum: AHD
Meridian: -
PSM: -
RL: -

ISSUED FOR APPROVAL

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or
transmitted in any form or by any means, electronic, mechanical,
photocopying, recording, or otherwise, without the written permission
of Gassman Development Perspectives.
THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
GENERAL NOTES.

Drawing Title:

LEGEND

A	27/02/24	ORIGINAL ISSUE	ML	MG
Rev	Date	Description	DRN	CHK

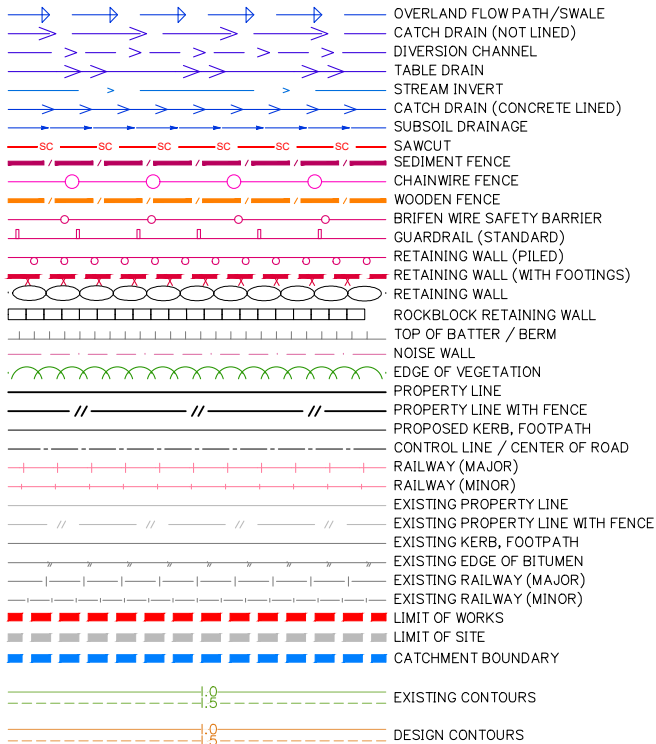
DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE
A1 UNREDUCED
A3 REDUCED

Scale:

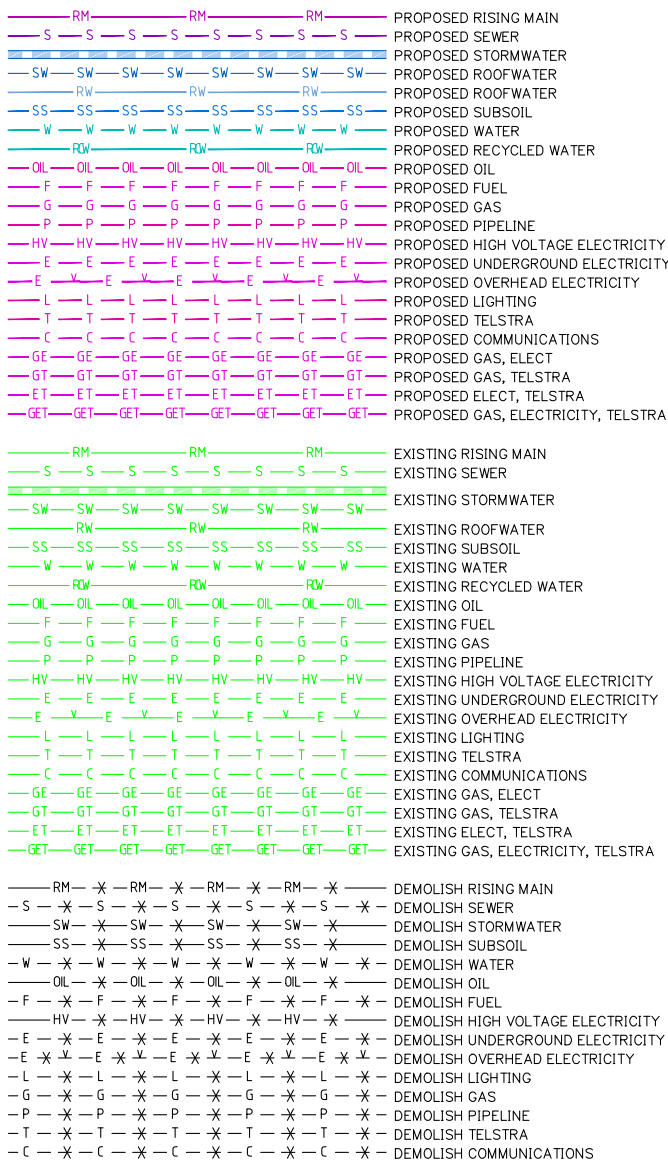
PROJECT NORTH POINT

Project No. 6181	
Designed: JH	Drafted: ML
Approved:	MG
RPEQ	16939
Signed:	
Date:	27/02/2024
Drawing No: 6181 ENG BE 004	Revision A

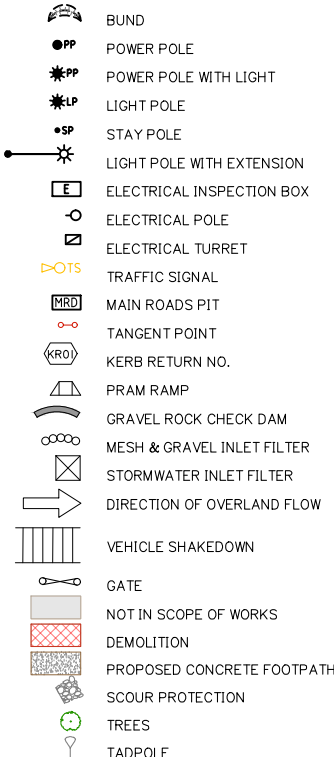
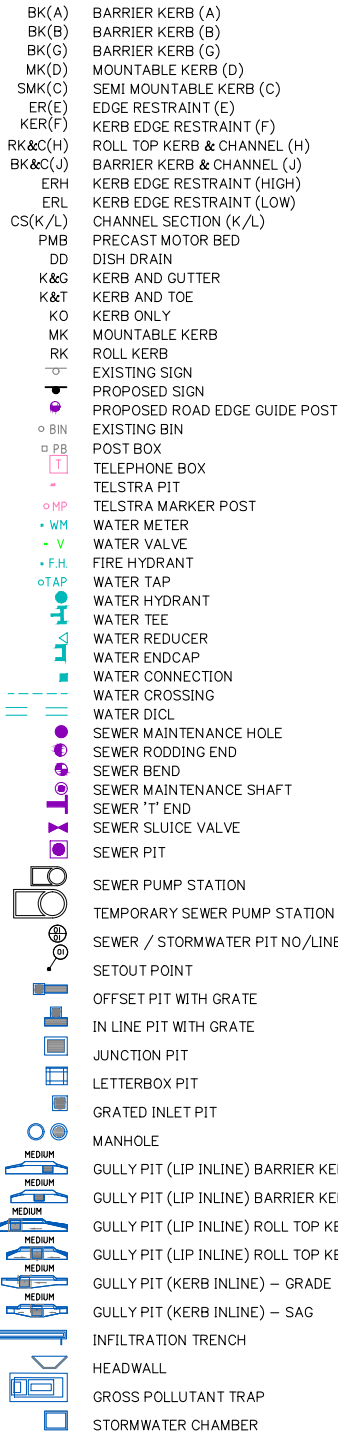
FEATURE LEGEND



SERVICES LEGEND



SYMBOLS



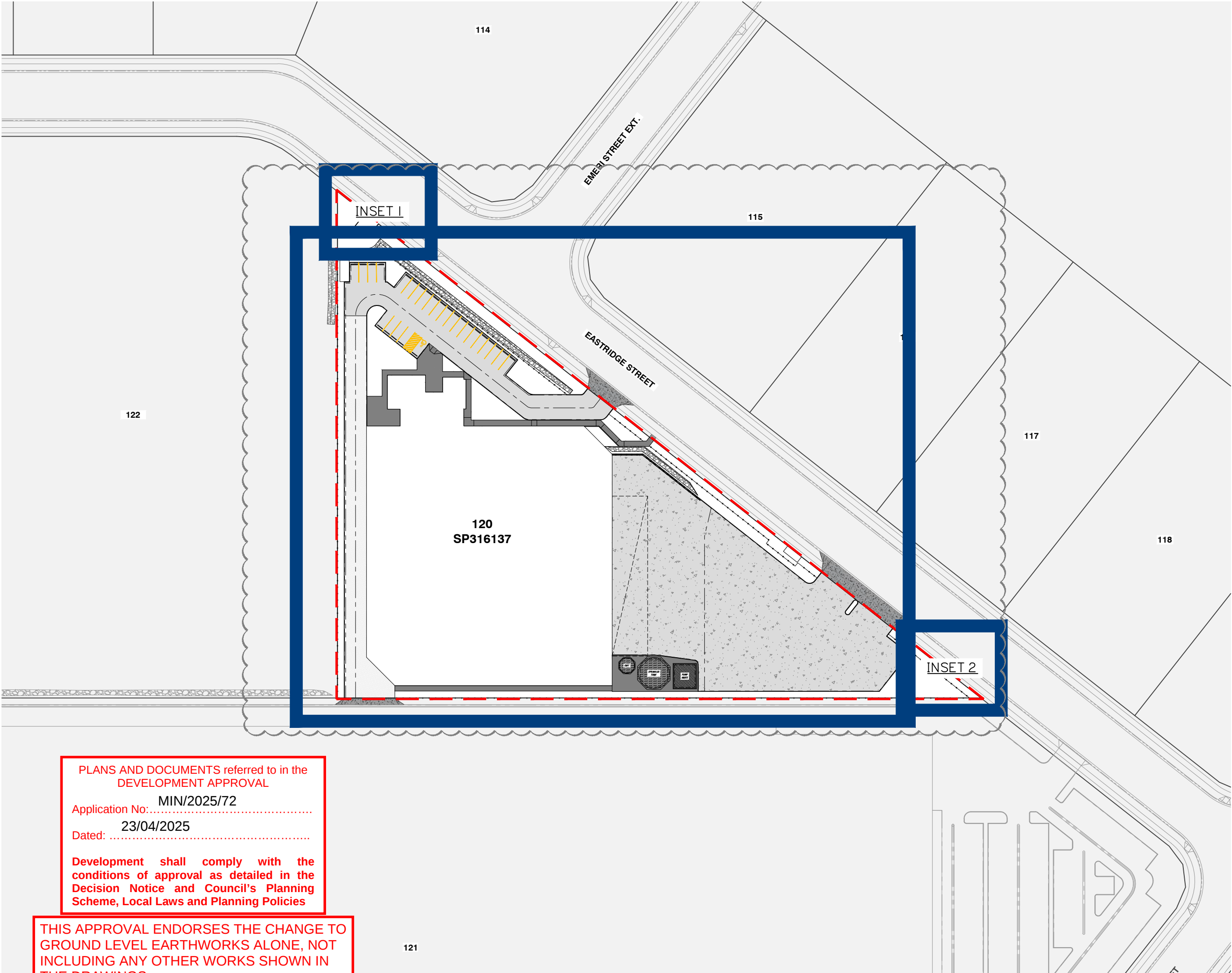
LEGEND

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2025/72
Dated: 23/04/2025

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

THIS APPROVAL ENDORSES THE CHANGE TO
GROUND LEVEL EARTHWORKS ALONE, NOT
INCLUDING ANY OTHER WORKS SHOWN IN
THE DRAWINGS.



PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2025/72
Dated: 23/04/2025

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

THIS APPROVAL ENDORSES THE CHANGE TO
GROUND LEVEL EARTHWORKS ALONE, NOT
INCLUDING ANY OTHER WORKS SHOWN IN
THE DRAWINGS.

KEY PLAN LAYOUT

ISSUED FOR APPROVAL

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or
transmitted in any form or by any means, electronic, mechanical,
photocopying, recording, or otherwise, without the written permission
of Gassman Development Perspectives.
THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
GENERAL NOTES.

Rev	Date	Description	DRN	CHK
C	18/12/24	LAYOUT UPDATED	JH	MG
B	30/07/24	LAYOUT UPDATED	ML	MG
A	27/02/24	ORIGINAL ISSUE	ML	MG

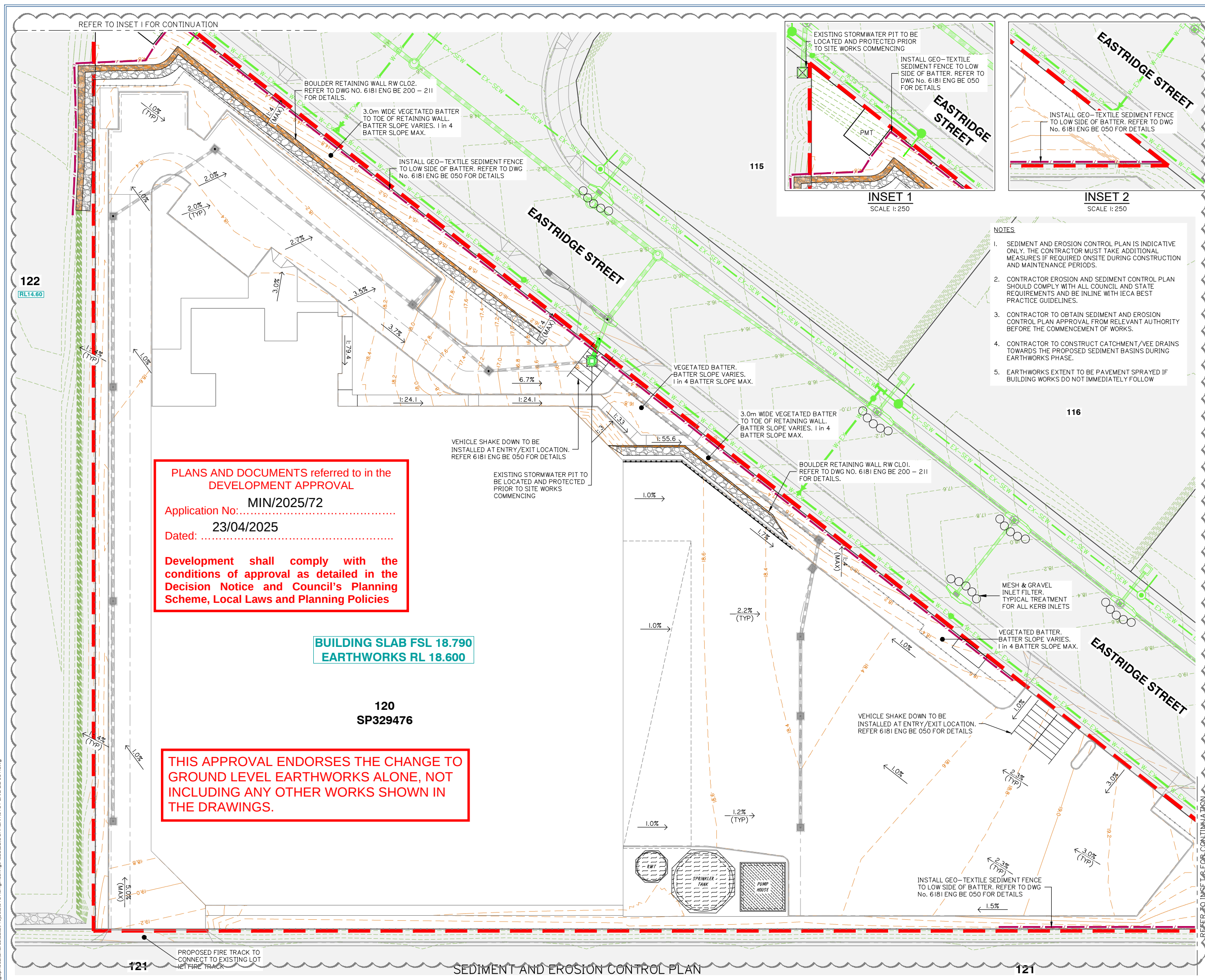
DIMENSIONS IN METRES EXCEPT WHERE
SHOWN OTHERWISE
CULVERT AND PIPE SIZES IN MILLIMETRES

Scale:
0 10 20 30 40m
1:500 (A1) 1:1000 (A3)

PROJECT NORTH POINT

Project No. 6181	
Designed: JH	Drafted: ML
Approved:	MG
RPEQ	16939
Signed:	
Date:	30/07/2024
Drawing No: 6181 ENG BE 005	Revision: C

\\gdp-local\shares\data\projects\6181\engineering\Acad\BEC\CURRENT\16181 ENG BE 051.dwg



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2025/72

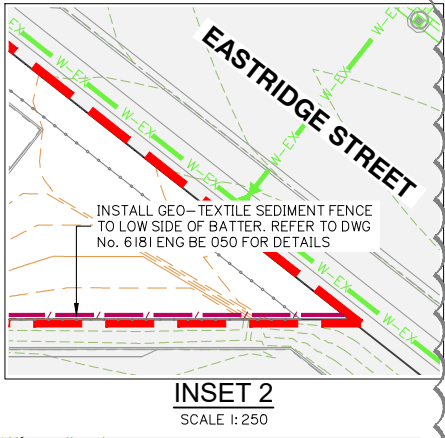
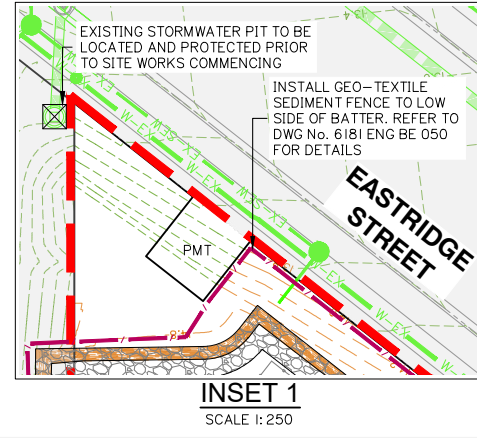
Dated: 23/04/2025

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

**BUILDING SLAB FSL 18.790
EARTHWORKS RL 18.600**

**120
SP329476**

THIS APPROVAL ENDORSES THE CHANGE TO GROUND LEVEL EARTHWORKS ALONE, NOT INCLUDING ANY OTHER WORKS SHOWN IN THE DRAWINGS.



- NOTES**
1. SEDIMENT AND EROSION CONTROL PLAN IS INDICATIVE ONLY. THE CONTRACTOR MUST TAKE ADDITIONAL MEASURES IF REQUIRED ONSITE DURING CONSTRUCTION AND MAINTENANCE PERIODS.
 2. CONTRACTOR EROSION AND SEDIMENT CONTROL PLAN SHOULD COMPLY WITH ALL COUNCIL AND STATE REQUIREMENTS AND BE IN LINE WITH IECA BEST PRACTICE GUIDELINES.
 3. CONTRACTOR TO OBTAIN SEDIMENT AND EROSION CONTROL PLAN APPROVAL FROM RELEVANT AUTHORITY BEFORE THE COMMENCEMENT OF WORKS.
 4. CONTRACTOR TO CONSTRUCT CATCHMENT/VEE DRAINS TOWARDS THE PROPOSED SEDIMENT BASINS DURING EARTHWORKS PHASE.
 5. EARTHWORKS EXTENT TO BE PAVEMENT SPRAYED IF BUILDING WORKS DO NOT IMMEDIATELY FOLLOW



est 1985
planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5481 | www.gassman.com.au
Gold Coast | 78 Business Street, Yatala QLD | PO Box 362, Beenleigh 4207

Client:



relationship builders
**FPI QUEENSLAND
PTY. LTD.**

Project:

**LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT**

Site Address:

**VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207**

RPD:

Lot:	120
Plan:	SP316137
Local Authority:	CoGC
Level Datum:	AHD
Meridian:	-
PSM:	-
RL:	-

ISSUED FOR APPROVAL

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.
THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES.

Drawing Title:

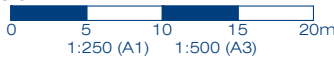
**SEDIMENT AND EROSION
CONTROL PLAN**

C	18/12/24	LAYOUT UPDATED	JH	MG
B	30/07/24	LAYOUT UPDATED	ML	MG
A	27/02/24	ORIGINAL ISSUE	ML	MG
Rev	Date	Description	DRN	CHK

DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE
CULVERT AND PIPE SIZES IN MILLIMETRES

A1 UNREDUCED
A3 REDUCED

Scale:



PROJECT NORTH POINT



Project No.:	6181
Designed:	JH
Approved:	MG
RPEQ:	16939
Signed:	
Date:	30/07/2024
Drawing No.:	6181 ENG BE 051
Revision:	C

REFER TO INSET 1 FOR CONTINUATION

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2025/72

Dated: 23/04/2025

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

THIS APPROVAL ENDORSES THE CHANGE TO
GROUND LEVEL EARTHWORKS ALONE, NOT
INCLUDING ANY OTHER WORKS SHOWN IN
THE DRAWINGS.

BOULDER RETAINING WALL RW CL02.
REFER TO DWG NO. 6181 ENG BE 200 - 211
FOR DETAILS.

EASTRIDGE STREET

INSET 1
SCALE 1:250

INSET 2
SCALE 1:250

EARTHWORKS VOLUME SUMMARY	
CUT	-1,827.2 m ³
FILL	999.6 m ³
EXCESS OF CUT OVER FILL	827.6 m ³

NOTES:

- BULK EARTHWORKS VOLUMES ARE CALCULATED TO THE FOLLOWING BOXING DEPTHS
SLAB: 190mm
HEAVY DUTY HARD STAND: 195mm
CARPARK/FIRE TRACK: 280mm
- EARTHWORKS CUT AND FILL SHOWN IS BETWEEN DETAILED EARTHWORKS SURFACE (BOTTOM OF SLAB/BOXING) AND 'EXISTING' SURFACE

BULK EARTHWORKS DEPTH
RANGE LEGEND

-5.0+	to	-4.5 m	
-4.5	to	-4.0 m	
-4.0	to	-3.5 m	
-3.5	to	-3.0 m	
-3.0	to	-2.5 m	
-2.5	to	-2.0 m	
-2.0	to	-1.5 m	
-1.5	to	-1.0 m	
-1.0	to	-0.5 m	
-0.5	to	0 m	
0	to	0.5 m	
0.5	to	1.0 m	
1.0	to	1.5 m	
1.5	to	2.0 m	
2.0	to	2.5 m	
2.5	to	3.0 m	
3.0	to	3.5 m	
3.5	to	4.0 m	
4.0	to	4.5+ m	

BUILDING SLAB FSL 18.790
EARTHWORKS RL 18.600

120
SP329476

EASTRIDGE STREET

Client:

Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

RPD:

Lot: 120
Plan: SP316137
Local Authority: CoGC

Level Datum: AHD
Meridian: -
PSM: -
RL: -

ISSUED FOR APPROVAL

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or
transmitted in any form or by any means, electronic, mechanical,
photocopying, recording, or otherwise, without the written permission
of Gassman Development Perspectives.

THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
GENERAL NOTES.

Drawing Title:

BULK EARTHWORKS
CUT AND FILL PLAN

C	18/12/24	LAYOUT UPDATED	JH	MG
B	30/07/24	LAYOUT UPDATED	ML	MG
A	27/02/24	ORIGINAL ISSUE	ML	MG
Rev	Date	Description	DRN	CHK

DIMENSIONS IN METRES EXCEPT WHERE
SHOWN OTHERWISE
CULVERT AND PIPE SIZES IN MILLIMETRES

Scale:
0 5 10 15 20m
1:250 (A1) 1:500 (A3)

PROJECT NORTH POINT

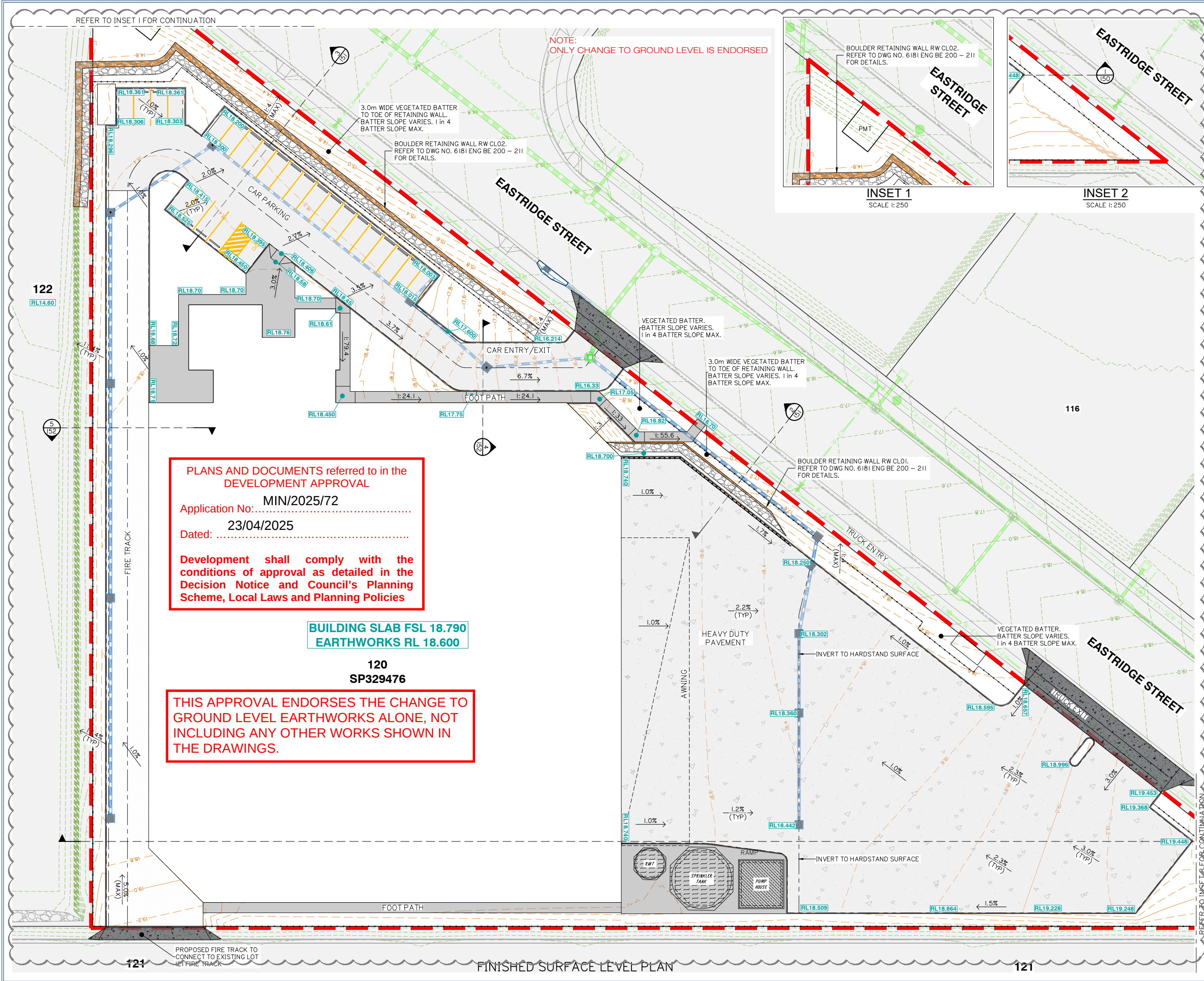


Project No: 6181	
Designed: JH	Drafted: ML
Approved:	MG
RPEQ	16939
Signed:	
Date:	30/07/2024
Drawing No: 6181 ENG BE 100	
Revision: C	

BULK EARTHWORKS CUT AND FILL PLAN

121

\\gdp-local\shares\data\projects\6181\engineering\Acad\BEC\CURRENT\16181 ENG BE 120.dwg



Client:



Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

RPD:

Lot: 120
Plan: SP316137
Local Authority: CoGC

Level Datum: AHD
Meridian: -
PSM: -
RL: -

ISSUED FOR APPROVAL

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES.

Drawing Title:

FINISHED SURFACE
LEVEL PLAN

Rev	Date	Description	DRN	CHK
C	18/12/24	LAYOUT UPDATED	JH	MG
B	30/07/24	LAYOUT UPDATED	ML	MG
A	27/02/24	ORIGINAL ISSUE	ML	MG

DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE
CULVERT AND PIPE SIZES IN MILLIMETRES

A1 UNREDUCED
A3 REDUCED

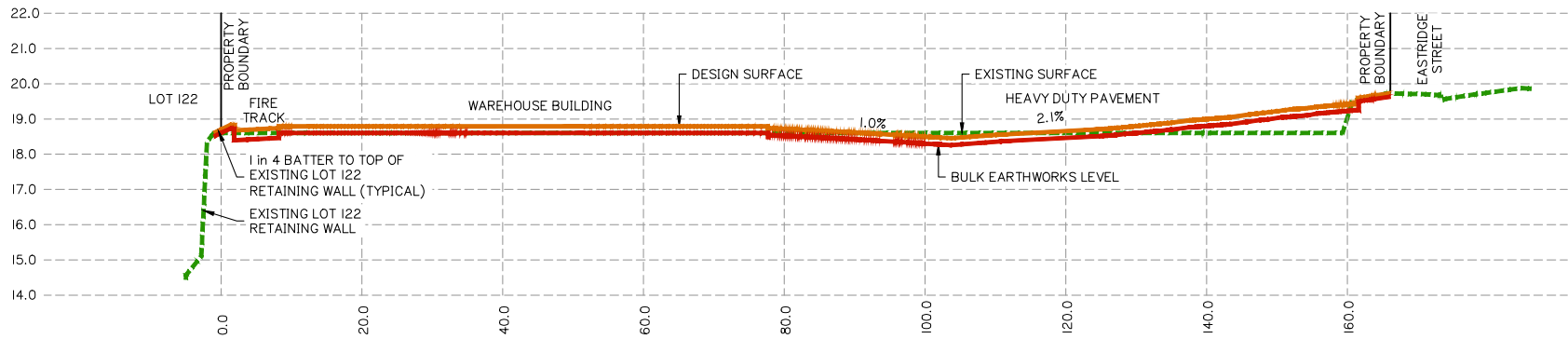
Scale:

0 5 10 15 20m
1:250 (A1) 1:500 (A3)

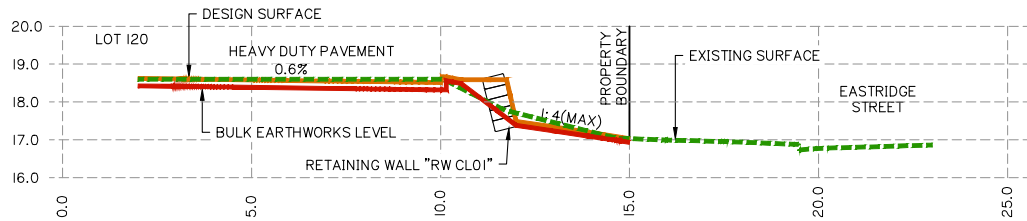
PROJECT NORTH POINT



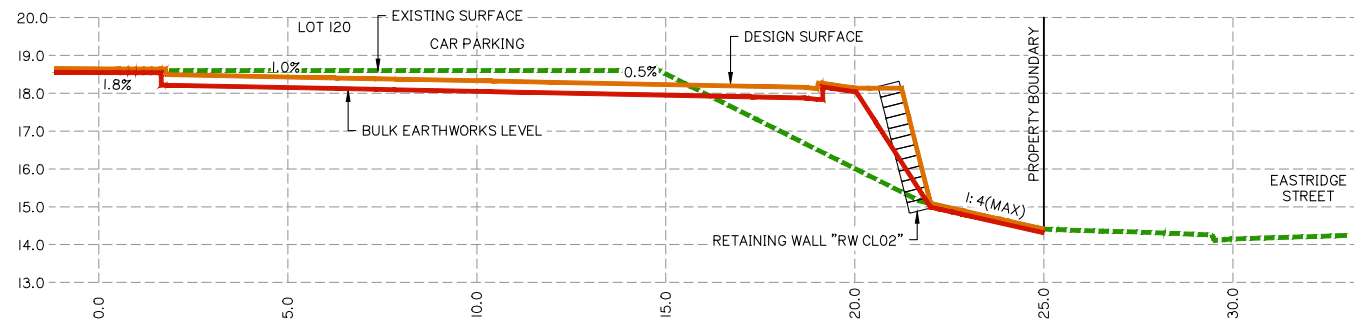
Project No:	6181	Revision	C
Designed:	JH	Drafted:	ML
Approved:	MG		
RPEQ	16939		
Signed:			
Date:	30/07/2024		
Drawing No:	6181 ENG BE 120		



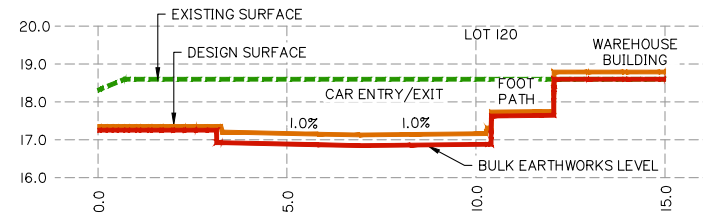
SECTION 1
SCALE:
1: 500 HOR.
1: 100 VERT.



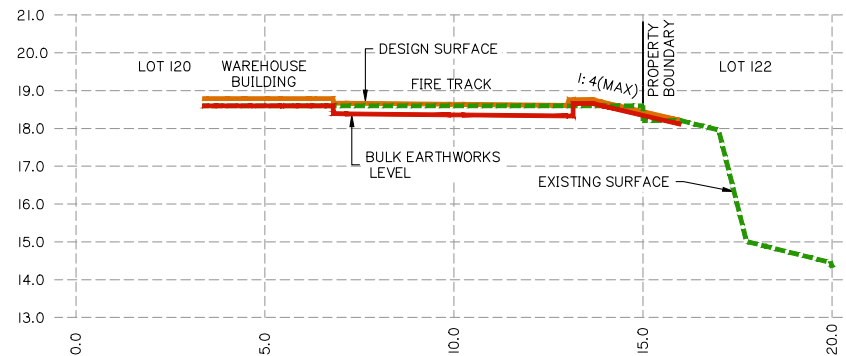
SECTION 2
SCALE:
1: 100 HOR.
1: 100 VERT.



SECTION 3
SCALE:
1: 100 HOR.
1: 100 VERT.



SECTION 4
SCALE:
1: 100 HOR.
1: 100 VERT.



SECTION 5
SCALE:
1: 100 HOR.
1: 100 VERT.

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

MIN/2025/72

Application No:.....

23/04/2025

Dated:

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

THIS APPROVAL ENDORSES THE CHANGE TO
GROUND LEVEL EARTHWORKS ALONE, NOT
INCLUDING ANY OTHER WORKS SHOWN IN
THE DRAWINGS.

Client:



Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

RPD:

Lot: 120
Plan: SP316137
Local Authority: CoGC
Level Datum: AHD
Meridian: -
PSM: -
RL: -

ISSUED FOR APPROVAL

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or
transmitted in any form or by any means, electronic, mechanical,
photocopying, recording, or otherwise, without the written permission
of Gassman Development Perspectives.

THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
GENERAL NOTES.

Drawing Title:

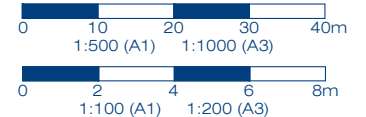
FINISHED SURFACE
LEVEL
CROSS SECTIONS

Rev	Date	Description	DRN	CHK
C	18/12/24	SECTIONS UPDATED	JH	MG
B	30/07/24	SECTION UPDATED	ML	MG
A	27/02/24	ORIGINAL ISSUE	ML	MG

DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE
CULVERT AND PIPE SIZES IN MILLIMETRES

A1 UNREDUCED
A3 REDUCED

Scale:



PROJECT NORTH POINT

Project No. 6181

Designed: JH

Drafted: ML

Approved:

MG

RPEQ

16939

Signed:

Date:

30/07/2024

Drawing No:

Revision

6181 ENG BE 150

C

FINISHED SURFACE LEVEL CROSS SECTIONS

