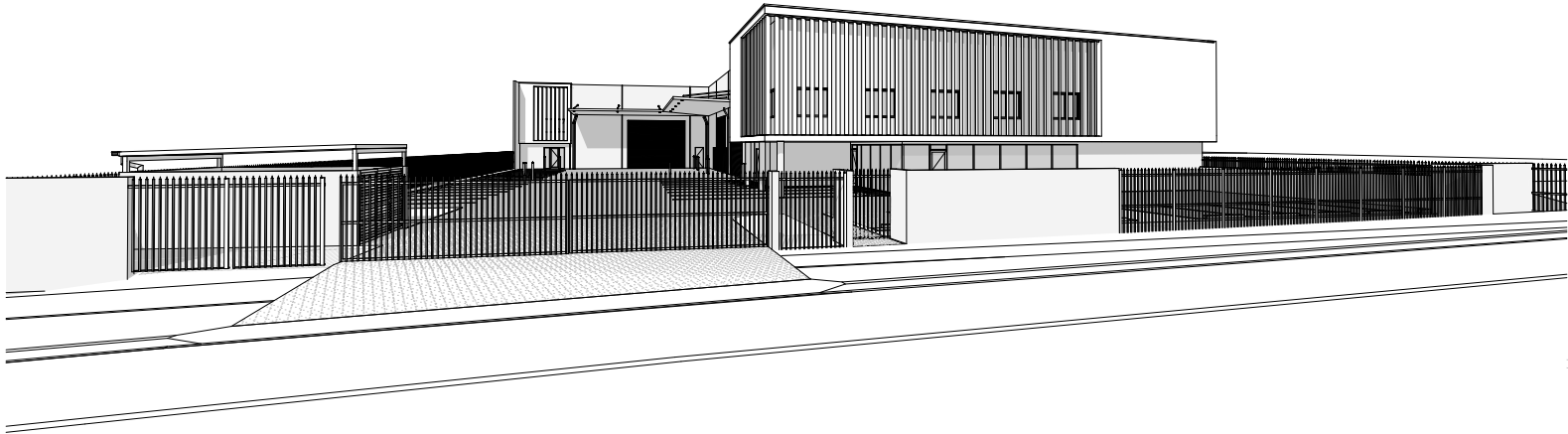




OPERATIONAL WORKS LANDSCAPE

PROJECT: PROPOSED NEW DEVELOPMENT

AT: LOT 117 EATRIDGE STREET, VANTAGE, YATALA, QLD

FOR: EATRIDGE 117 PTY LTD

LANDSCAPE ASSESSMENT NOTES:

- All under sized or poor quality stock will be required to be replaced prior to inspection approval.
- Existing Street trees to be retained and protected. Damaged street trees are to be replaced with the same species at the same size. Replacement street trees must be staked, mulched and edged as per City of Gold Coast Street Tree Planting - Setout Guidelines.
- All road reserve turf must be repaired or replaced if damaged.
- All trees must be staked, edged and mulched.
- Ensure all nominated existing planting to be retained and protected are not damaged. Plants damaged in construction must be replaced with the same species at the same size.
- Ensure all proposed trees within the private lot are setback 3m minimum from the proposed roof line or building foundations. Only small trees are permitted within the 2-3 metre setback from proposed roof line or building foundations, but a root barrier must be used.
- All planting to be within an edged and mulched garden bed complying with the City Plan Policy - Landscape Work.
- All nursery bamboo stakes and plastic/rubber ties must be removed from planted tree specimens before final inspection.

NOTE:
Plant quantities will need to be updated. Refer mark ups on landscape plans for revised plant quantities.

SHEET	DESCRIPTION	SCALE ON A1 SHEET	SCALE ON A3 SHEET
GENERAL			
BP1358/OPW/0.01	COVERSHEET	N.T.S	N.T.S
REFERENCE PLANS			
1.01	TREATMENT AREAS	1 : 200	1 : 400
1.02	FENCING PLAN	1 : 200	1 : 400
PLANTING PLANS			
3.01	PLANTING PLAN	1 : 200	1 : 400
DETAILS			
4.01	DETAIL DRAWINGS	NTS	NTS

LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No. OPW/2025/175

Dated: 29 May 2025

PRELIMINARY ONLY

NOT FOR CONSTRUCTION

	SITE BOUNDARY DEVELOPMENT SITE: LOT 117 ON SP295994
	BUILDING LINE DEVELOPMENT SITE: LOT 117 ON SP295994
	ROOF OVERHANG DEVELOPMENT SITE: LOT 117 ON SP295994
	RECTIFIED TURF HERCULES SECURITY FENCE TO TOP OF BLOCK RETAINING WALL TYPICAL HEIGHT: 2000mm
	LANDSCAPING TURF HERCULES SECURITY SLIDING FENCE TO VEHICLE ENTRANCE TYPICAL HEIGHT: 2000mm
	DEEP PLANTING HERCULES SECURITY GATE TO PEDESTRIAN ENTRANCE TYPICAL HEIGHT: 2000mm
	HARDSTAND 01 CONCRETE BLOCK FENCE / SCREEN TO REFUSE TYPICAL HEIGHT: 2000mm

GENERAL NOTES:

STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH BCA PARTS 3.1.2. & 3.5.2. IN ADDITION TO AS/NZS 3500 & DISCHARGED TO LOCAL AUTHORITIES REQUIREMENTS. REFER HYDRAULIC/CIVIL ENGINEERS DETAILS.

DETERMINATION OF THE EXACT POSITION AND EXTENT OF UNDERGROUND SERVICES IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK.

DRIVEWAY
1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS

ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC.
ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC.

REINSTATE SURROUNDINGS WHERE CONSTRUCTION HAS DISTURBED. REMOVE ALL DEBRIS, SURPLUS EXCAVATION / FILL FROM SITE. REGRASS AND GENERALLY LEAVE TOB.

BEFORE COMMENCEMENT OF WORKS IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONTACT DIAL BEFORE YOU DIAL FOR INFORMATION ON SERVICES IN THE AREA SHOWN ON THE ARCHITECTURAL PLANS.

THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE TO SERVICES DURING LANDSCAPE WORKS.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY EXISTING TREES SHOWN TO BE RETAINED AND PROTECT THEM DURING WORKS.

ANY CHANGES TO PLANT SPECIES MUST HAVE THE APPROVAL OF THE LANDSCAPE ARCHITECT.

TREES SHALL BE PLANTED NO LESS THAN THE FOLLOWING DISTANCES FROM LANDSCAPE ELEMENTS (BIC AT TREE HOLE INSPECTION):

- 0.4M FROM BACK OF KERB
- 0.4M FROM PAVED ROAD
- 1M FROM STORMWATER OUTLET
- 1M FROM EDGE OF GULLY PIT
- 1.5M FROM STORMWATER SYSTEM OR WATER SUPPLY SYSTEM
- 2.5M FROM ELECTRICITY OR TELEPHONE POLE
- 2.5M FROM DRIVEWAYS
- 3M FROM FIRE HYDRANTS
- 3M FROM DEPARTURE SIDE OF PEDESTRIAN CROSSINGS
- 3.5M FROM POWER LINES
- 3.5M FROM GROUND MOUNTED TRANSFORMERS
- 8M FROM EXISTING TREES
- 8M FROM LIGHT POLES
- 8M MAXIMUM SPACING BETWEEN NEW TREES
- 10M FROM APPROACH SIDE OF STREET SIGN
- 15M FROM DEPARTURE SIDE OF STREET INTERSECTION
- 10M FROM ARRIVAL SIDE OF PEDESTRIAN CROSSINGS
- 20M FROM APPROACH SIDE OF A STREET INTERSECTION

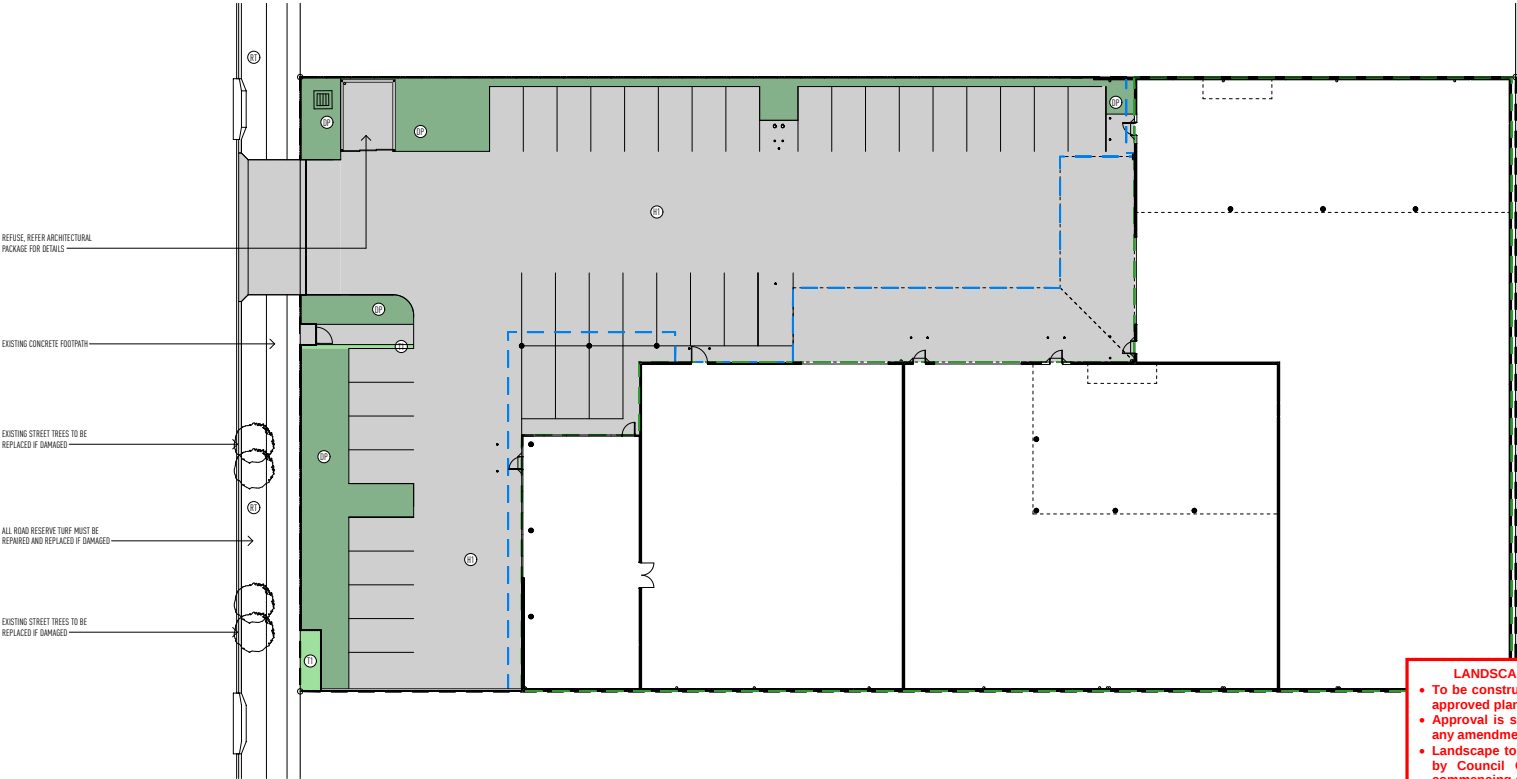
CONSTRUCTION CERTIFICATION FOR ALL STRUCTURAL ELEMENTS IS TO BE PROVIDED PRIOR TO PRACTICAL COMPLETION BEING GRANTED.

LANDSCAPE PLANS APPROVED

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- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
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Application No. OPW/2025/175

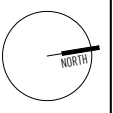
Dated: 29 May 2025



TREATMENT AREAS

1:200 @ A1

ISSUE	DATE	DESCRIPTION
01	5.12.2024	OPERATIONAL WORKS LANDSCAPE
2 - WIP	Work in Progress	OPERATIONAL WORKS 001 RESPONSE



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PROJECT

PROPOSED NEW DEVELOPMENT

AT

LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD

FOR

EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



5m 10m 20m

DRAWING TREATMENT AREAS

DRAWN CV / KF

DATE DEC '24

SCALE 1:200 @ A1

DRAWING No. BP1358/OPW/1.01

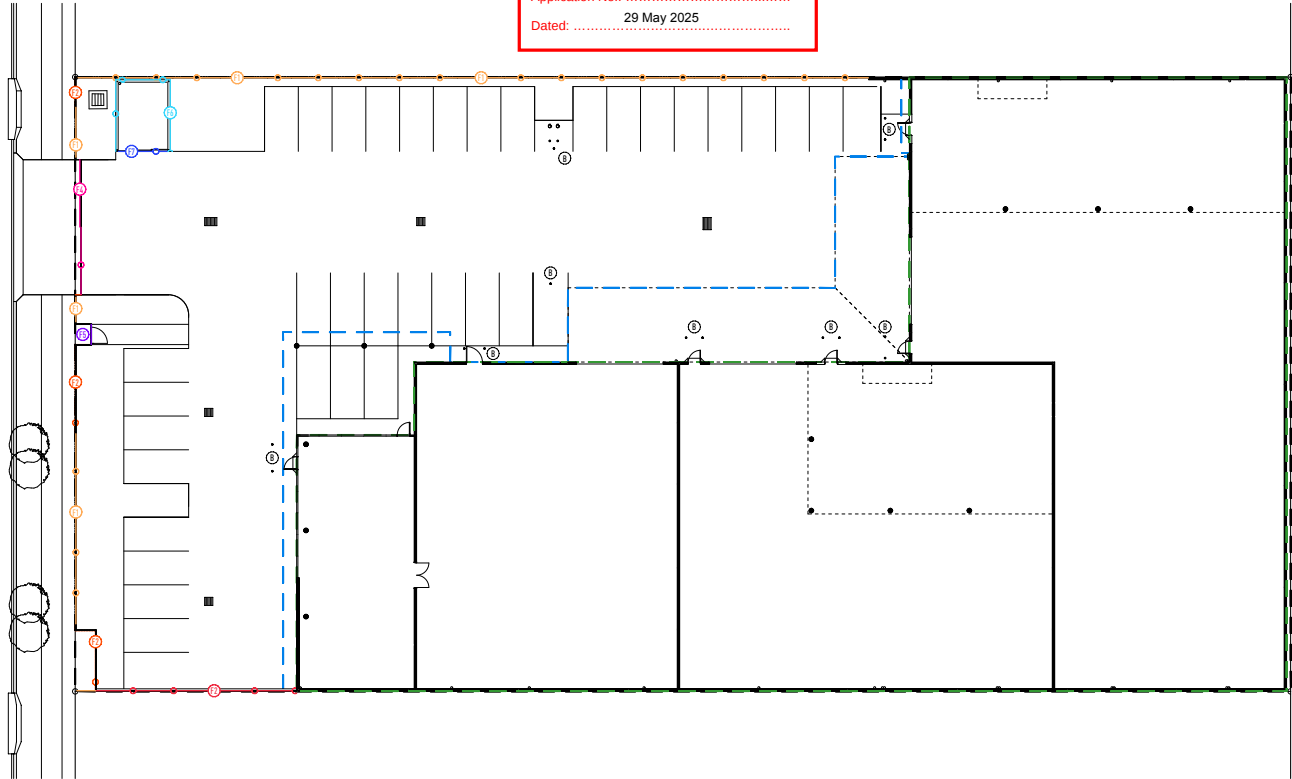
ISSUE 4 - WIP

two clicks design

LANDSCAPE PLANS APPROVED

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Application No.: OPW/2025/175
Dated: 29 May 2025



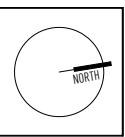
	SITE BOUNDARY DEVELOPMENT SITE: LOT 117 ON SP295994
	BUILDING LINE DEVELOPMENT SITE: LOT 117 ON SP295994
	ROOF OVERHANG DEVELOPMENT SITE: LOT 117 ON SP295994
	FENCE TYPE 1 HERCULES SECURITY FENCE TYPICAL HEIGHT: 2000mm
	FENCE TYPE 2 CONCRETE BLOCK FENCE, PAINT FINISH TYPICAL HEIGHT: 2000mm
	FENCE TYPE 3 HERCULES SECURITY FENCE TO TOP OF BLOCK RETAINING WALL TYPICAL HEIGHT: 2000mm
	FENCE TYPE 4 HERCULES SECURITY SLIDING FENCE TO VEHICLE ENTRANCE TYPICAL HEIGHT: 2000mm
	FENCE TYPE 5 HERCULES SECURITY GATE TO PEDESTRIAN ENTRANCE TYPICAL HEIGHT: 2000mm
	FENCE TYPE 6 CONCRETE BLOCK FENCE / SCREEN TO REFUSE TYPICAL HEIGHT: 2000mm
	FENCE TYPE 7 BATTEN SLIDING SCREEN TO REFUSE TYPICAL HEIGHT: 2000mm
	BOLLARDS COMPLAINT PEDESTRIAN BOLLARDS

Note:
Any installed frontage fencing for the development must be at least 50% transparent

FENCING PLAN

1:2000 @ A1

ISSUE	DATE	DESCRIPTION
01	1.12.2024	OPERATIONAL WORKS LANDSCAPE
2 - WIP		OPERATIONAL WORKS RFI RESPONSE



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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD

FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
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WEB WWW.JPD.COM.AU

DRAWING FENCING PLAN		DRAWING No. BP1358/OPW/1.02	ISSUE 4 - WIP
DRAWN	CV / KF		
DATE	DEC '24		
SCALE	1:2000 @ A1		

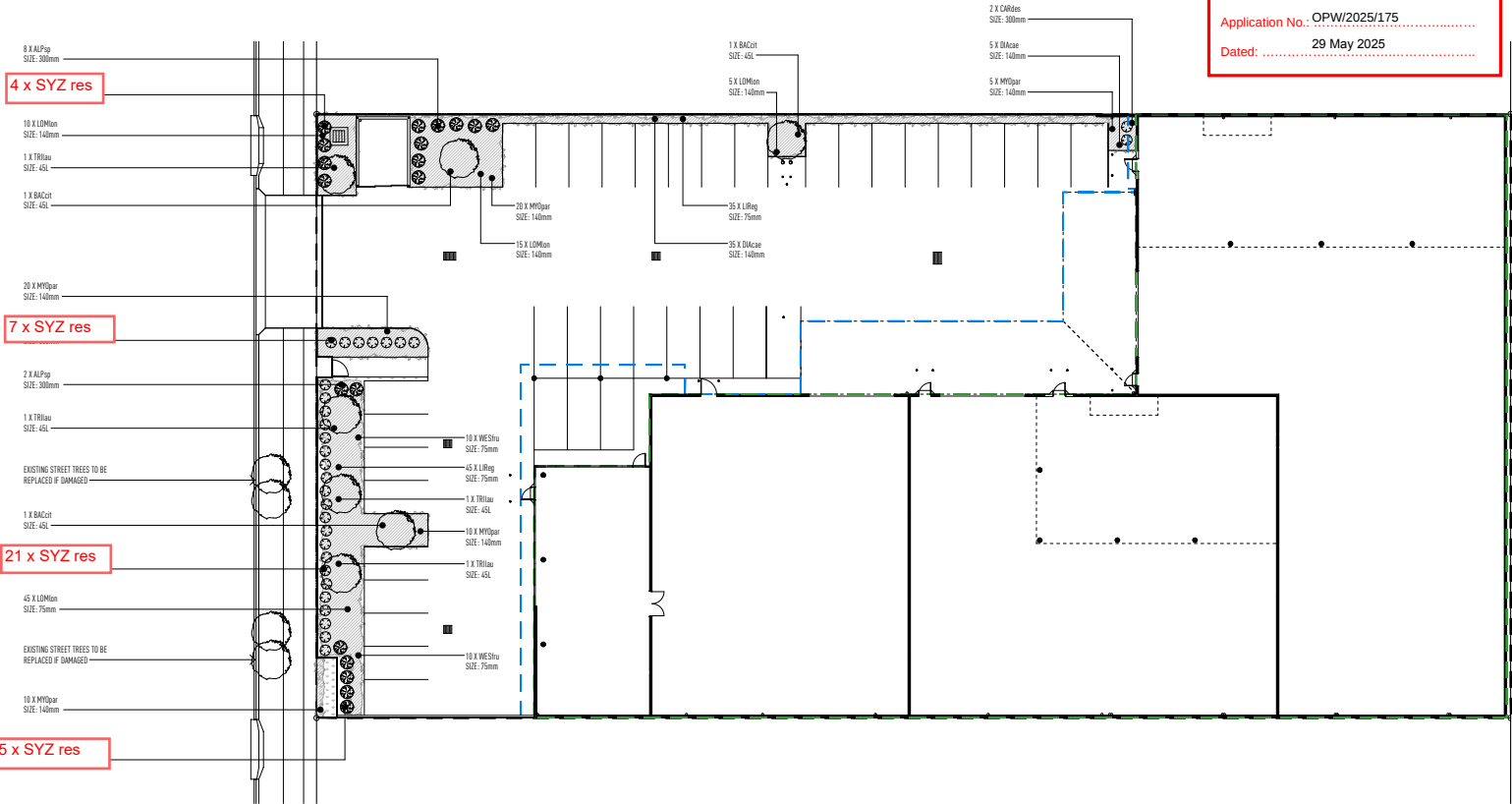
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Application No.: OPW/2025/175
Dated: 29 May 2025

TREES				
CODE	SPECIES	COMMON NAME	SIZE	QTY
BACcit	Backhousia Citriodora	Lemon Myrtle	100 L	2
TRillau	Tristaniopsis Laurina	Luscious	100 L	4
SHRUBS & ACCENTS				
CODE	SPECIES	COMMON NAME	SIZE	QTY
CARdes	CARISSA Grandiflora	Desert Star	300mm	2
ALPso	ALPINA sp	Native Ginger	300mm	10
SYZ res	SYZYGIUM resilience		200 mm	37
GROUNDCOVERS				
CODE	SPECIES	COMMON NAME	SIZE	QTY
MYDpar	Myoporum Parvifolium	Yareena	140mm	55
LIRge	Liriope Evergreen Giant	Evergreen Giant	140mm	80
LDMlon	Lomandra Longifolia Tanika	Mat Rush	140mm	75
WESfru	Westringia fruticosa	Mundi	140mm	20
DIAcae	Dianella Caerulea	Blue Flax Lilly	140mm	40

PLANTING NOTES	
1.00	GENERAL MAINTENANCE REQUIREMENTS
THE LANDSCAPE SUBCONTRACTOR SHALL MAINTAIN THE WHOLE OF THE GRASSED AND PLANTED AREAS IN A MANNER WHICH ENSURES THE ESTABLISHMENT OF HEALTHY AND VIGOROUS PLANTS AND A CLOSE TEXTURED, WEED FREE AND WHICH CREATES A TIDY WEED FREE APPEARANCE. ALLOWANCES SHALL BE MADE IN PRICING FOR WATERING TO MAINTAIN ALL SUBJECTS IN A HEALTHY MOIST CONDITION TO FACILITATE OPTIMUM CONDITIONS FOR EARLY ESTABLISHMENT.	
THROUGHOUT THE PLANTING ESTABLISHMENT PERIOD, CARRY OUT MAINTENANCE WORK INCLUDING WATERING, MOWING, EDGING, WEEDING, RUBBISH REMOVAL, FERTILISING, PEST AND DISEASE CONTROL, RESEEDING, RETURFING, STAKING AND TYING, REPLANTING, CULTIVATING, PRUNING, HEDGE CLIPPING, AERATING, RENOVATING, LAWN TOP DRESSING, AND KEEPING THE SITE NEAT AND TIDY.	
DURING THE MAINTENANCE PERIOD, THE LANDSCAPE SUBCONTRACTOR WILL BE EXPECTED TO:	
A.	ESTABLISH A REGULAR PATTERN OF SITE VISITS THROUGHOUT THE MAINTENANCE PERIOD.
B.	CARRY OUT ROUTINE MAINTENANCE OPERATIONS.
C.	CORRECT ANY DEFECTS, WHICH BECOME APPARENT DURING THE EARLIEST SUITABLE WEATHER CONDITIONS.
D.	ATTEND HANDOVER MEETING AND ANY REGULAR MEETINGS WITH THE SUPERINTENDENT TO MONITOR DEFECTS AND MAINTENANCE
E.	THE LANDSCAPE CONTRACTOR WILL BE REQUIRED TO HAVE ALLOWED FOR ONE MONTHLY VISIT AT A MINIMUM WITHIN THIS PERIOD BUT SHOULD NOT ASSUME THAT THIS WILL BE SUFFICIENT TO DISCHARGE THE REQUIREMENTS OF THE SPECIFICATION AND SHOULD FURNISH TO SUPERINTENDENT A PROGRAM OF VISITS FOR ESTABLISHMENT AND MAINTENANCE.
F.	ALL DEBRIS, INCLUDING GRASS CLIPPINGS, UNLESS OTHERWISE STATED AND ARISING FROM THE PERFORMANCE OF THE WORKS SHALL PROMPTLY BE REMOVED FROM THE SITE AND THE LANDSCAPE SUBCONTRACTOR WILL BE REQUIRED TO MAKE GOOD WITH ANY DAMAGE AT THEIR OWN EXPENSE THROUGH FAILURE TO COMPLY WITH THIS REQUIREMENT.
G.	THE LANDSCAPE SUBCONTRACTOR MUST ONLY USE CHEMICALS SPECIFICALLY APPROVED FOR THE PURPOSE FOR WHICH IT IS INTENDED AND THE CONDITIONS OF APPROVAL FOR THE CHEMICALS AND ANY RELEVANT CODE OF PRACTICE.
H.	THE LANDSCAPE SUBCONTRACTOR WILL CONSIDER IN EVERY INSTANCE WHETHER THE USE OF CHEMICALS IS STRICTLY NECESSARY BEFORE APPLICATION.
I.	HERBICIDES USED TO KILL PERENNIAL WEED GROWTH SHALL BE APPROPRIATELY APPLIED, NON-RESIDUAL, TRANLOCATED HERBICIDES.
J.	THE LANDSCAPE SUBCONTRACTOR WILL BE ENTIRELY RESPONSIBLE FOR THE COMPLETE REPLACEMENT OF ANY WORKS DUE TO DEFECTIVE MATERIALS OR WORKMANSHIP.
K.	THE LANDSCAPE CONTRACTOR WILL ALLOW FOR CARRYING OUT THE MAINTENANCE WORKS IN SUCH A MANNER TO AVOID UNREASONABLE DISTURBANCE OF ANY BUILDINGS AND ADJOINING WORKS NOT PART OF THE CONTRACT.
L.	REMOVE ALL LITTER AND DELETERIOUS MATERIAL FROM PLANTING, GRASS/TURF AND FOOTPATH AREAS AT THE TIME OF EACH MAIN VISIT.
M.	ENSURE THAT ALL PLANT AND GRASS AREAS RECEIVE ADEQUATE WATER DURING THE ESTABLISHMENT AND MAINTENANCE PERIODS TO ENABE THEM TO ESTABLISH AND THRIVE. THE LANDSCAPE SUBCONTRACTOR IS TO SET UP A WATERING PROGRAM FOR THESE PERIODS FOR WHICH HE SHALL OBTAIN APPROVAL FROM THE SUPERINTENDENT.
N.	MINIMISE THE OCCURRENCE OF WATER SPLASH AND DISTRIBUTION ONTO HARD PAVED AREAS.
2.00	DRAINAGE
LANDSCAPE SUBCONTRACTOR TO PROVIDE FOR SUFFICIENT SURFACE AND SUB-SURFACE DRAINAGE TO GARDEN AND GRASS AREAS TO ENSURE ADEQUATELY DRAINED SOFT LANDSCAPED AREAS FREE FROM SURFACE FLOODING WATER AND UNWARRANTED SOILS. SURFACE AND SUB-SURFACE DRAINAGE IS TO AID IN THE HEALTHY GROWTH AND CONTINUED THRIVING OF ALL PLANT STOCK AND GRASS AREAS. TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS TO THE EXTENT THAT THEY ARE RELEVANT. GRADES AND CROSS FALLS LEADING TO SURFACE CATCH DRAINS AND FIELD INLETS:	
MULCHES GARDEN AREAS	1:40
URTFD AREAS	1:80
3.00	FERTILISER
PROVIDE PROPRIETARY FERTILISERS, DELIVERED TO THE SITE IN SCALED BAGS MARKED TO SHOW MANUFACTURER OR VENDOR, WEIGHT, FERTILISER TYPE, NPK RATIO, RECOMMENDED USES AND APPLICATION RATES. STORE IN A DRY SECURE ENVIRONMENT. APPLY ACCORDING TO MANUFACTURERS RECOMMENDATIONS.	
A.	GARDEN BEDS SLOW RELEASE
OSMOCOTE OR SIMILAR APPROVED TO MANUFACTURERS RECOMMENDATION	
B.	TREE PLANTING
OSMOCOTE OR SIMILAR APPROVED TO MANUFACTURERS RECOMMENDATION	
C.	GRASSING
GROWFORCE 301 OR SIMILAR APPROVED 100G/HA	



PLANTING PLAN

1:200 @ A1

ISSUE	DATE	DESCRIPTION
01	5.12.2024	OPERATIONAL WORKS LANDSCAPE
2 - WIP		Work in Progress
		OPERATIONAL WORKS 001 RESPONSE



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PROJECT
PROPOSED NEW DEVELOPMENT

AT
LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD

FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
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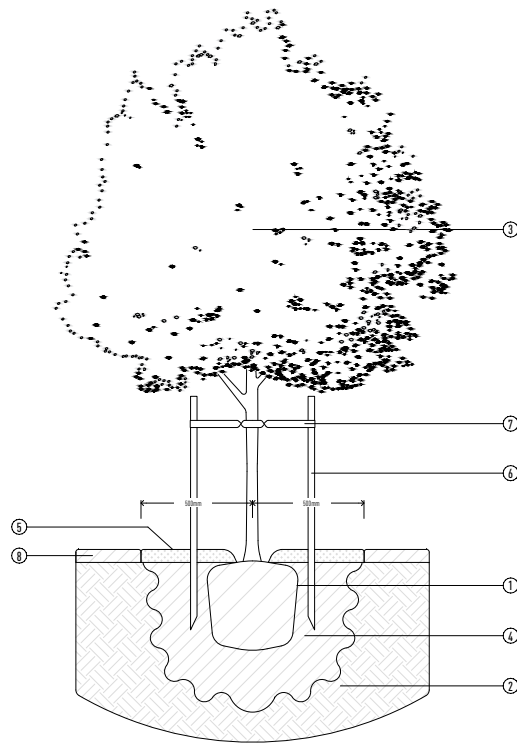
5m 10m 20m

DRAWING No. BP1358/OPW/2.01

DRAWING No. BP1358/OPW/2.01

ISSUE 4 - WIP

two clicks design



TYPICAL DETAIL - TREE PLANTING

- INSTALLATION**
- 1.0 EXCAVATE HOLE TO MINIMUM 2X WIDTH AND 2X DEPTH OF ROOTBALL.
 - 2.0 CULTIVATE THE SURROUNDING SUB-GRADE TO 100MM IN DEPTH AND REMOVE ANY STONE OR ROCK EXCEEDING 50MM IN DIAMETER AS WELL AS ANY ORGANIC MATERIAL SUCH AS ROOTS STICK CLOS OR WEEDS (BROUGHT IN THROUGH EXCAVATION PROCESS). IN GENERAL, REMOVE ALL MATERIAL OR DEBRIS THAT WOULD BE DETRIMENTAL TO PLANT HEALTH. A TREE HOLE INSPECTION WILL BE REQUIRED PRIOR TO INSTALL OF TREES UNLESS STATED OTHERWISE. ENSURE LIAISON WITH PROJECT MANAGER OR LANDSCAPE SUPERINTENDENT / ARCHITECT PRIOR TO PROCEEDING WITH PLANTING WORKS.
 - 3.0 TREE TYPE, SIZE AND LOCATION AS SPECIFIED ON PLANS AND PLANTING SCHEDULES.
 - 4.0 BACKFILL TREE HOLE WITH SOIL AS SPECIFIED. SOIL SHALL COMPLY WITH AS4419-2003. INSTALL SLOW RELEASE FERTILISER IN LINE WITH BEST PRACTICE OR AS SPECIFIED IN THIS DOCUMENT.
 - 5.0 INSTALL MULCH COLLAR. THIS IS TYPICALLY TO BE MINIMUM 500MM RADIUS UNLESS OTHERWISE STATED ON PLANS AND IS TO BE AT A DEPTH OF 100MM. ENSURE MULCH IS PLACED MINIMUM 100MM FROM TREE STEM TO PREVENT COLLAR ROT. MULCH SHOULD BE PROFILED GENERALLY AS ILLUSTRATED TO CREATE A 'WELL' AROUND THE TREE TO PROMOTE WATER RETENTION. STAKE TREES AS SPECIFIED. STAKES TO BE 1800 X 50 X 50MM WITH 400MM INTO GROUND ENSURING 1200MM REMAINS ABOVE GROUND. ENSURE STAKES ARE CLEAR OF ROOT BALL.
 - 6.0 TIE TREE TO STAKES WITH 500MM HESSIAN OR RUBBERISED BLACK PVC IN A FIGURE OF EIGHT. ENSURE NURSERY STAKES ARE REMOVED.
 - 7.0 REFER TO PLANS AND RELEVANT STANDARD DETAIL FOR ADJACENT LANDSCAPE TREATMENTS.
 - 8.0 INSTALL ROOT GUARD TO DEPTH 1200MM. REFER TO SPECIFICATION FOR TYPE, AS PER DETAIL. ROOT GUARDS ARE TYPICALLY PLACED TO ADJOINING STRUCTURED HOWEVER MAY BE SPECIFIED TO ADDITIONAL AREAS AS DETERMINED BY PROXIMITY TO SERVICES ETC. REFER TO SETOUT PLAN FOR CONFORMATION OF LOCATION.

GENERAL

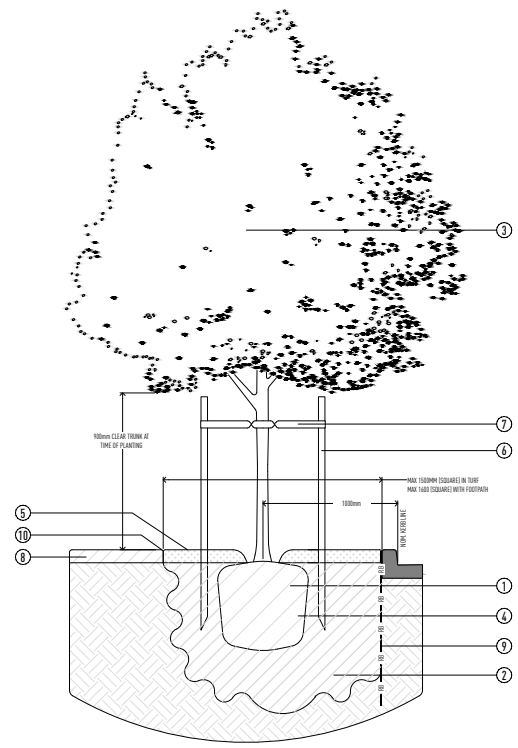
IMPORTANT: TREES ARE TO ABIDE BY LOCAL COUNCIL TREE STOCK REQUIREMENT STANDARDS, THESE STANDARDS WILL BE REVIEWED AT FORMAL TREE HOLE INSPECTION WITH COUNCIL ASSESSING OFFICER, THESE ARE DETAILED WITHIN THE ASSOCIATED SPECIFICATIONS AND CAN GENERALLY BE SUMMARISED AS:

ALL TREE HOLES MARKED OUT IN ACCORDANCE WITH APPROVAL AND COMPLY WITH ALL COUNCIL STANDARD OFFSET

TREE HOLE DIMENSIONS AND PREPARATION PARAMETERS ARE AS PER THOSE STATED ABOVE

TREE HOLES DO NOT IMPACT ON SERVICES OR OTHER INFRASTRUCTURE

STREET TREES AND FEATURE TREES TO HAVE A MINIMUM 100MM TREE TRUNK AND BE 2000MM IN HEIGHT AT TIME OF PLANTING



TYPICAL DETAIL - STREET TREE PLANTING (GCCC)

- NOTE:** THIS TREE PLANTING DETAIL IS IN ACCORDANCE WITH GCCC STANDARD DRAWING 05-102 2015
- INSTALLATION**
- 1.0 EXCAVATE HOLE TO MINIMUM 2X WIDTH AND 2X DEPTH OF ROOTBALL.
 - 2.0 CULTIVATE THE SURROUNDING SUB-GRADE TO 200MM IN DEPTH AND REMOVE ANY STONE OR ROCK EXCEEDING 50MM IN DIAMETER AS WELL AS ANY ORGANIC MATERIAL SUCH AS ROOTS STICK CLOS OR WEEDS (BROUGHT IN THROUGH EXCAVATION PROCESS). IN GENERAL, REMOVE ALL MATERIAL OR DEBRIS THAT WOULD BE DETRIMENTAL TO PLANT HEALTH. A TREE HOLE INSPECTION WILL BE REQUIRED PRIOR TO INSTALL OF TREES UNLESS STATED OTHERWISE. ENSURE LIAISON WITH PROJECT MANAGER OR LANDSCAPE SUPERINTENDENT / ARCHITECT PRIOR TO PROCEEDING WITH PLANTING WORKS.
 - 3.0 TREE TYPE, SIZE AND LOCATION AS SPECIFIED ON PLANS AND PLANTING SCHEDULES.
 - 4.0 BACKFILL TREE HOLE WITH SOIL AS SPECIFIED. SOIL SHALL COMPLY WITH AS4419-2003. INSTALL SLOW RELEASE FERTILISER IN LINE WITH BEST PRACTICE OR AS SPECIFIED IN THIS DOCUMENT.
 - 5.0 INSTALL MULCH COLLAR. THIS IS TYPICALLY TO BE MINIMUM 500MM RADIUS UNLESS OTHERWISE STATED ON PLANS AND IS TO BE AT A DEPTH OF 100MM. ENSURE MULCH IS PLACED MINIMUM 100MM FROM TREE STEM TO PREVENT COLLAR ROT. MULCH SHOULD BE PROFILED GENERALLY AS ILLUSTRATED TO CREATE A 'WELL' AROUND THE TREE TO PROMOTE WATER RETENTION.
 - 6.0 STAKE TREES AS SPECIFIED. STAKES TO BE 1800 X 50 X 50MM WITH 400MM INTO GROUND ENSURING 1200MM REMAINS ABOVE GROUND. ENSURE STAKES ARE CLEAR OF ROOT BALL.
 - 7.0 TIE TREE TO STAKES WITH 500MM HESSIAN OR RUBBERISED BLACK PVC IN A FIGURE OF EIGHT. ENSURE NURSERY STAKES ARE REMOVED.
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 - 9.0 INSTALL ROOT GUARD TO DEPTH 1200MM. REFER TO SPECIFICATION FOR TYPE, AS PER DETAIL. ROOT GUARDS ARE TYPICALLY PLACED TO ADJOINING STRUCTURED HOWEVER MAY BE SPECIFIED TO ADDITIONAL AREAS AS DETERMINED BY PROXIMITY TO SERVICES ETC. REFER TO SETOUT PLAN FOR CONFORMATION OF LOCATION.
 - 10.0 SPADE EDGE TO ALL VERGE TURF/MULCHING INTERFERENCES.

GENERAL

IMPORTANT: TREES ARE TO ABIDE BY LOCAL COUNCIL TREE STOCK REQUIREMENT STANDARDS, THESE STANDARDS WILL BE REVIEWED AT FORMAL TREE HOLE INSPECTION WITH COUNCIL ASSESSING OFFICER, THESE ARE DETAILED WITHIN THE ASSOCIATED SPECIFICATIONS AND CAN GENERALLY BE SUMMARISED AS:

ALL TREE HOLES MARKED OUT IN ACCORDANCE WITH APPROVAL AND COMPLY WITH ALL COUNCIL STANDARD OFFSET

TREE HOLE DIMENSIONS AND PREPARATION PARAMETERS ARE AS PER THOSE STATED ABOVE

TREE HOLES DO NOT IMPACT ON SERVICES OR OTHER INFRASTRUCTURE

STREET TREES AND FEATURE TREES TO HAVE A MINIMUM 100MM TREE TRUNK AND BE 2000MM IN HEIGHT AT TIME OF PLANTING

STREET TREE SPECIFIC

STREET TREE LOCATION SUBJECT TO CHANGE BASED ON DRIVEWAY AND SERVICE LOCATIONS.

GENERAL ALLOWANCES OF 1 TREE PER LOT.

LOCATIONS TO BE VERIFIED BY LOCAL COUNCIL AND LANDSCAPE ARCHITECT AT TREE HOLE INSPECTION.

TREES ARE NOT TO BE PLANTED WITHIN:

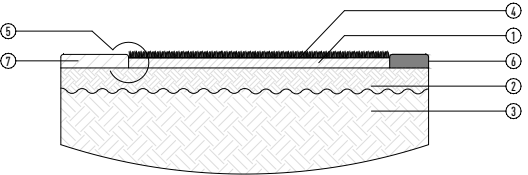
- 3M OF RESIDENTIAL ACCESS
- A MINIMUM OF 15M OF THE APPROACH SIDE OF ANY STREET INTERSECTION TO MAINTAIN SIGHT LINES - 4M OF DEPARTURE
- 3M TO EITHER SIDE OF A FOOTPATH CROSSOVER INCLUDING BIKENWAYS AND PATHS
- 2.5M OF ELECTRICITY / TELEPHONE POLES
- MINIMUM OF 2M FROM SERVICES
- MINIMUM OF 7M FROM STREET LIGHTS
- MINIMUM OF 4M FROM HIGH VOLTAGE TRANSMISSION LINES
- 4.5M FROM A MAJOR VEHICULAR ACCESS CROSSING
- 3M FROM A FIRE HYDRANT

LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

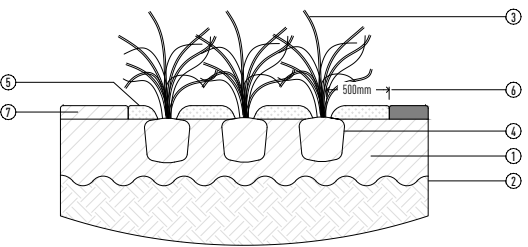
Application No.: OPW/2025/175

Dated: 29 May 2025



TYPICAL DETAIL - TURF

- INSTALLATION**
- 1.0 PREPARE PLANTING AREA TO ENSURE SOIL PROFILE AS SPECIFIED (TYPICAL MINIMUM 300MM SOIL IMPORT OR IMPROVED SITE SOIL TO AS4419-2003. REFER TO SPECIFICATIONS).
 - 2.0 CULTIVATE THE SURROUNDING SUB-GRADE TO 100MM IN DEPTH AND REMOVE ANY STONE OR ROCK EXCEEDING 50MM IN DIAMETER AS WELL AS ANY ORGANIC MATERIAL SUCH AS ROOTS STICK CLOS OR WEEDS (BROUGHT IN THROUGH EXCAVATION PROCESS). IN GENERAL, REMOVE ANY MATERIAL OR DEBRIS THAT WOULD BE DETRIMENTAL TO TURF HEALTH.
 - 3.0 SUBGRADE TO BE EVALUATED ON SITE TO ASSESS PERMEABILITY AND GENERAL TYPE TO EVALUATE REQUIREMENT FOR ADDITIONAL DRAINAGE WORKS AND OR CULTIVATION WORKS TO ENSURE NIL ADVERSE IMPACTS ON TURF HEALTH.
 - 4.0 INSTALL TURF UNDERLAY AT DEPTH OF 75MM. REFER TO SPECIFICATIONS FOR UNDERLAY TYPE AND INSTALL PARAMETERS.
 - 5.0 REFER TO PLANS AND SPECIFICATIONS RE TURF TYPE AND ESTABLISHMENT REQUIREMENTS (ROLLING, WATERING, FERTILISING AND GENERAL MAINTENANCE PARAMETERS). TURF PLACEMENT TO ACHIEVE LEVEL FINISH AT GRADES AND FINISHED LEVELS AS DICTATED BY THIS DOCUMENT.
 - 6.0 REFER TO PLANS AND RELEVANT STANDARD DETAILS FOR TURF USE TREATMENTS WHERE NOT ABUTTING PATHWAY, PLANTED, KERB OR OTHERS.
 - 7.0 REFER TO PLANS AND RELEVANT STANDARD DETAIL FOR ADJACENT LANDSCAPE TREATMENTS.



TYPICAL DETAIL - GENERAL PLANTING

- INSTALLATION**
- 1.0 PREPARE PLANTING AREA TO ENSURE SOIL PROFILE AS SPECIFIED (TYPICAL MINIMUM 300MM SOIL IMPORT OR IMPROVED SITE SOIL TO AS4419-2003. REFER TO SPECIFICATIONS).
 - 2.0 CULTIVATE THE SURROUNDING SUB-GRADE TO 100MM IN DEPTH AND REMOVE ANY STONE OR ROCK EXCEEDING 50MM IN DIAMETER AS WELL AS ANY ORGANIC MATERIAL SUCH AS ROOTS STICK CLOS OR WEEDS (BROUGHT IN THROUGH EXCAVATION PROCESS). IN GENERAL, REMOVE ANY MATERIAL OR DEBRIS THAT WOULD BE DETRIMENTAL TO PLANT HEALTH.
 - 3.0 PLANT TYPE, SIZE, DENSITIES AND LOCATION AS SPECIFIED ON PLANS AND PLANTING SCHEDULES.
 - 4.0 INSTALL SLOW RELEASE FERTILISER IN LINE WITH BEST PRACTICE OR AS SPECIFIED IN THIS DOCUMENT.
 - 5.0 INSTALL MULCH AS SPECIFIED TO A DEPTH OF 100MM. ENSURE MULCH IS PLACED MINIMUM 500MM FROM PLANT STEMS. MULCH SHOULD BE PROFILED GENERALLY AS ILLUSTRATED TO CREATE A 'WELL' AROUND THE PLANT STOCK TO PROMOTE WATER RETENTION.
 - 6.0 ENSURE MINIMUM OFFSET OF 500MM FROM ANY PATHWAYS, FENCE LINES, FOOTINGS ETC OR AS SPECIFIED IN THIS DOCUMENT.
 - 7.0 REFER TO PLANS AND RELEVANT STANDARD DETAIL FOR ADJACENT LANDSCAPE TREATMENTS.

DETAIL DRAWINGS

@ A1

ISSUE	DATE	DESCRIPTION
01	5.12.2024	OPERATIONAL WORKS LANDSCAPE
2 - WIP	Work in Progress	OPERATIONAL WORKS RFI RESPONSE

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PROJECT

PROPOSED NEW DEVELOPMENT

AT

LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD

FOR

EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
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DRAWING DETAIL DRAWINGS	
DRAWN	CV / KF
DATE	DEC '24
SCALE	N.T.S @ A1

DRAWING No.
BP1358/OPW/3.01

ISSUE
4 - WIP