



APPENDIX C

PROPOSAL PLANS

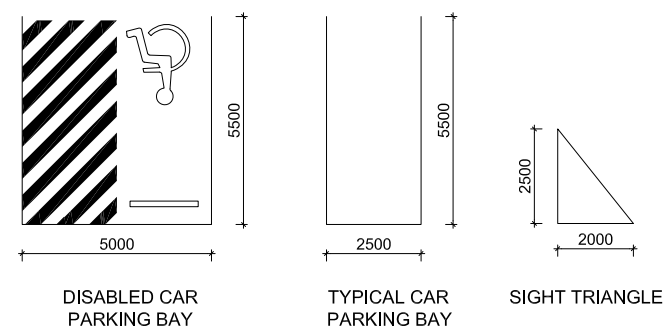


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VantageYatala

DEVELOPMENT SUMMARY	
SITE AREA	37546 m²
WAREHOUSE-A (Including Dock Office 50m ²)	11257 m ²
2 STOREY OFFICE-A	660 m ²
WAREHOUSE-B (Including Dock Office 50m ²)	8093 m ²
2 STOREY OFFICE-B	530 m ²
TOTAL BUILDING AREA	20540 m²
CAR PARKING PROVIDED	149
AWNING	1682 m ²
HEAVY DUTY PAVEMENT	8419 m ²
LIGHT DUTY PAVEMENT	4372 m ²
EFFICIENCY	54.7 %
SITE COVER	57.8 %
(Ground Floor Building + Awning / Site Area)	



PROPOSED SITE

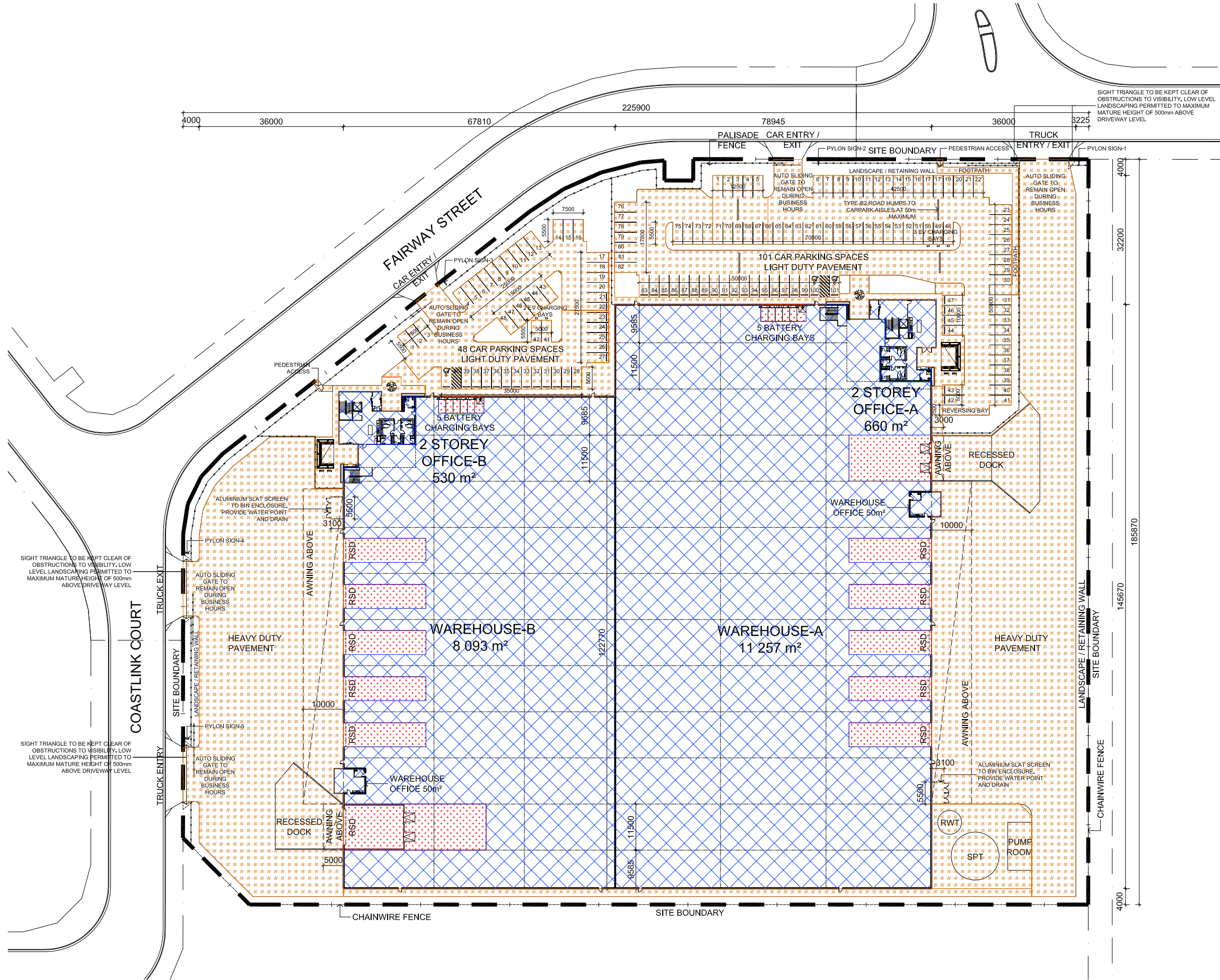
CHRISTENSEN ROAD

STAPYLTON JACOBS WELL ROAD

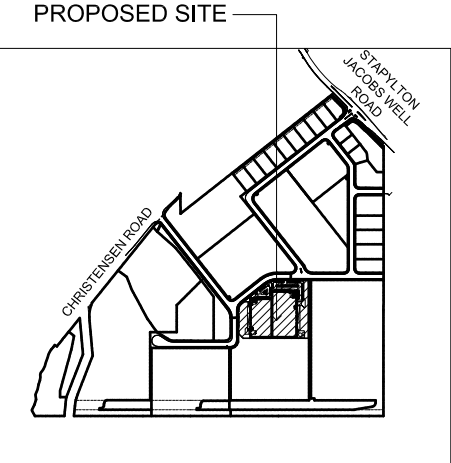
LOCATION PLAN

	JOB	DATE
	Q25-001A-DA-002	01.07.26
SCALE	DRN.	REV.
1:500 @ A1	MS	C

REV	DESCRIPTION	DATE
A	PRELIMINARY	09.06.26
B	WAREHOUSE-A CARPARK UPDATE, ISSUE FOR DA	01.07.26



LEGEND		
AREA USE	AREA	
INDUSTRY Includes: Office - 1190 m² Warehouse - 17372 m²	18562	m²
GFA EXCLUSION ZONE (Loading Area)	1978	m²
IMPERVIOUS AREA Includes: GFA Exclusion Zone - 1978 m² Warehouse - 17372 m² Office Ground Floor - 487 m² Paved Area - 14618 m²	34455	m²



LOCATION PLAN

FOR DEVELOPMENT APPLICATION

	JOB	DATE
	Q25-001A-DA-003	01.07.26
SCALE 1:500 @ A1	DRN.	REV.
	MS	B

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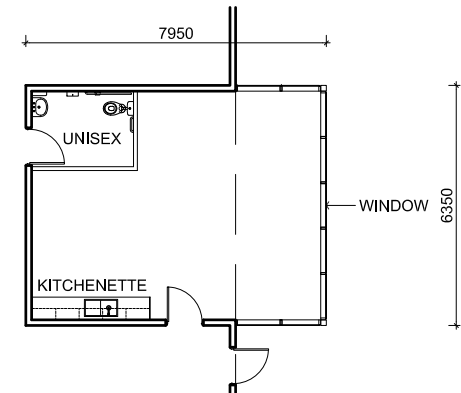
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 213 COASTLINK COURT, 'VANTAGE YATALA'
STAPYLTON, QUEENSLAND

SITE PLAN
GFA IMPERVIOUS AREA

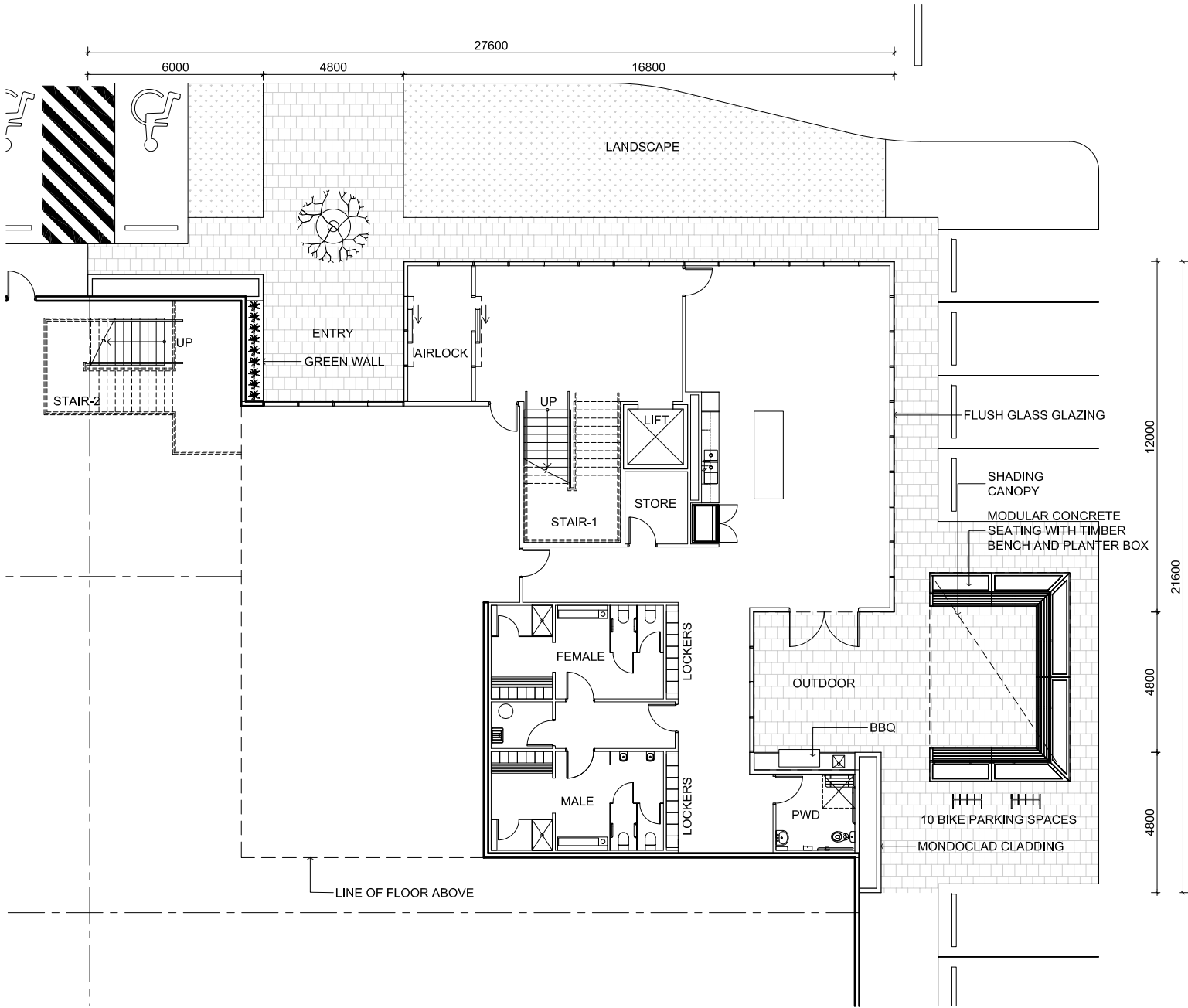


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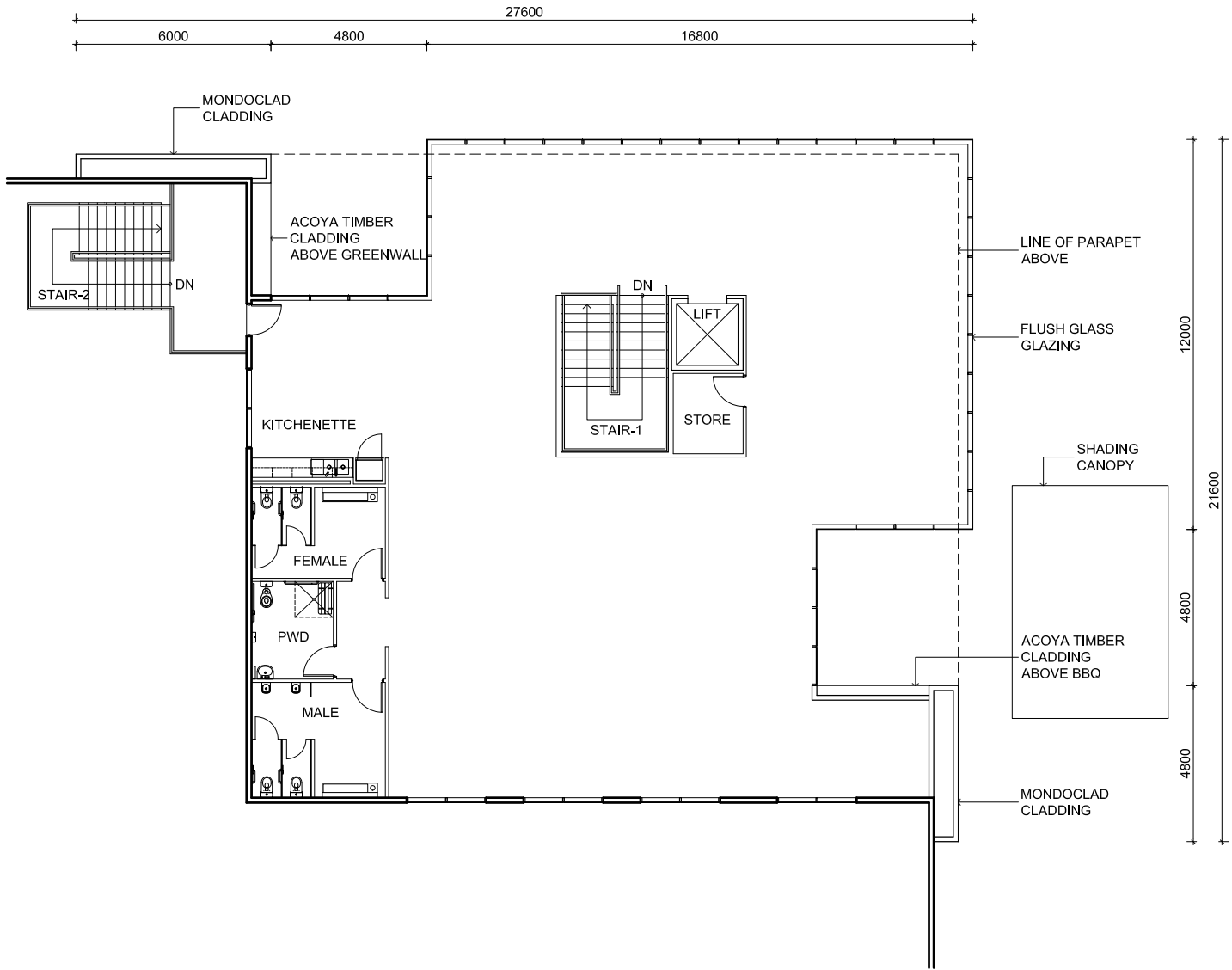
REV	DESCRIPTION	DATE
A	PRELIMINARY	09.06.26
B	ISSUE FOR DA	01.07.26



WAREHOUSE OFFICE-A FLOOR PLAN



OFFICE-A GROUND FLOOR PLAN



OFFICE-A FIRST FLOOR PLAN

FOR DEVELOPMENT APPLICATION

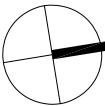


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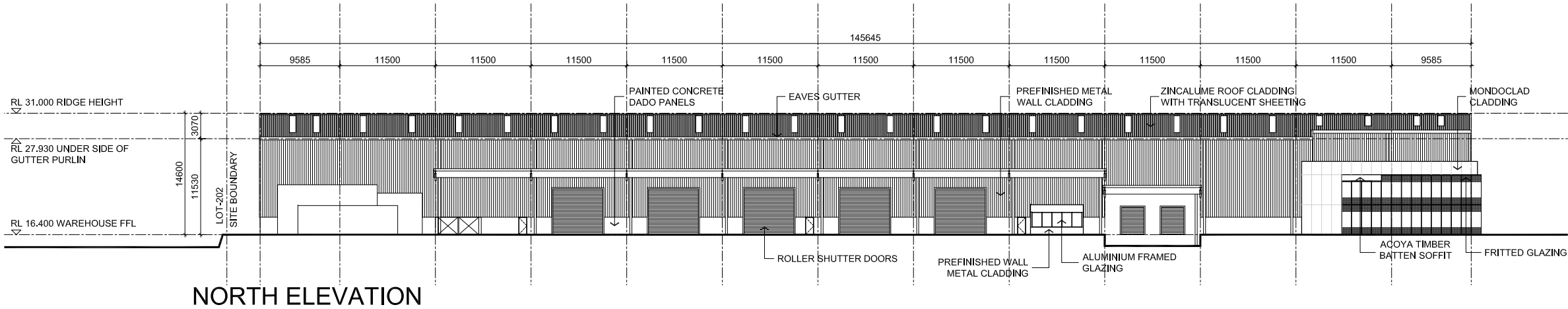
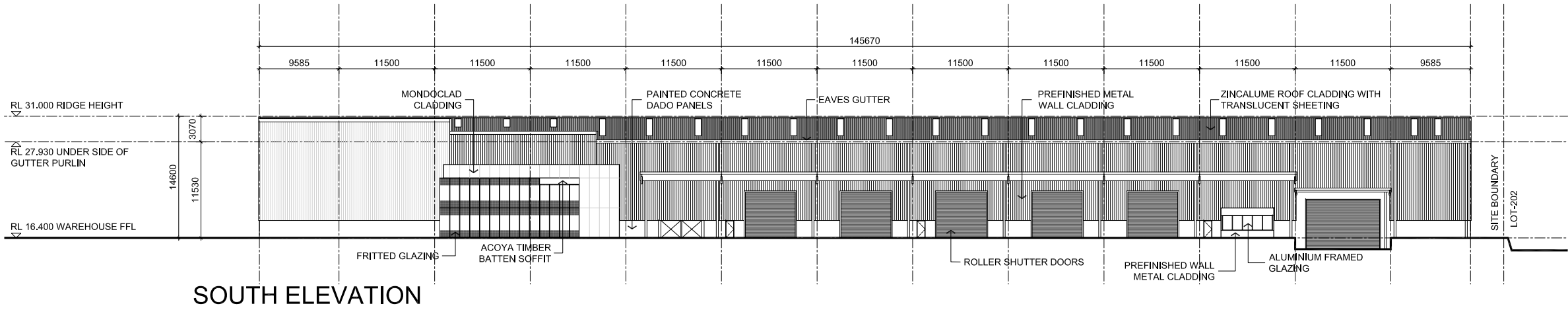
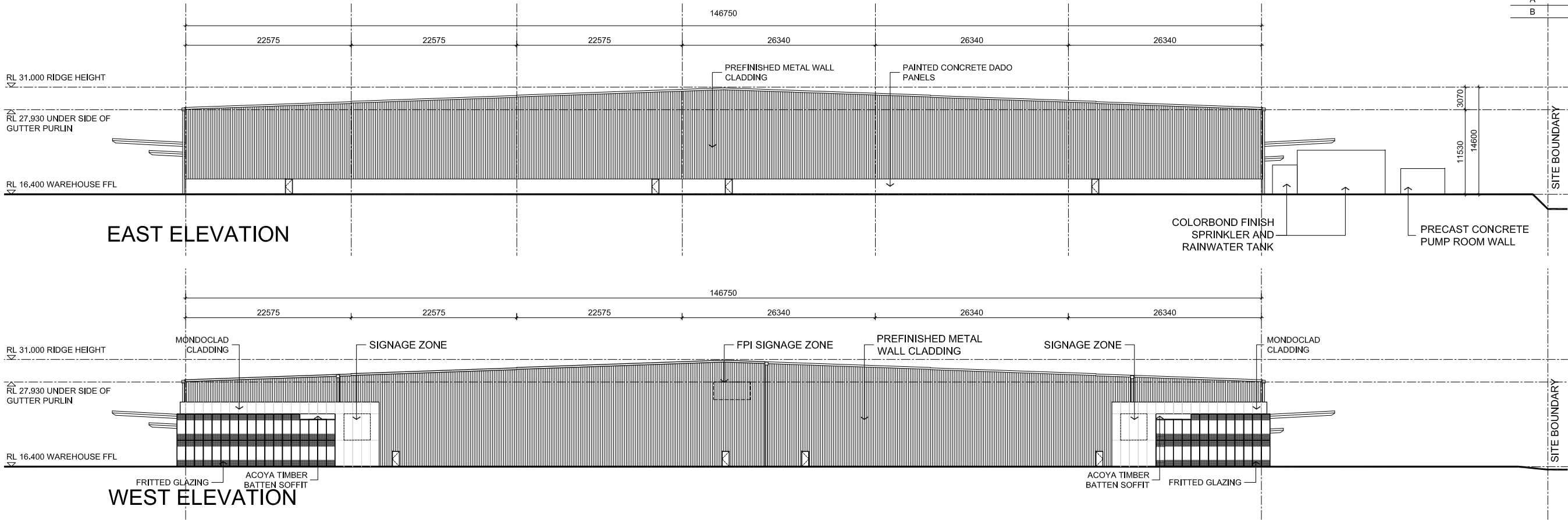
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 213 COASTLINK COURT, 'VANTAGE YATALA'
STAPYLTON, QUEENSLAND

OFFICE-A PLAN



JOB	DATE	
Q25-001A-DA-110	01.07.26	
SCALE	DRN.	REV.
1:100 @ A1	MS	B

REV	DESCRIPTION	DATE
A	PRELIMINARY	09.06.26
B	ISSUE FOR DA	01.07.26



ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. ALL LEVELS ARE TO BE +/- 1000mm.

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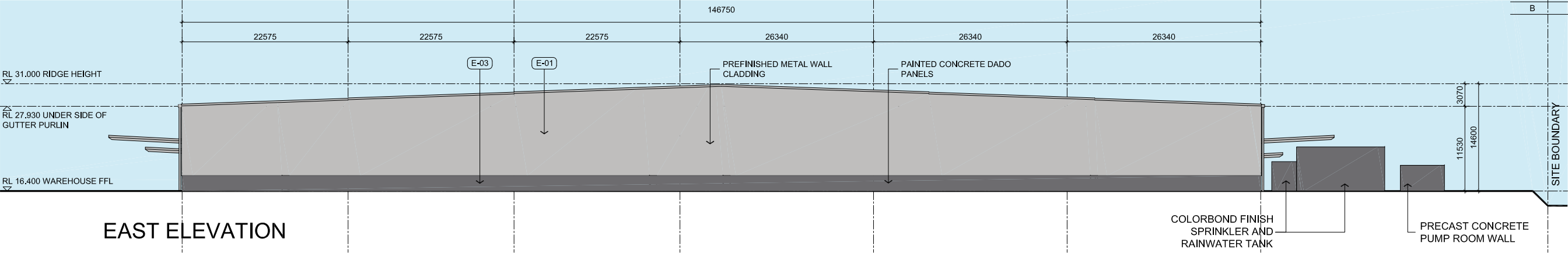
PROPOSED INDUSTRIAL DEVELOPMENT

LOT 213 COASTLINK COURT, 'VANTAGE YATALA'
STAPYLTON, QUEENSLAND

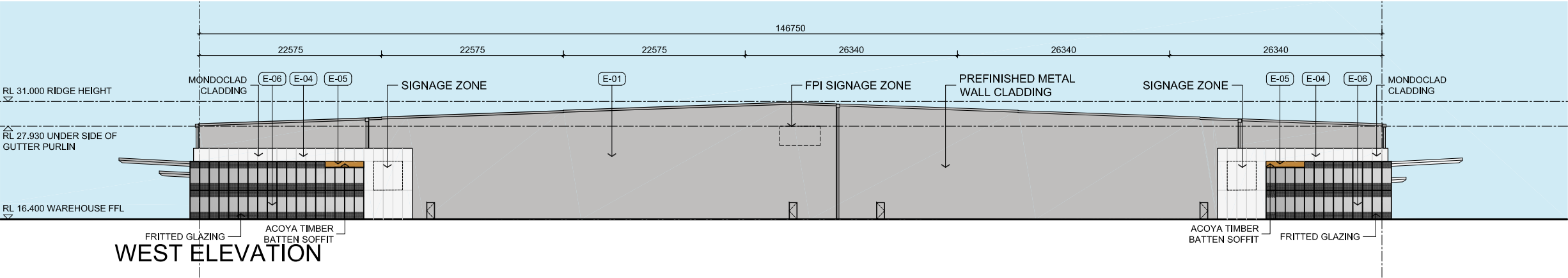
BUILDING ELEVATIONS

JOB	DATE	
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SCALE	DRN.	REV.
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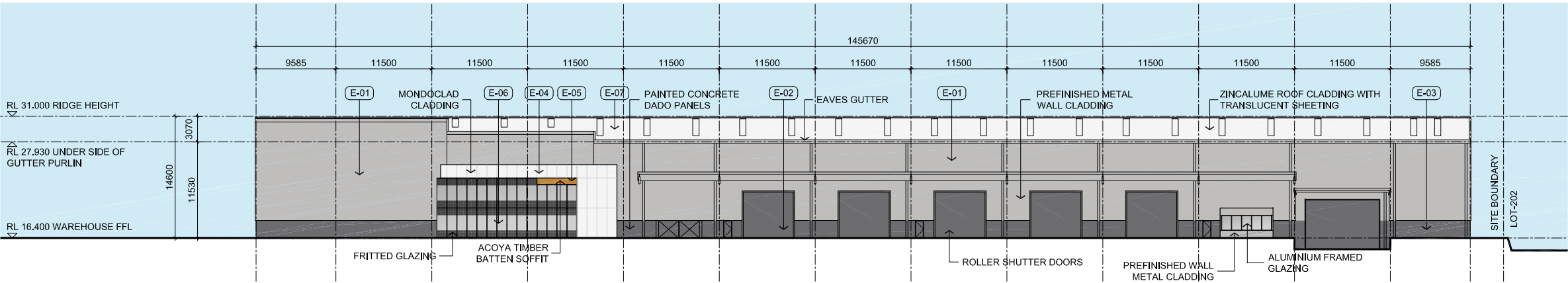
REV	DESCRIPTION	DATE
A	PRELIMINARY	09.06.26
B	ISSUE FOR DA	01.07.26



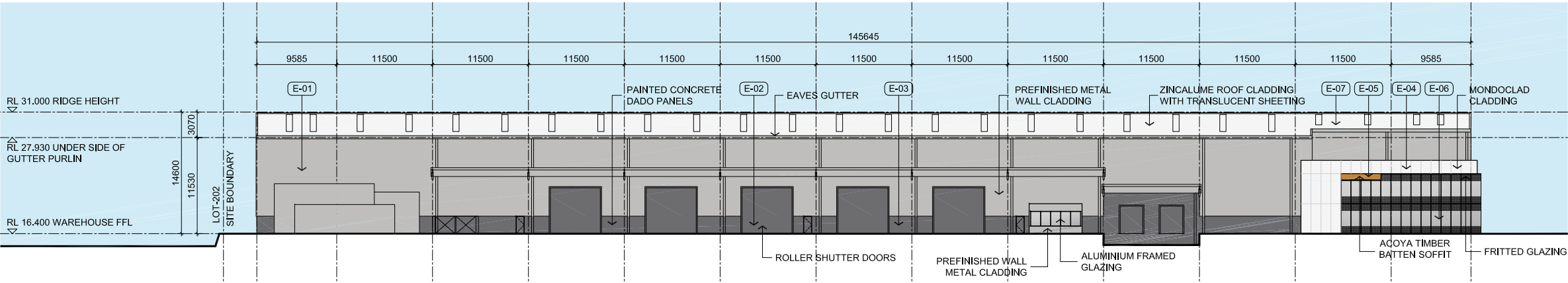
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

LEGEND	
	E-01 WAREHOUSE WALL, GUTTERS, CAPPING, DOWNPIPES, SPRINKLER AND RAINWATER TANK, AWNING COLUMNS AND BRACING - COLORBOND 'SHALE GREY'
	E-02 ROLLER SHUTTER DOORS COLORBOND 'BASALT MATT'
	E-03 DADO PANELS, WAREHOUSE EXIT DOORS AND DOWNPIPES TO MATCH 'BASALT MATT'
	E-04 OFFICE WALL CLADDING MONDOCLAD 'SILVER GRAY METALLIC'
	E-05 ACOYA OR APPROVED EQUIVALENT TIMBER CLADDING
	E-06 EXTERNAL GLAZING
	E-07 WAREHOUSE AND OFFICE ROOF ZINCALUME
	E-08 AC CONDENSOR AREA SCREEN ON OFFICE ROOF TO MATCH COLORBOND 'SHALE GREY'
	E-09 WAREHOUSE WALL CLADDING MONDOCLAD 'RED'

NOTE: COLOUR SWATCHES SHOWN ON THIS DRAWING ARE INDICATIVE ONLY, REFER SAMPLES FROM MANUFACTURERS FOR TRUE COLOUR REFERENCES

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