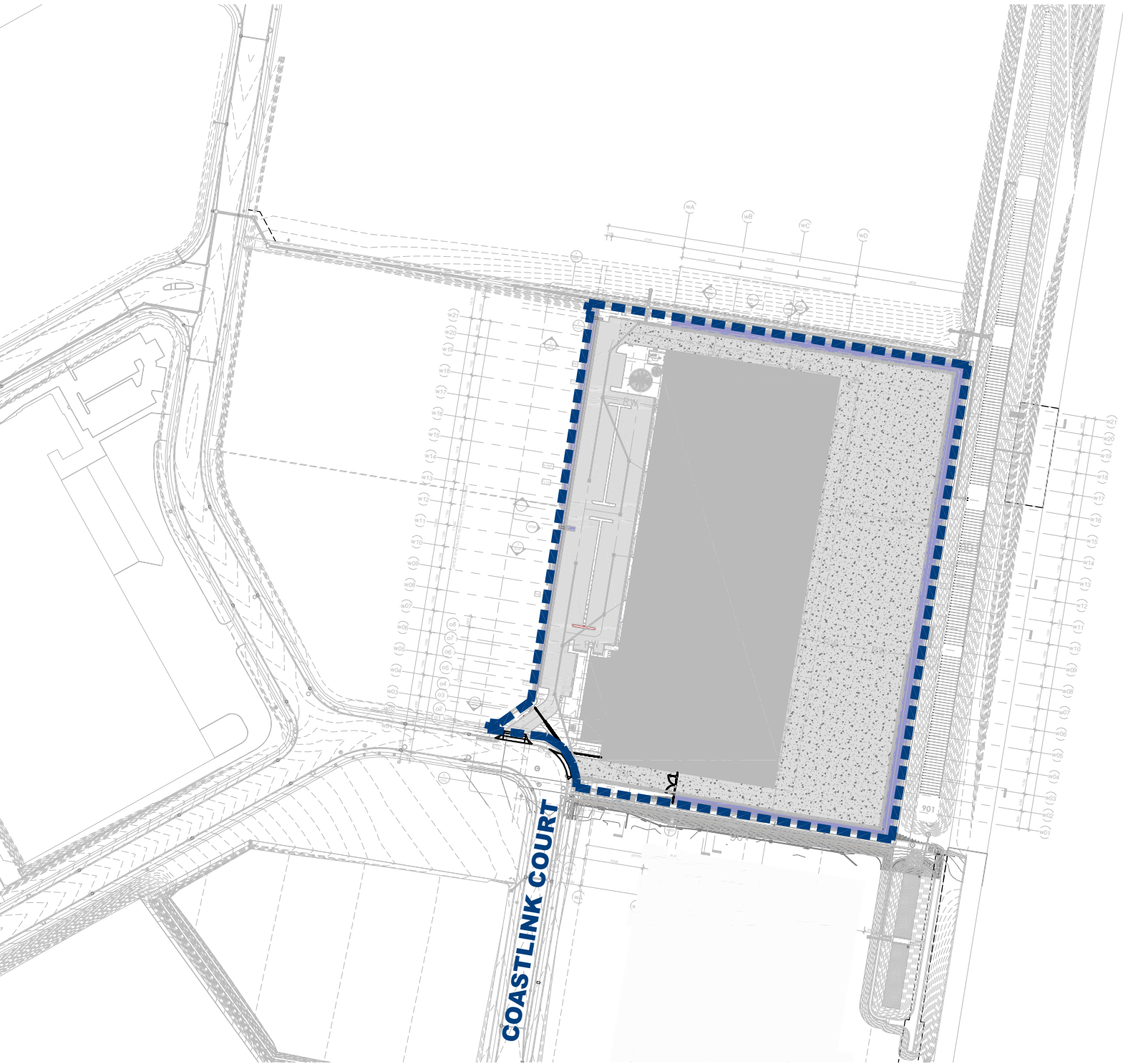


PROPOSED WAREHOUSE

PROPOSED LOT 202 ON SP329487, 2 and 10 Coastlink Court, Stapylton



LOCALITY PLAN



76 BUSINESS STREET, YATALA
Tel: +61 7 3807 3333
Fax: +61 7 3287 5461
E: mail2gassman.com.au
w. www.gassman.com.au

LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026

DRAWING INDEX

6397-L-OW-PRI-CP01	Locality Plan
6397-L-OW-PRI-SP01	Specifications & Planting Schedule
6397-L-OW-PRI-DT01	Detail Drawings
6397-L-OW-PRI-ST01	Surface Treatment Plan
6397-L-OW-PRI-ST02	Surface Treatment Plan
6397-L-OW-PRI-ST03	Surface Treatment Plan
6397-L-OW-PRI-ST04	Surface Treatment Plan
6397-L-OW-PRI-ST05	Surface Treatment Plan
6397-L-OW-PRI-ST06	Surface Treatment Plan
6397-L-OW-PRI-PP01	Planting Plan
6397-L-OW-PRI-PP02	Planting Plan
6397-L-OW-PRI-PP03	Planting Plan

gassman
development
perspectives

planning | environment | landscape | engineering | survey

T: 3807 3333 | F: 3287 5461 | www.gassman.com.au

76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:
FPI Queensland PTY LTD

Project:
Modscape

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

DRAWING TITLE
Landscape Operational Works

Issue	Date	Description	DRN	CHK
T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG

Scale:	
Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

Drawing No: C -0408 - 04 L-PRI-CP00
Rev. No: T2

LANDSCAPE SPECIFICATIONS

GENERAL

The Operational Works Plans are to be read in conjunction with Survey, Civil Engineering and Architectural Plans, Hydraulic and Electrical Reticulation Drawings and specifications for this project.

All works are to be in accordance with City of Gold Coast - City Plan - Landscape Work Code and COGC approval conditions, and also to Fraser Properties Industrial Landscape Guidelines V2.

Any discrepancy between these plans and other relevant drawings and specifications shall be brought to the notice of the Developments Managers Representative before commencement or continuation of works.

LEVELS

Existing and finished surface level shown within this plan have been derived from survey and civil engineering plans authored by Gassman Development Perspectives. Refer to these plans for further information, where required. Any discrepancy found between these plans and the survey and civil drawing series shall be brought to the attention of the Development Managers Representative before the commencement or continuation of works.

CONCRETE EDGING

Supply and install 100mm x 100mm formed concrete edging in grey to areas indicated within this set of plans.

STEEL EDGING

Supply and install steel edging in locations shown within this plan series. Steel edging is to be 100mmD and 8mm thick, and to be positioned via tack welds onto N16 rio bar. Steel edge to remain flush with adjacent surfaces. Refer to detail drawing within this package for further detail.

ROOT BARRIER

Supply and install 800mm root barrier in locations indicated (within strata vault detail), at a minimum offset minimum 1500mm distance from trunk of the tree.

Photo evidence of the installation of the root control barriers must be supplied to the Landscape Architect for submission to council.

STRATA VAULT SYSTEM

Supply and install City Green Strata Vault system to areas indicated on this plan series and as per manufactures instruction. Strat Vault is to be installed in two layer system (808mm in depth) to 400lt trees proposed near built form, as indicated within detail drawings on page SP02.

TREE GUARD ANCHOR SYSTEM

Supply and install tree guard system to trees in high wind zoned (roof top) areas as indicated within this plan series. Tree guard systems to be a deadman system Plati Mat, capable of supporting root ball of specified palm and tree species within a podium planter of 1m in depth. Platimat to be secured with bolt system on the floor of the podium planter. Tree guards to be installed as per manufactures instructions.

Photo evidence of the installation of the anchor systems must be supplied to the Landscape Architect for submission to council.

TREE GRATE

Supply and install 1200mm dia. hot galvanized dipped steel grate with centre cut out of 380mm by Urban Fountains and Furniture (or similar approved) with TG4 laser cut design / finish, in locations indicated within this set of plans. Antislip W rating required. Galvanized angle support frame, with quick release cam locks and 6mm bolt required. Install as per manufactures instruction.

GROWING MEDIA (Deep Planting Beds and Turf)

The Landscape Contractor is to provide sufficient surface and subsurface drainage to street tree garden beds to ensure positively drain areas free from ponding and water logging of soils. Cultivation of subgrade is to a minimum depth of 150mm prior to placing under turf topsoil for all turf areas and to a minimum depth of 200mm for all planting areas. Cultivate manually within 300mm of paths or structures and within the drip line of trees to a minimum depth of 100mm. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and all weed material. Grub out stumps and roots over 50mm in diameter to a minimum depth of 300mm below sub-grade. Tree and shrub stumps less than 75mm in diameter must be cut off at ground level and treated to prevent re-growth. trim the surface to design levels after cultivation. Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subgrade.

gypsum: incorporate at the rate in accordance with the manufactures guidelines. Fill required for leveling must be from previous earthworks on site or imported from a certified supplier as required. all fill material to be used must be free from:

- Logs, stumps and other vegetative material;
- Materials susceptible to spontaneous combustion;
- Clay of liquid limit exceeding 90 and/or plasticity index exceeding 65;
- Refuse and rubbish;
- Concrete and masonry rubble, and
- Toxic materials and substances.

Supply and install imported topsoil complying with as 4419 - 1996. Spread topsoil on prepared sub-grade and grade evenly, making allowances for required finished levels and contours (allow for light compaction). The reuse of modified topsoil must be free from stones, vegetative matter, stumps, clods greater than 75mm and toxic materials. Modified site soil must have good drainage and be high in organic matter. All modified soils to comply with AS4419. Refer to detail drawing no DD01 on 4002 for further detail.

MULCH

Supply and install organic mulch (Hoop Fines or similar approved) to a minimum depth 100mm on top of growing media. Place mulch to the required depth, clear of plant stems. Spread mulch so that after settling it is smooth and evenly graded between design surface levels sloped towards the base of plant stems. All mulch to be free from stones and soils. Mulch must comply with AS1289, AS2223, AS 4419 and AS4454.

GRAVEL

Supply and install 75 - 150mm basalt gravel to areas indicated within this set of plans to a thickness of 100mm. Area to have weed mat placed between subgrade bed and gravel layers, as well as have pre-emergent weed control sprayed onto gravel after installation.

DECOMPOSED GRANITE

Supply and install compacted decomposed granite path to a depth of 100mm in areas indicated within this plan series. Decomposed granite to have a ratio of 2:8 cement to granite ratio for stabilisation.

FERTILIZER

Use Agriform (or similar approved) 10g fertilizer (N:P:K / 20:4:3:4.1) tablet at a rate of 1 per 140mm pot or smaller pot, 2 per 200mm pot, 3 per 300mm pot or larger. Place fertilizer at plant rootball as indicated within detail drawings found within this set of plans.

PLANT MATERIAL

- All plant material is to be inspected onsite prior to planting and shall be rejected if it is not found to meet the following criteria;
- All plant material is to be visibly free of disease and damage, is to be of true genus, species and cultivars specified and is to be the specified container size and appropriate height or spread.
 - All plant material is to have a well developed root system, without girding and spiraling, nor shall the plant be 'root bound'.

TURF (streetscape)

Make good any streetcape turf damage throughout construction. Green couch, laid on 100mm topsoil. Refer to detail drawing on SP02

PUBLIC STREET TREES (streetscape)

Replace any trees that are damaged throughout construction. Street tree species and sizing must be inline and compliant with overarching approval OPW/2023/1492.

Where a tree is removed for services or vehicle cross overs replacement of the same size and species (as listed in OPW/2023/1492) is to be made, and placed in accordance with Gold Coast City Council Street tree guidelines.

MULCH (streetscape)

Top up mulch required to the tree beds, where damage / reduction / compaction occurs throughout construction.

TURF

Supply and install A Grade wintergreen turf in areas nominated within this set of plans. Turf to be installed at even grade with no dips, troughs or divers.

Turf to have pop up sprinklers installed as irrigation.

TREE PLANTING

Supply and place trees according to the plant schedule and location on this set of drawings. Refer to detail drawing on SP02.

SHRUBS AND GROUND COVERS

Supply and place shrub and ground cover species according to the plant schedule and location on this set of drawings. Plant as per typical planting as per detail drawing on SP02.

IRRIGATION

Conduit installed by others. 14mm dripline irrigation system, to all communal garden areas, at 350mm spacing. Drip line system to have be a back to base irrigation system equivalent to Rainbird ESP Decoder controller with rain sensors. RPZ and take off points to be nominated at later stage. Penetration and soffit pipe works by others. Hydraulic point to be provided by others: 1Lps @ 450Kp (system flow + pressure requirement) (RPZ 25mm). Electrical take off to be provided by others; 1 x 10AMP weather proof GPO

ESTABLISHMENT / MAINTENANCE PERIOD

The planting establishment period commences at the date of practical completion as set out by the Superintendent in a written certification to the Landscape Subcontractor. Planting Establishment on all landscape works is for a 12 month period at date of practical completion and shall incorporate as listed below.

General

Maintain all planted areas to ensure the establishment and continued growth of all shrub/ground cover material and palms. Areas shall be maintained in such a way as to ensure groundcover's and shrubs is encouraged to form a mass planting effect.

Weed Control

All planting areas are to be kept weed free through the use of chemical, mechanical and hand weeding as appropriate to the type of planting, its prominence and species involved. Translocated herbicides should be used in preference to contact products, and where applied in ornamental areas re-visits to remove dead growth will be required.

Pruning

Inspect planting areas regularly and prune out dead or diseased growth as and when discovered.

Groundcovers

Inspect areas of ground cover planting regularly. In areas of compacted soil surface lightly fork soil to improve establishment. Cut back plants significantly overhanging podium in a manner appropriate for the species and to the approval of the Superintendent.

Dusting and Spraying

Allow for regular inspections and spraying and dusting as may be necessary to control pests and diseases on plant stock. Report any occurrences to the Superintendent.

Replacements

Monitor plant growth and allow for the removal from site of any plants, which fail to thrive, and the leveling up of the planting area. Advise the Superintendent of number of plant failures after each maintenance visit. Monitor planting areas and report any incidents of malicious damage or theft.

Mulch

Inspect mulch depths to all planting areas regularly and allow for tidying and topping up levels to specified depths as required.

Log Book

Keep record of dates of visits, maintenance performed and photo evidence of results achieved for the area. Log book to be issued to the Development Managers Representative, at their request.

PLANTING SCHEDULE					
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	STAKE REQUIRED	TOTAL
TREES					
TRIau*	Tristaniopsis laurina 'luscious'	watergum	800lt	Y	1
BLAeum	Baeocarpus eumundi	quondong	200lt	Y	16
CUAna	Cupaniopsis anacardioides	tuckeroo	200lt	Y	13
SCREENING SHRUBS					
SYZres	Syzygium resilience	lilly pilly	45lt		28
MICfig	Michelia figo	port nine magnolia	45lt		45
PHORr	Photinia x fraseri 'Red Robin'	red robin	45lt		78
FEATURE SHRUBS					
PHlxan	Philodendron xanadu	xanadu	300mm		217
CRlped	Crinum pedunculatumhes excelsa	swamp lily	300mm		57
SHRUBS					
WESg	Westringia jervis gem	coastal rosemary	200mm		33
NANGs	Nandina domestica gulf stream	dwarf sacred bamboo	200mm		751
GROUNDCOVERS					
CAUJ	Callistemon little john	little john bottle brush	140mm		443
CARgla	Carpobrotus glaucescens	pig face	140mm		1058
MYOCeli	Mycoporum ellipticum	coastal boobialla	140mm		476
DIAcb	Danella cassia blue	cassia blue	140mm		1008

TRI Lus	Tristaniopsis laurina 'luscious'	Water Gum	100L	1
---------	----------------------------------	-----------	------	---

LANDSCAPE ASSESSMENT NOTES:

- All under sized or poor quality stock will be required to be replaced prior to inspection approval.

- All road reserve turf must be repaired or replaced if damaged.

- All trees must be staked, edged and mulched.

- Ensure all nominated existing planting to be retained and protected are not damaged. Plants damaged in construction must be replaced with the same species at the same size.

- Ensure all proposed trees within the private lot are setback 3m minimum from the proposed roof line or building foundations. Only small trees are permitted within the 2-3m setback from proposed roof line or building foundations, but a root barrier must be used.

- All planting to be within an edged and organically mulched garden bed complying with the City Plan Policy - Landscape Work.

- All nursery bamboo stakes and plastic/rubber ties must be removed from planted tree specimens before final inspection.

- All fencing must comply with what is shown on the stamped approved plans and approved SLI for COM/20264.

LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026



g a s s m a n

development perspectives

planning | environment | landscape | engineering | survey

T: 3807 3333 | F: 3287 5461 | www.gassman.com.au

76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:

FPI Queensland PTY LTD

Project:

Modscape

Site Address:

10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH GENERAL NOTES

© 2012 Gassman Development Perspectives

All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

DRAWING TITLE

Landscape Operational Works

SPECIFICATIONS & PLANTING SCHEDULE

T2	22.04.26	FOR TENDER	JLS	MG	
T1	23.03.26	FOR TENDER	JLS	MG	
Issue	Date	Description	DRN	CHK	

Scale:

Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

Drawing No: C -0408 - 04 L-PRI-SP01

Rev. No: T2

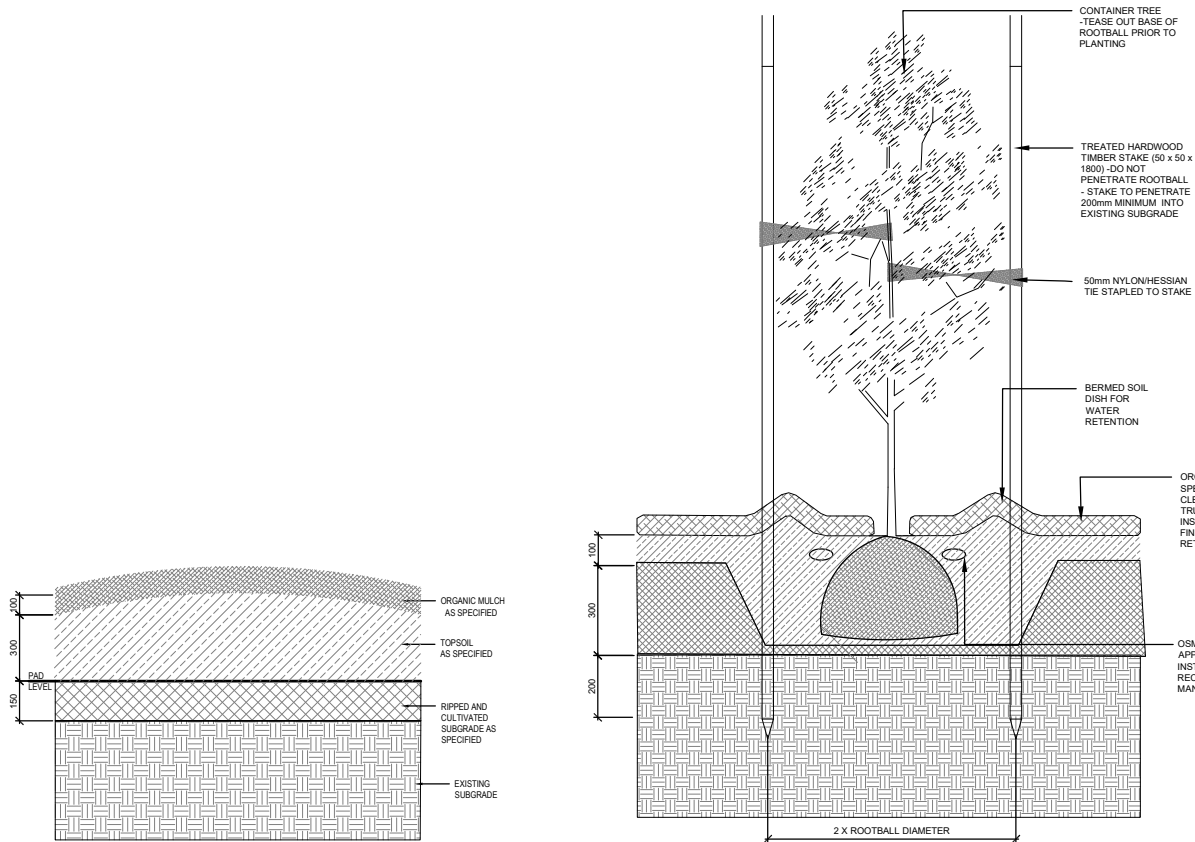
Client:
FPI Queensland PTY LTD

Project:
Modscape

Site Address:
10 Coastlink Court
Staplyton

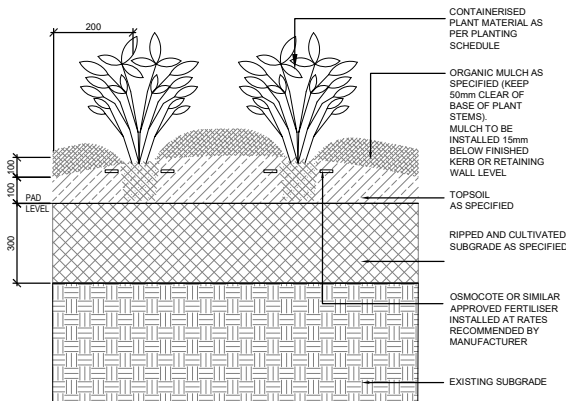
DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

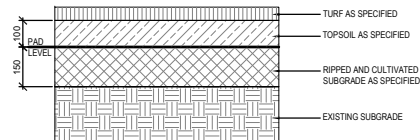


TYPICAL DETAIL: GARDEN TREATMENT

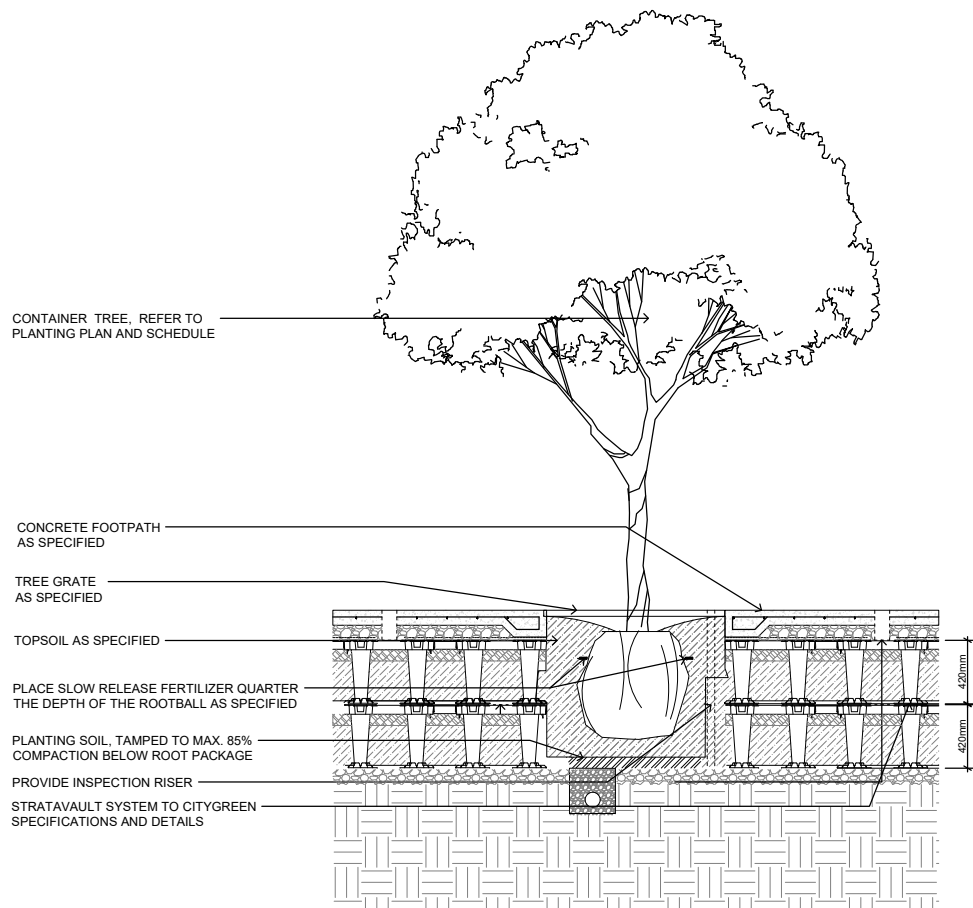
TYPICAL DETAIL: TREE PLANTING



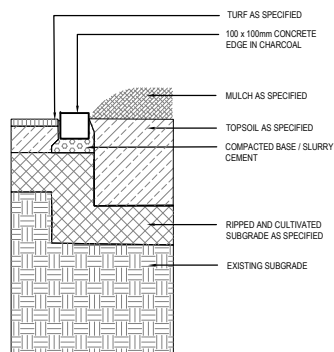
TYPICAL DETAIL: SHRUB / GROUNDCOVER PLANTING



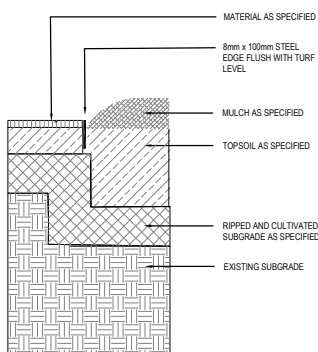
TYPICAL DETAIL: TURF INSTALLATION (IF MAKE GOOD REQUIRED)



TYPICAL DETAIL: STRATA VAULT



TYPICAL DETAIL: CONCRETE EDGE



TYPICAL DETAIL: STEEL EDGE

- LANDSCAPE PLANS APPROVED**
- To be constructed in accordance with the approved plan.
 - Approval is subject to the observance of any amendments noted in red thereon.
 - Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
 - No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
 - All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026

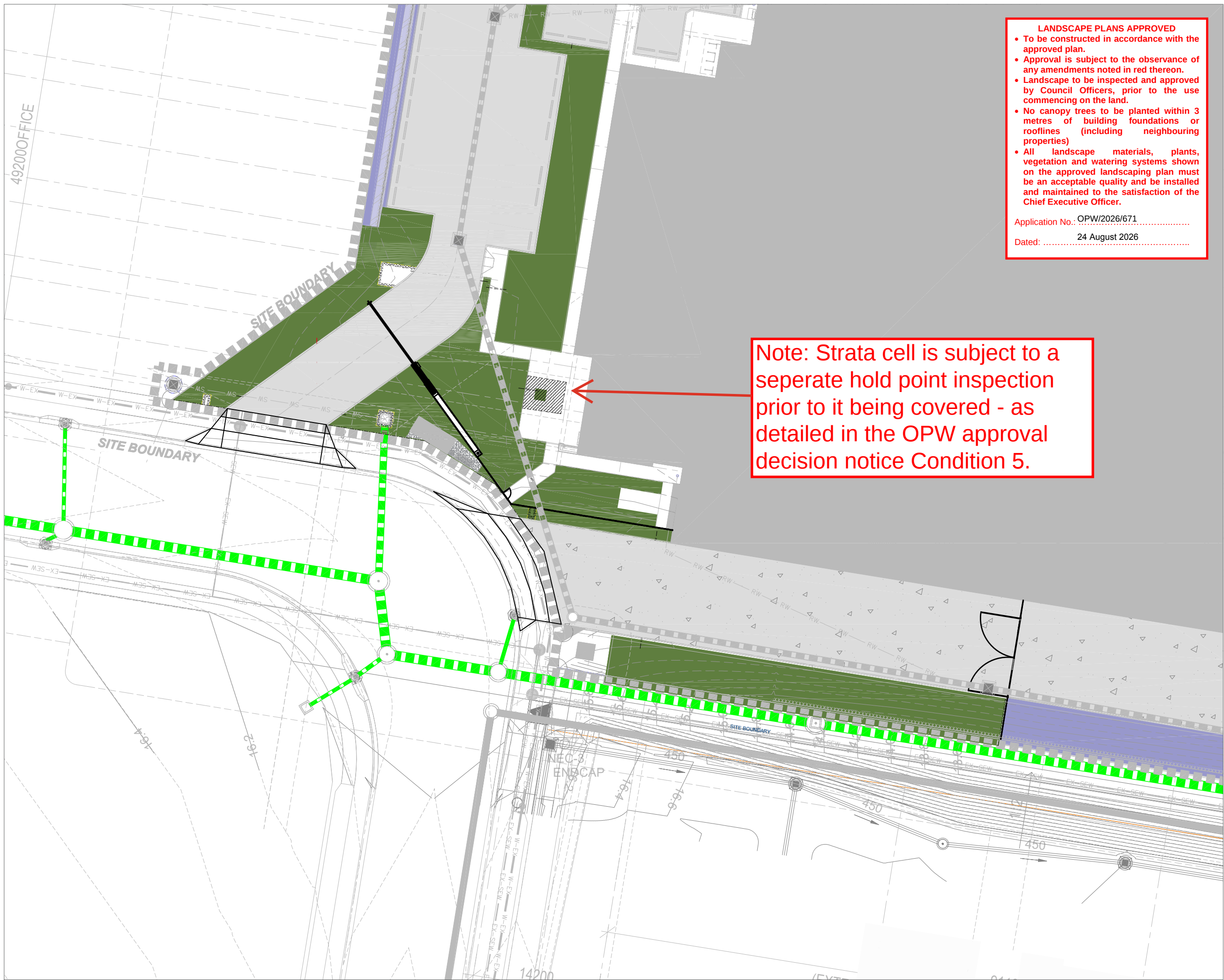
DRAWING TITLE
Landscape Operational Works
DETAIL DRAWINGS

Issue	Date	Description	DRN	CHK
T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.20	FOR TENDER	JLS	MG

Scale:

Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

Drawing No: C-0408 - 04 L-PRI-DT01 Rev. No: T2



LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671
Dated: 24 August 2026

Note: Strata cell is subject to a seperate hold point inspection prior to it being covered - as detailed in the OPW approval decision notice Condition 5.

Client:
FPI Queensland PTY LTD

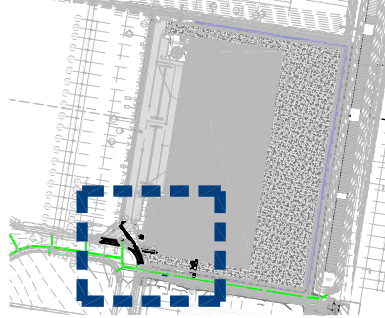
Project:
Modscope

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

KEY PLAN



LEGEND

- EXISTING TURF TO PUBLIC VERGE TO BE REFINISHED WITH WATERSEAL TURF
- EXISTING TREES TO PUBLIC VERGE TO BE REFINISHED WITH WATERSEAL TURF
- 100mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL
- 100mm x 8mm STEEL EDGING REFER TO SPECIFICATIONS FOR FURTHER DETAIL
- 1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL
- ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL
- STRATA VAULT REFER TO SPECIFICATION FOR FURTHER DETAIL
- DEEP GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATION FOR FURTHER DETAIL
- DECOMPOSED GRANITE WITH 2:8 RATIO OF CONCRETE TO GRANITE MIX
- 75mm x 150mm BASALT ROCK WITH WEED MAT UNDER, AS SPECIFIED
- 1200mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL

DRAWING TITLE
Landscape Operational Works
SURFACE TREATMENT PLAN

T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG
Issue	Date	Description	DRN	CHK

Scale: 1:400 at A3

Designed: JLS

Checked: JLS

Approved: MG

Date: 22.04.26

Drawing No: C-0408 - 04 L-PRI-ST01

Rev. No: T2



LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026

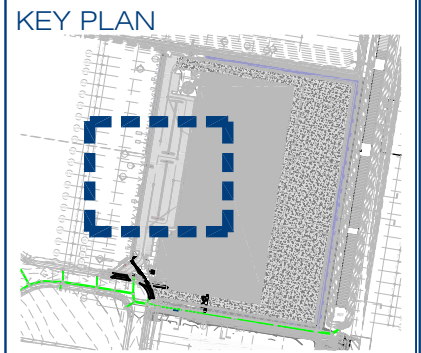
Client:
FPI Queensland PTY LTD

Project:
Modscope

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.



LEGEND	
	EXISTING TURF TO PUBLIC VERGE TO BE REPAIRED WITH WATERLOOSE TURF
	EXISTING TREES TO PUBLIC VERGE TO BE REPAIRED WITH WATERLOOSE TURF
	90mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL
	100mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	100mm x 8mm STEEL EDGING REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL
	ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL
	STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	DEEP GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	DECOMPOSED GRANITE WITH 2:8 RATIO OF CONCRETE TO GRANITE MIX
	75mm x 150mm BASALT ROCK WITH WEED MAT UNDER, AS SPECIFIED
	1200mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL

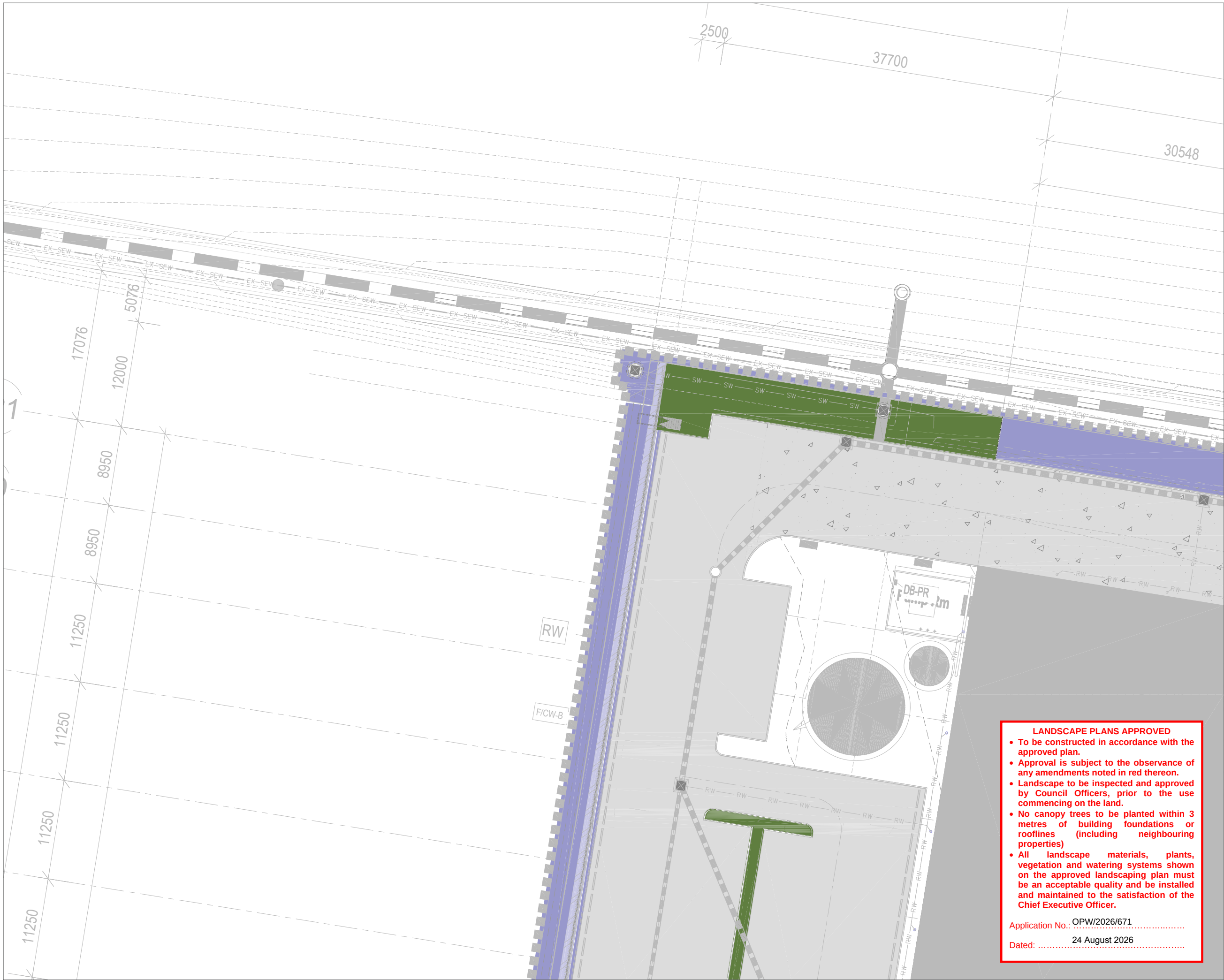
DRAWING TITLE

Landscape Operational Works SURFACE TREATMENT PLAN

T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG
Issue	Date	Description	DRN	CHK

Scale:	1:400 at A3
Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

Drawing No: C-0408 - 04 L-PRI-ST02
Rev. No: T2



Client:
FPI Queensland PTY LTD

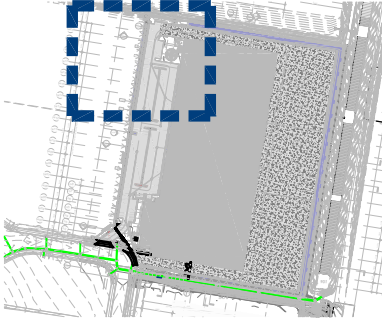
Project:
Modscape

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

KEY PLAN



LEGEND

	EXISTING TURF TO PUBLIC SHOULD TO BE CONSIDERED WITH WATERLOGGED TURF		ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL
	EXISTING TREES TO PUBLIC VERGE: 100mm x 8mm STEEL CONCRETE WITH WEDGE TREE REMOVE WAS INSTALLED WITHIN STAGE 3 OF WARDING CROWN AS PER LOCAL COUNCIL TREE ORDINANCE		STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	90mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL		DEEP GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	100mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL		DECOMPOSED GRANITE WITH 2:8 RATIO OF CONCRETE TO GRANITE MIX
	100mm x 8mm STEEL EDGING REFER TO SPECIFICATIONS FOR FURTHER DETAIL		75mm x 150mm BASALT ROCK WITH WEED MAT UNDER, AS SPECIFIED
	1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL		1200mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL

LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

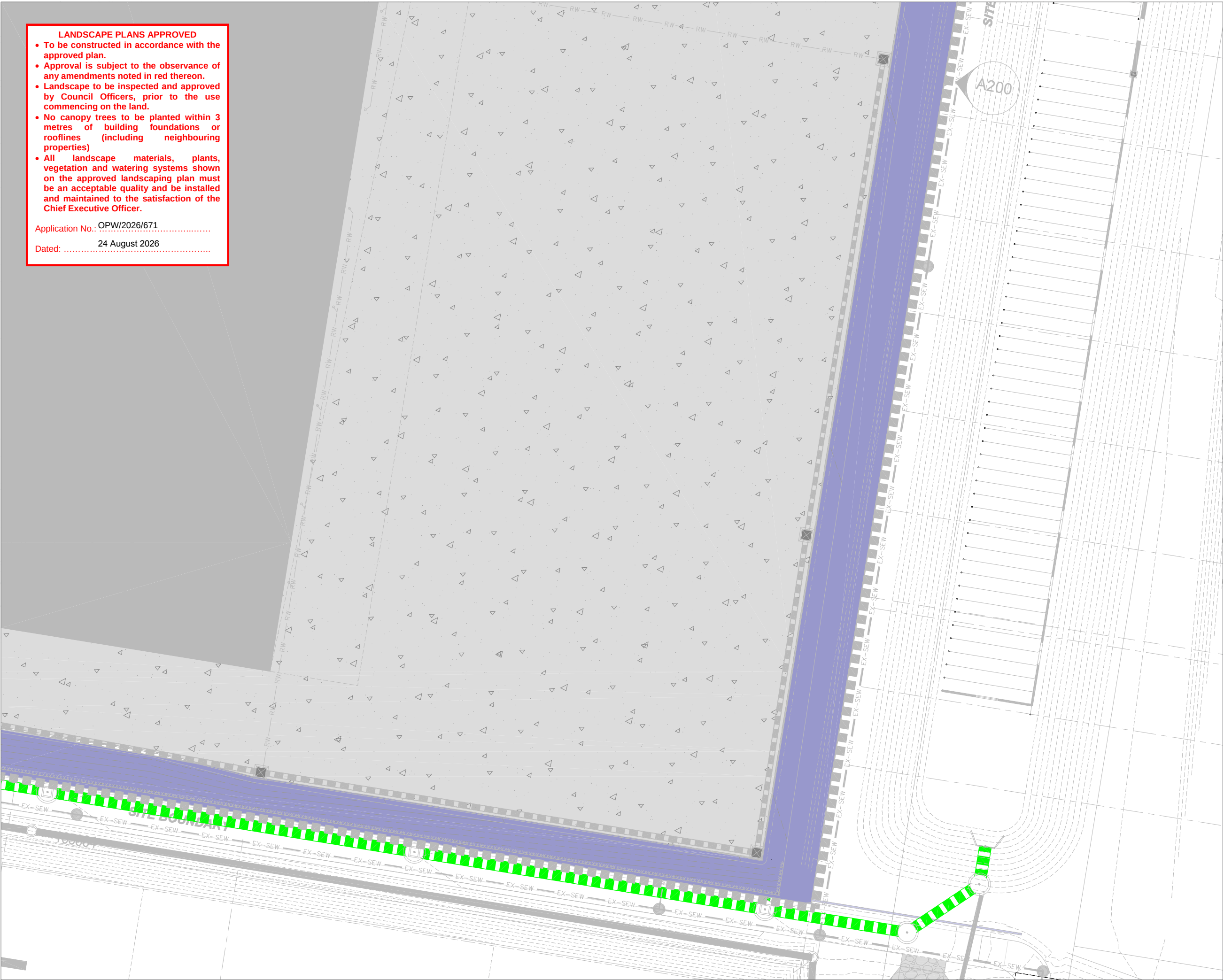
Dated: 24 August 2026

DRAWING TITLE
Landscape Operational Works
SURFACE TREATMENT PLAN

T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG
Issue	Date	Description	DRN	CHK

Scale:	1:400 at A3
Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

Drawing No: C-0408 - 04 L-PRI-ST03
Rev. No: T2



LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026

Client:
FPI Queensland PTY LTD

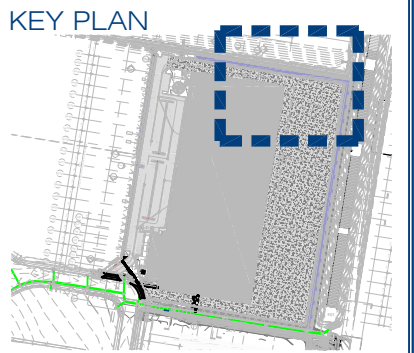
Project:
Modscope

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH GENERAL NOTES

© 2012 Gassman Development Perspectives

All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.



LEGEND	
	EXISTING TURF TO PUBLIC SHOULD TO BE REPLACED WITH WATERLOGGED TURF
	EXISTING TREES TO PUBLIC VERGE: 100mm x 8mm STEEL EDGING HAS WHERE TREE REMOVAL HAS OCCURRED. INSTALLATION OF TREE TRIM INSTALLATION WITHIN STAGE 2 OF VARIANCE OCCURRED AS PER LOCAL COUNCIL TREE ORDINANCE
	100mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL
	100mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	100mm x 8mm STEEL EDGING REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL
	ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL
	STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	DEEP GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	DECOMPOSED GRANITE WITH 2:8 RATIO OF CONCRETE TO GRANITE MIX
	75mm x 150mm BASALT ROCK WITH WEED MAT UNDER, AS SPECIFIED
	1200mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL

DRAWING TITLE

Landscape Operational Works

SURFACE TREATMENT PLAN

T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG
Issue	Date	Description	DRN	CHK

Scale:	1:400 at A3
Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

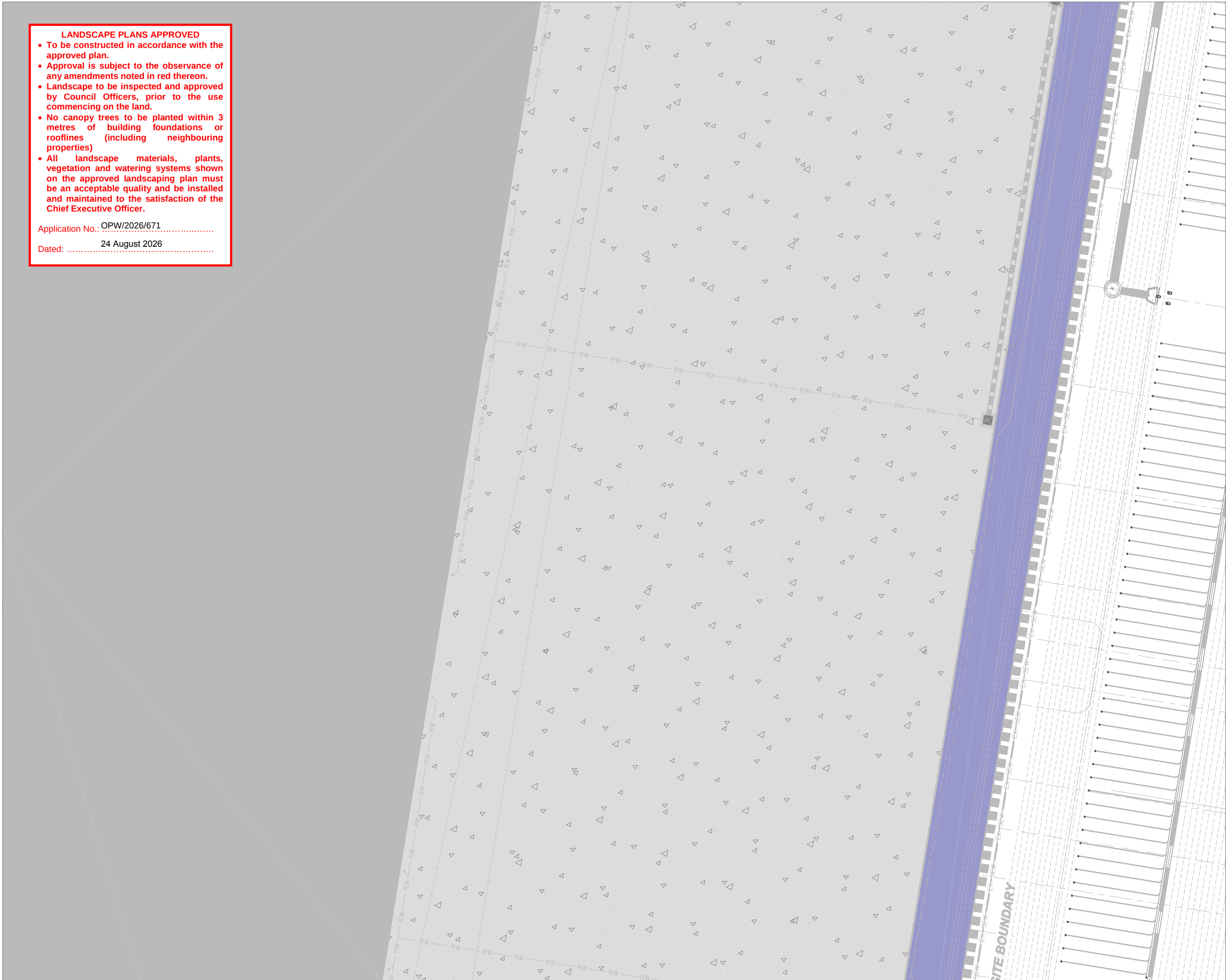
Drawing No: C-0408 - 04 L-PR-ST04

Rev. No: T2

- LANDSCAPE PLANS APPROVED
- To be constructed in accordance with the approved plan.
 - Approval is subject to the observance of any amendments noted in red thereon.
 - Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
 - No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
 - All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026



Client:
FPI Queensland PTY LTD

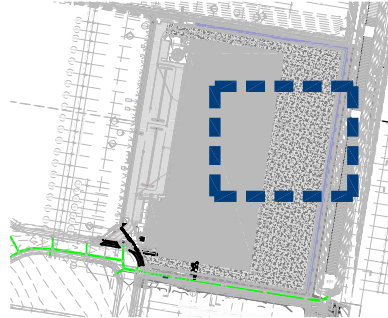
Project:
Modscope

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

KEY PLAN



LEGEND

	EXISTING TURF TO PUBLIC SHOWN TO BE REMOVED AND REPLACED WITH WATERLOGGED TURF		ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL
	EXISTING TREES TO PUBLIC VERGE: 100mm x 8mm STEEL EDGING HAS WHERE TREE REMOVAL WAS CONSIDERED. INSTALLMENT TREES TO BE INSTALLED WITHIN STAGE 3 OF LANDSCAPE DESIGN AND ARE LOCATED WITHIN TREE CROWN		STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	100mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL		DEEP GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	100mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL		DECOMPOSED GRANITE WITH 2:8 RATIO OF CONCRETE TO GRANITE MIX
	100mm x 8mm STEEL EDGING REFER TO SPECIFICATIONS FOR FURTHER DETAIL		75mm - 150mm BASALT ROCK WITH WEED MAT UNDER, AS SPECIFIED
	1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL		1200mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL

DRAWING TITLE

Landscape Operational Works
SURFACE TREATMENT PLAN

T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG
Issue	Date	Description	DRN	CHK

Scale: 1:400 at A3

Designed: JLS

Checked: JLS

Approved: MG

Date: 22.04.26

Drawing No:
C-0408 - 04 L-PRJ-ST05

Rev. No:
T2

Client:
FPI Queensland PTY LTD

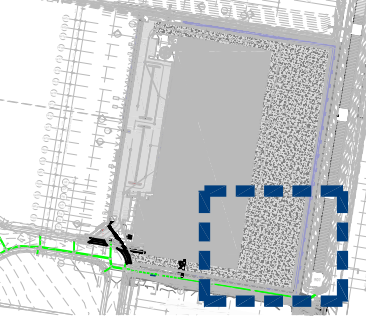
Project:
Modscape

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

KEY PLAN



LEGEND

	EXISTING TURF TO PUBLIC UNLESS TO BE REMOVED WITH WATERLOGGED TURF		ROOT BARRIER PROTECTION 800mm DEEP REFER TO SPECIFICATION FOR FURTHER DETAIL
	EXISTING TREES TO PUBLIC UNLESS TO BE REMOVED WITH WATERLOGGED TURF UNLESS TO BE REMOVED WITH WATERLOGGED TURF UNLESS TO BE REMOVED WITH WATERLOGGED TURF		STRATA VAULT REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	50mm IRRIGATION CONDUIT BY OTHERS REFER TO SPECIFICATION FOR FURTHER DETAIL		DEEP GARDEN WITH IRRIGATION PLANTING AREAS REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	100mm THICK CONCRETE EDGE IN CHARCOAL REFER TO SPECIFICATIONS FOR FURTHER DETAIL		DECOMPOSED GRANITE WITH 2:8 RATIO OF CONCRETE TO GRANITE MIX
	100mm x 8mm STEEL EDGING REFER TO SPECIFICATIONS FOR FURTHER DETAIL		75mm x 150mm BASALT ROCK WITH WEED MAT UNDER, AS SPECIFIED
	1.8m HIGH BLACK PALISADE FENCING OFFSET 2m FROM BOUNDARY REFER TO SPECIFICATION FOR FURTHER DETAIL		1200mm dia TREE GRATE REFER TO SPECIFICATION FOR FURTHER DETAIL

DRAWING TITLE

Landscape Operational Works
SURFACE TREATMENT PLAN

T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG
Issue	Date	Description	DRN	CHK

Scale: 1:400 at A3

Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

Drawing No: C-0408 - 04 L-PRI-ST06
Rev. No: T2

LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

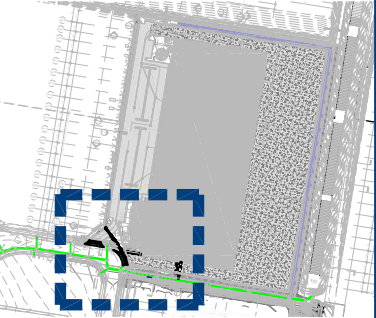
Application No.: OPW/2026/671
Dated: 24 August 2026



Project: **Modscape**

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

KEY PLAN



 GROUNDCOVER / CASCADING SPECIES
 SMALL SIZED SHRUBS
 SCREENING SHRUB PLANTING
 PROPOSED TREE

22.04.26	FOR TENDER	JLS	MG
23.03.26	FOR TENDER	JLS	MG
Date	Description	DRN	CHK

Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.

Drawing No: Rev. No:
-0408 - 04 L-PRI-PP01 T2

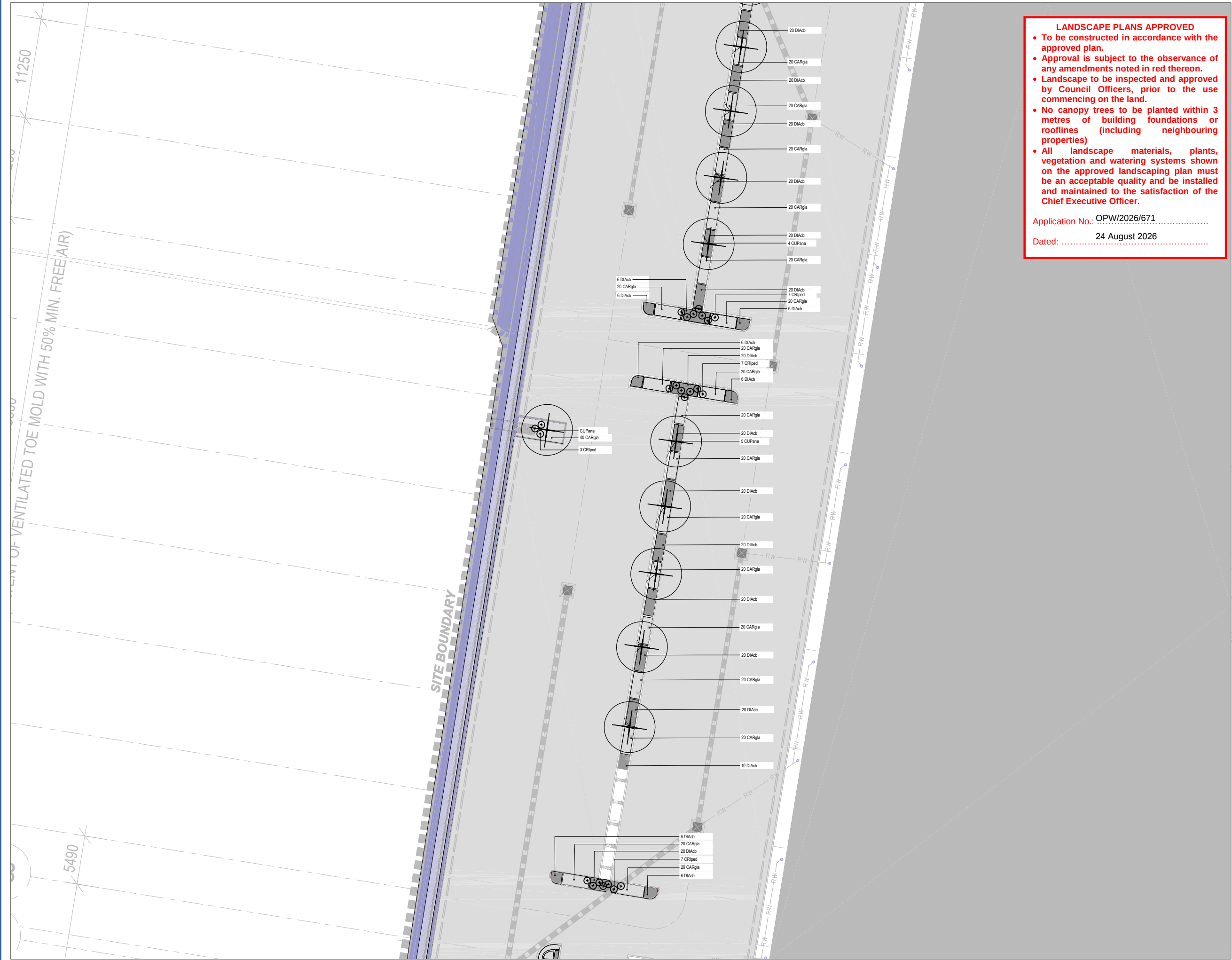
- Application No.: OPW/2026/671
Dated: 24 August 2026

Note: Strata cell for TRI lus is subject to a separate hold point inspection prior to it being covered - as detailed in the OPW approval decision notice Condition 5.

Street tree in accordance with Condition 9(a)(xiv). To be installed in compliance with distances specified by standard drawing 05-103 within SC6.12.10 City Plan Policy – Land development guidelines.

1x TRI LuS

Ensure sight triangles are free of obstructions to visibility.
Landscaping to be a mature height of 500mm above driveway level only.



LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026

Client:
FPI Queensland PTY LTD

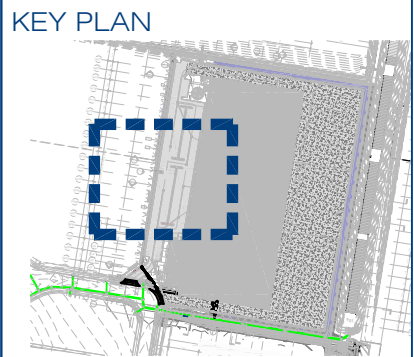
Project:
Modscope

Site Address:
10 Coastlink Court
Staplyton

DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES

© 2012 Gassman Development Perspectives

All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.



LEGEND

GROUND COVER / CASCADING SPECIES

SMALL SIZED SHRUBS

SCREENING SHRUB PLANTING

PROPOSED TREE

DRAWING TITLE

Landscape Operational Works

PLANTING PLAN

T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG
Issue	Date	Description	DRN	CHK

Scale: 1:400 at A3

Designed: JLS

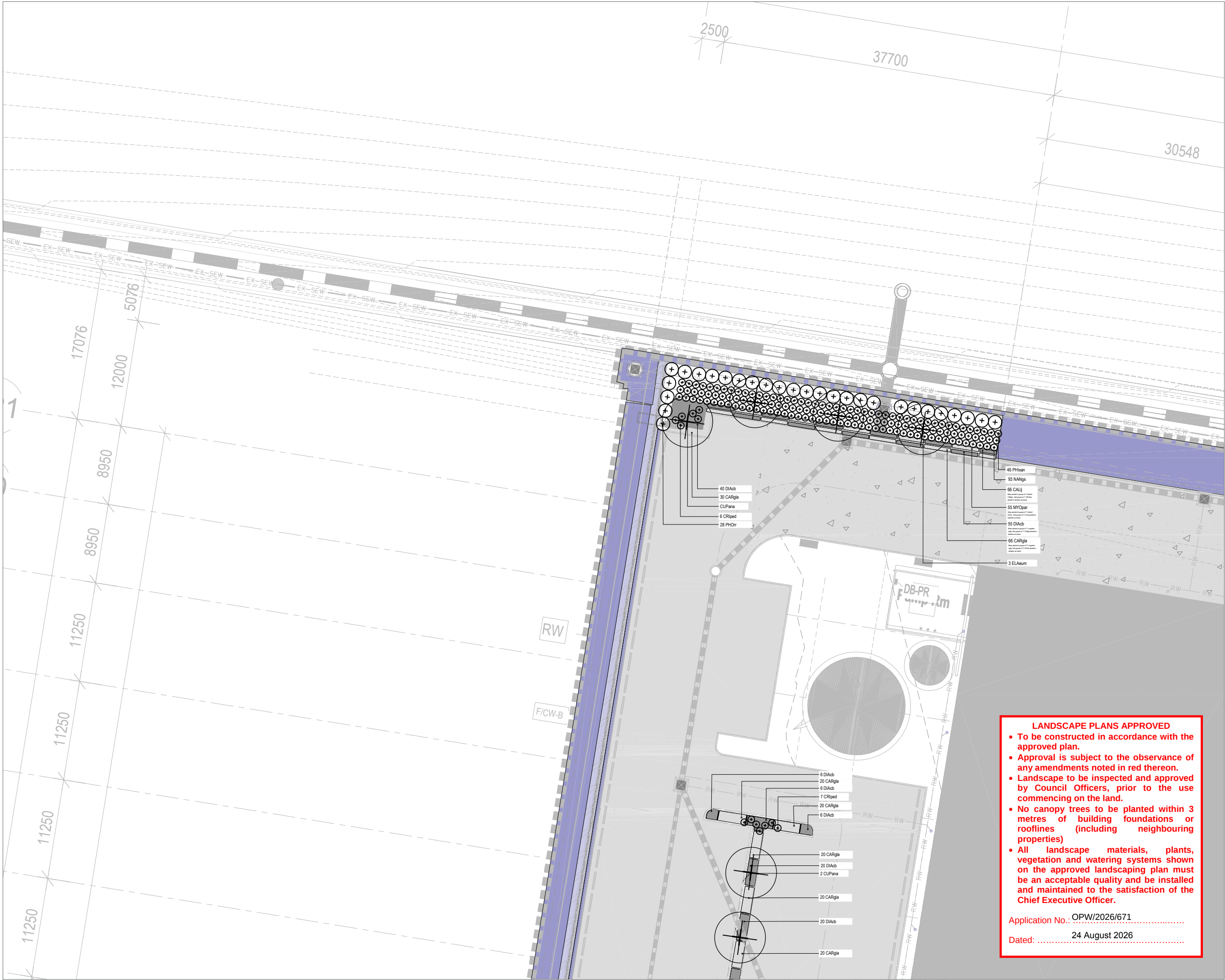
Checked: JLS

Approved: MG

Date: 22.04.26

Drawing No: C-0408 - 04 L-PRI-PP02

Rev. No: T2



LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2026/671

Dated: 24 August 2026

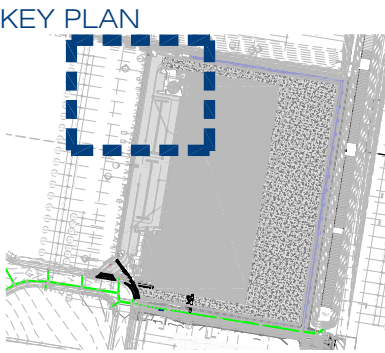
Client:
FPI Queensland PTY LTD

Project:
Modscape

Site Address:
10 Coastlink Court
Staplyton

**DRAWING TO BE READ IN CONJUNCTION WITH
GENERAL NOTES**

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.



- LEGEND**
- GROUND COVER / CASCADING SPECIES
 - SMALL SIZED SHRUBS
 - SCREENING SHRUB PLANTING
 - PROPOSED TREE

DRAWING TITLE
Landscape Operational Works
PLANTING PLAN

Issue	Date	Description	DRN	CHK
T2	22.04.26	FOR TENDER	JLS	MG
T1	23.03.26	FOR TENDER	JLS	MG

Scale:	
Designed:	JLS
Checked:	JLS
Approved:	MG
Date:	22.04.26

Drawing No: C-0408 - 04 L-PRI-PP03
Rev. No: T2