

DA Form 1 – Development application details

Approved form (version 1.0 effective 3 July 2017) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development**, use this form (*DA Form 1*) **and** parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Spaceframe Buildings Pty Ltd
Contact name <i>(only applicable for companies)</i>	C/- HCE Engineers
Postal address <i>(P.O. Box or street address)</i>	PO Box 7214
Suburb	Redland Bay
State	QLD
Postcode	4165
Country	Australia
Contact number	07 3829 1399
Email address <i>(non-mandatory)</i>	Vbennett@hce-engineers.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	8046

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
☐ Yes – the written consent of the owner(s) is attached to this development application ☒ No – proceed to 3)	



PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☐ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		84	Christensen Road South	Stapylton
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4207	334	SP 193431	Gold Coast
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		☐ WGS84 ☐ GDA94 ☐ Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application
☐ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer
 Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*
 Lot on plan description of strategic port land:
 Name of port authority for the lot:

☐ In a tidal area
 Name of local government for the tidal area (if applicable):
 Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*
 Name of airport:

☐ Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*
 EMR site identification:

☐ Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS**Section 1 – Aspects of development****6.1) Provide details about the first development aspect**a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Minor Civil works, Industrial Building

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspecta) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*

Associated Building works

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☐ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	☐ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☒ Yes – complete division 3
Building work	☐ Yes – complete DA Form 2 – Building work details

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

☐ Yes		
☐ No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision (complete 10))	☐ Dividing land into parts by agreement (complete 11))
☐ Boundary realignment (complete 12))	☐ Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

☐ Yes – provide additional details below
☐ No
How many stages will the works include?
What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?*(attach schedule if there are more than two easements)*

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work*Note: This division is only required to be completed if any part of the development application involves operational work.***14.1) What is the nature of the operational work?**

- | | | |
|--|-------------------------------------|--|
| ☐ Road work | ☐ Stormwater | ☐ Water infrastructure |
| ☐ Drainage work | ☐ Earthworks | ☐ Sewage infrastructure |
| ☐ Landscaping | ☐ Signage | ☐ Clearing vegetation |
| ☐ Other – please specify: Minor Civil works and Associated Building works | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)☐ Yes – specify number of new lots:☒ No**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

\$101,000.00

PART 4 – ASSESSMENT MANAGER DETAILS**15) Identify the assessment manager(s) who will be assessing this development application**

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16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS**17) Do any aspects of the proposed development require referral for any referral requirements?***Note: A development application will require referral if prescribed by the Planning Regulation 2017.*☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6Matters requiring referral to the **chief executive of the Planning Regulation 2017:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (unexploded ordnance)

☐ Environmentally relevant activities (ERA) <i>(only if the ERA have not been devolved to a local government)</i> ☐ Fisheries – aquaculture ☐ Fisheries – declared fish habitat area ☐ Fisheries – marine plants ☐ Fisheries – waterway barrier works ☐ Hazardous chemical facilities ☐ Queensland heritage place <i>(on or near a Queensland heritage place)</i> ☐ Infrastructure – designated premises ☐ Infrastructure – state transport infrastructure ☐ Infrastructure – state transport corridors and future state transport corridors ☐ Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels ☐ Infrastructure – state-controlled roads ☐ Land within Port of Brisbane's port limits ☐ SEQ development area ☐ SEQ regional landscape and rural production area or SEQ Rural living area – community activity ☐ SEQ regional landscape and rural production area or SEQ Rural living area – indoor recreation ☐ SEQ regional landscape and rural production area or SEQ Rural living area – residential development ☐ SEQ regional landscape and rural production area or SEQ Rural living area – urban activity ☐ Tidal works or works in a coastal management district ☐ Urban design ☐ Water-related development – taking or interfering with water ☐ Water-related development – removing quarry material <i>(from a watercourse or lake)</i> ☐ Water-related development – referable dams ☐ Water-related development – construction of new levees or modification of existing levees <i>(category 2 or 3 levees only)</i> ☐ Wetland protection area
Matters requiring referral to the local government:
☐ Airport land ☐ Environmentally relevant activities (ERA) <i>(only if the ERA have been devolved to local government)</i> ☐ Local heritage places
Matters requiring referral to the chief executive of the distribution entity or transmission entity:
☐ Electricity infrastructure
Matters requiring referral to: • The chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual ☐ Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
☐ Brisbane core port land
Matters requiring referral to the Minister under the Transport Infrastructure Act 1994:
☐ Brisbane core port land ☐ Strategic port land
Matters requiring referral to the relevant port operator:
☐ Brisbane core port land (below high-water mark and within port limits)
Matters requiring referral to the chief executive of the relevant port authority:
☐ Land within limits of another port
Matters requiring referral to the Gold Coast Waterways Authority:
☐ Tidal works, or development in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service:
☐ Tidal works, or development in a coastal management district

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable).

PART 6 – INFORMATION REQUEST**19) Information request under Part 3 of the DA Rules**

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS**20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)**

- ☒ Yes – provide details below or include details in a schedule to this development application
- ☐ No

List of approval/development application references	Reference number	Date	Assessment manager
☒ Approval ☐ Development application	PN307555/03/DA10 OPW201800001	01/03/2018	Antony Kocsmar
☐ Approval ☐ Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

23) Further legislative requirements**Environmentally relevant activities**

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form EM941) for an application for an environmental authority accompanies this development application, and details are provided in the table below

☒ No

Note: Application for an environmental authority can be found by searching “EM941” at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
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Proposed ERA name:	
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☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application

☒ No

Note: See www.justice.qld.gov.au for further information.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application is accompanied by written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: See www.qld.gov.au for further information.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

Note: See guidance materials at www.ehp.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, taking overland flow water or waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

Note: DA templates are available from www.dilqp.qld.gov.au.

23.7) Does this application involve **taking or interfering with artesian or sub artesian water, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water** under the *Water Act 2000*?

☐ Yes – I acknowledge that a relevant water authorisation under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources and Mines at www.dnrm.qld.gov.au for further information.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Natural Resources and Mines at www.dnrm.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Environment and Heritage Protection at www.ehp.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

Note: See guidance materials at www.dews.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district?**

☐ Yes – the following is included with this development application:

☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

☐ A certificate of title

☒ No

Note: See guidance materials at www.ehp.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.ehp.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel?**

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

☒ No**Decision under section 62 of the *Transport Infrastructure Act 1994*****23.15) Does this development application involve new or changed access to a state-controlled road?**☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)☒ No**PART 8 – CHECKLIST AND APPLICANT DECLARATION****24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☐ Yes**Note:** See the *Planning Regulation 2017* for referral requirementsIf building work is associated with the proposed development, Parts 4 to 6 of *Form 2 – Building work details* have been completed and attached to this development application☐ Yes☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21))

☐ Yes☒ Not applicable**25) Applicant declaration**☒ By making this development application, I declare that all information in this development application is true and correct☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001***Note:** It is unlawful to intentionally provide false or misleading information.**Privacy –** Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

The *Planning Act 2016*, the *Planning Regulation 2017* and the *DA Rules* are administered by the Department of Infrastructure, Local Government and Planning. This form and all other required development application materials should be sent to the assessment manager.

Request to make a change application

Economy, Planning & Environment
Planning Assessment
City Development

PO Box 5042 GOLD COAST MC QLD 9729

P: 07 5582 8866 F: 07 5596 3653

W: cityofgoldcoast.com.au

Please use **BLOCK LETTERS** and complete all details in full

Privacy statement

Council of the City of Gold Coast (Council) is collecting your personal information in order to provide the services requested, perform associated Council functions and services, and to update and maintain Council's customer information records. Your information is handled in accordance with the **Information Privacy Act (Qld) 2009** and may only be accessed by Councillors, Council employees and authorised contractors. Unless authorised or required by law, we will not provide your personal information to any other person or agency. For further information go to <http://www.cityofgoldcoast.com.au/privacy>.

Council may also use your personal information in order to contact you to provide you with information regarding Council functions and services. If you do not wish to receive such information please opt out using the unsubscribe link in the communication material sent to you.

Request type (Please select)

Minor change to the development approval (<i>Planning Act 2016</i>)	
Minor change to the conditions imposed by Council as referral agency in relation to building work	
Other changes	X
A pre-request response notice	

Applicant details

Name	David Elms C/o Spaceframe Buildings Pty Ltd & HCE Engineers		
Postal address	PO Box 452		
	Morningside, 4170		
Primary phone	07 3890 9500	Alternative phone	
Facsimile	07 3890 9533	Email	approvals@spaceframe.com

Property details

Lot number	334	Registered plan number	SP 193431
Property address	84 CHRISTENSEN ROAD SOUTH		
Existing approval number	OPW201800001		
Date of approval	28.02.18		
The City's reference file number			

Details of existing approval (Please select)

Development permit		Environmentally relevant activity		Material change of use	
Operational works	Y	Preliminary approval		Reconfiguration of lot	

Fees

The fees for this application can be found on the last page of this form.

These fees are in accordance with Council's regulatory fees and non-regulatory charges in place at time of lodgement. A copy of the Council's regulatory fees and non-regulatory charges can be found on the website cityofgoldcoast.com.au

Payment Options

Business partner account (BP)	
Business partner name	Business partner number 4005841
Cash, cheque or credit card at any of Council's branch offices. For branch office locations and operating hours, please refer to Council's website.	
Please be advised that payment by credit card will incur a surcharge.	
Cheque or money order may be posted to Council's post office box address as above. Please ensure that you provide adequate reference details or attachments to allow the cheque to be appropriately receipted.	

Office use only

Date received		Fee paid	
Received by		Receipt number	
Business partner name		Account number	
Business partner number		AMS code	(if applicable)

Details of the request

Condition number	
Description of requested change to condition	
Justification for change	

Condition number	
Description of requested change to condition	
Justification for change	
<i>(Please provide reasoning)</i>	

Condition number	
Description of requested change to condition	
Justification for change	
<i>(Please provide reasoning)</i>	

Condition number	
Description of requested change to condition	
Justification for change	
<i>(Please provide reasoning)</i>	

Details of the request

Please provide any relevant history of the application
<i>One site conditions have required the stormwater to be lowered greater than the tolerances allowable.</i>
<i>The methodology of the sewer construction has also changed from trenching to a part trench par bore methodology.</i>

Resource owners agreement

If an application for the existing approval was being lodged now, would evidence be required to support the application because it involved taking or interfering with State-owned resource? (refer to *Planning Act 2016*)

If yes – the written agreement of the chief executive from whom evidence would need to be obtained under the *Planning Act 2016* must be attached

Yes

X

No

Referral agencies

Were there one or more referral agencies involved in the original approval?

Yes

X

No

If Yes

Referral Agencies

(Use a separate row for each agency)

Has the applicant sent a copy of the request to the referral agency?

Yes – please attach evidence of referral

Yes

X

No

Details are pre-request response notice

Has a pre-request response notice been issued from a referral agency in relation to this application in accordance with the *Planning Act 2016*

Yes

X

No

If Yes

Details of pre-request response notice

Date of Notice

Attachments and information

What attachments and supporting information accompanies this application?

Description of the attachment or information (e.g. *Notice to referral agencies, declaration re owners consent, specialist reports*)

Civil Engineering Drawings

Da Form 1

Form 570

Part E – Development Infrastructure

Is there any development infrastructure (refer to Chapter 4 of the *Planning Act 2016*) proposed?

X

Yes

No

Is the subject site inside the **Priority Infrastructure Area** refer to Council's Local Government Infrastructure Plan (LGIP) cityofgoldcoast.com.au

Yes

X

No

Is the proposed trunk infrastructure identified as trunk infrastructure in the LGIP (under the *Planning Act 2016*)?

Yes

X

No

If the proposed infrastructure is in the LGIP please identify the development infrastructure type and relevant LGIP infrastructure map:

Is the new and/or upgraded development infrastructure not identified within the LGIP but proposed as trunk infrastructure?

Yes

X

No

Identify which type/s of new and/or upgraded trunk infrastructure is proposed:

Water

Sewerage

Transport

Stormwater

Recreation/Park
Facilities

Provide a description of the proposed trunk infrastructure (and provide any available plans):

Is there an existing Infrastructure Agreement/or similar agreement related to the land subject to this

Yes

X

No

CITY OF
GOLDCOAST.

application?

If yes, provide comments:

Specialist Reports

Where relevant to the provision of new or the upgrading of trunk or proposed trunk infrastructure, this request must ensure the following is clearly identified:

- the type of Infrastructure proposed (that is necessary trunk, additional trunk, and/or non-trunk proposed to become trunk infrastructure) and whether it is included in Gold Coast City Council's Local Government Infrastructure Plan

Yes X No

- an estimate of the establishment costs to deliver the infrastructure calculated in accordance with Statutory Guideline 03/14 Local Government Infrastructure Plan and Gold Coast City Council's Local Government Infrastructure Plan

Yes X No

Owners consent

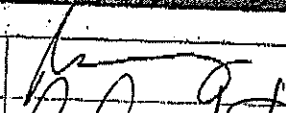
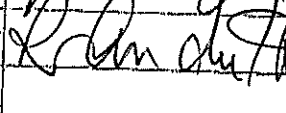
Name of all owner/s of the land

Burnside Developments Pty Ltd

Yellowstone Investments Pty Ltd

Declaration

I/ We, the owner/s of the land, consent to the making of this request

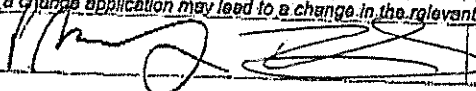
Name	Paul Anthony McAsay	Signature		Date	11/06/2018
Name	RENATO ANDREATTA	Signature		Date	14/6/2018
Name		Signature		Date	
Name		Signature		Date	

Applicants declaration

By making this request I declare that:

- The information provided in this form is complete and correct.
- I have read the privacy notice

Please Note: A request to make a change application may lead to a change in the relevant infrastructure charges.

Signature  Date 14/06/2018 14/06/18

Notes

- Applications can be lodged at a Customer Service Centre or mailed to Council, accompanied by a cheque.
- Lodge applications via email DART@goldcoast.qld.gov.au

Customer Service Centres where you may choose to lodge your application

City of Gold Coast Customer Service Centres are open from 8.15am to 4.30pm, Monday to Friday

Broadbeach office - 81 Sunshine Boulevard, Mermak Waters

Bundall - 8-10 Karp Court, Bundall

Burleigh Heads office - Park Avenue, Burleigh Heads

Coolangatta office - Showcase on the Beach, Griffith Street Coolangatta

Helensvale office - Corner Lindfield Road and Sir John Overall Drive, Helensvale

Nerang - 833 Southport Nerang Road, Nerang

Palm Beach office - 28 Eleventh Avenue, Palm Beach

Southport office - 47 Nerang Street, Southport

Upper Coomera office - 90 Reserve Road (corner Reserve and Abraham Roads), Upper Coomera

Fees

Fee name	[√] please tick applicable fee(s)	Account number	Amount
Material Change of Use and Reconfiguration of a Lot applications			
	Request to change development application – minor change (as defined <i>Schedule 2, Planning Act 2016</i>)	RC 99096	\$623.00
	Minor change to the conditions imposed by Council as referral agency in relation to building work (referral agency assessment for amended siting variations)	RC 98958	Fee amount is 50% of current variation - sitings fee (\$573.00)
	Request for other changes	RC 99096	POA
	Request to change development approval, includes pre-request response notice	RC 99096	Fee amount is 20% of current application fee (up to a maximum of \$14,584.00).
	Request to make a change - minor change - Change that affects up to three contiguous lots within a ROL approval - Change to conditions based on plan references - Amendment to a building envelope (up to three lots)	RC 99096	\$1,003.00
Operational Works Application			
√	Request to change approved operational works civil engineering drawings	RC 99098	20% of current operational works application fee (up to a maximum of \$886.00).
	Request to change approved operational works associated building works	RC 99098	
	Request to change approved operational works change to ground level	RC 99098	
	Amendment to approved Landscaping plan (Includes request to change development approval); Request to change/cancel conditions	RC 99101	20% of current landscaping application fee
	Request to change operational works prescribed tidal works	RC 96655	20% of current fee (up to a maximum of \$844.00).
	Request to change operational works vehicular crossing or driveway	RC 98117	\$159.00

ARCO & AODELI

LOT 334 ON SP 193431

84 CHRISTENSEN ROAD SOUTH

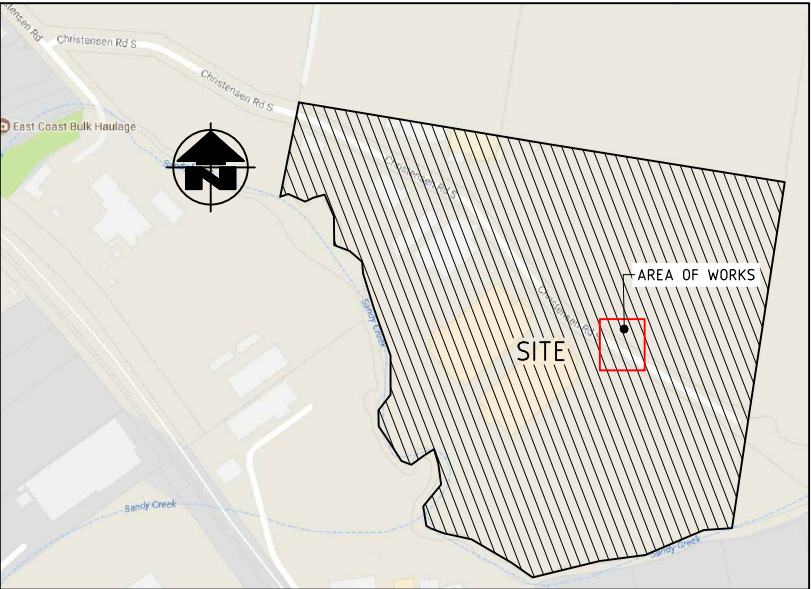
STAPYLTON, QUEENSLAND 4207

DRAWING INDEX

DRAWING No.	DESCRIPTION
8046-C01	LOCALITY PLAN, DRAWING INDEX AND GENERAL NOTES
8046-SW01	STORMWATER LAYOUT PLAN, NOTES AND LONGITUDINAL SECTION
8046-S01	SEWERAGE RETICULATION LAYOUT PLAN AND NOTES
8046-S02	SEWERAGE RETICULATION LONGITUDINAL SECTION
8046-W01	WATER RETICULATION LAYOUT PLAN AND DETAILS
GCCC-02-602	ROAD CROSSING TRENCH RESTORATION FLEXIBLE PAVEMENTS

GENERAL NOTES

- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- TOPSOIL IS TO BE STRIPPED AND REPLACED ON ALL DISTURBED EARTHWORKS AREAS WITHIN FOOTPATH AREA.
- ALL TEMPORARY AND PERMANENT SIGNAGE AND LINEMARKING TO BE IN ACCORDANCE WITH MAIN ROADS STANDARDS (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES).
- ALL DIMENSIONS ARE TO BE CHECKED ON-SITE BEFORE WORK COMMENCES.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING.
- DURING CONSTRUCTION BARRIERS, LIGHTS & SIGNS SHALL BE MAINTAINED TO ENSURE SAFE PASSAGE OF TRAFFIC AND PEDESTRIANS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH S.A.A. CODES & BY-LAWS AND ORDINANCES OF THE RELEVANT LOCAL AUTHORITY AND WORKPLACE HEALTH AND SAFETY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL RELEVANT AUTHORITIES AND PAYING ALL FEES NECESSARY BEFORE COMMENCING WORK, FOR LOCATING ALL EXISTING SERVICES AND FOR REPAIR OF ANY SERVICES DAMAGED AS A RESULT OF THE WORKS.
- THE CLIENTS SURVEYOR SHALL PEG PIT LOCATION AND STAKE R.P. BOUNDARIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL INVERT LEVELS, SURFACE LEVELS, COVER OVER DRAINAGE LINES, AND MINIMUM FALLS ARE CORRECT & OBTAINABLE PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR'S ATTENTION IS DRAWN TO THE REQUIREMENTS OF THE WORKPLACE HEALTH AND SAFETY ACT 1995. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THIS ACT AND IN PARTICULAR THE CONTRACTOR IS TO ENSURE THE REQUIREMENTS OF THIS SPECIFICATION WITH REGARD TO 'NOTIFICATION IN RELATION TO A NOTIFIABLE PROJECT', ARE FORFILLED.
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOULD COAST CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY BENCH MARK LEVELS AND ADVISE THE SUPERINTENDENT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING SERVICES AND STRUCTURES ARE TO BE MAINTAINED IN GOOD ORDER FOR THE DURATION OF THE CONTRACT. ANY COST ASSOCIATED WITH REPAIRING DAMAGE TO EXISTING SERVICES SHALL BE PAID FOR BY THE CONTRACTOR.



LOCALITY PLAN
SCALE 1:5000

SCALE 1:5000 (A1)



DO NOT SCALE. CONFIRM ALL DIMENSIONS ON SITE.		
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ISSUE	AMENDMENT	DATE
A	ISSUED FOR COMMENT	15.12.17
B	ISSUED FOR COUNCIL APPROVAL	18.12.17
C	RE ISSUED FOR COUNCIL APPROVAL	13.02.18
D	RE ISSUED FOR COUNCIL APPROVAL	23.03.18
0	ISSUED FOR CONSTRUCTION	18.04.18
1	RE ISSUED FOR COUNCIL APPROVAL	12.06.18

REAL PROPERTY DESCRIPTION
LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD
SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS
PTY LTD

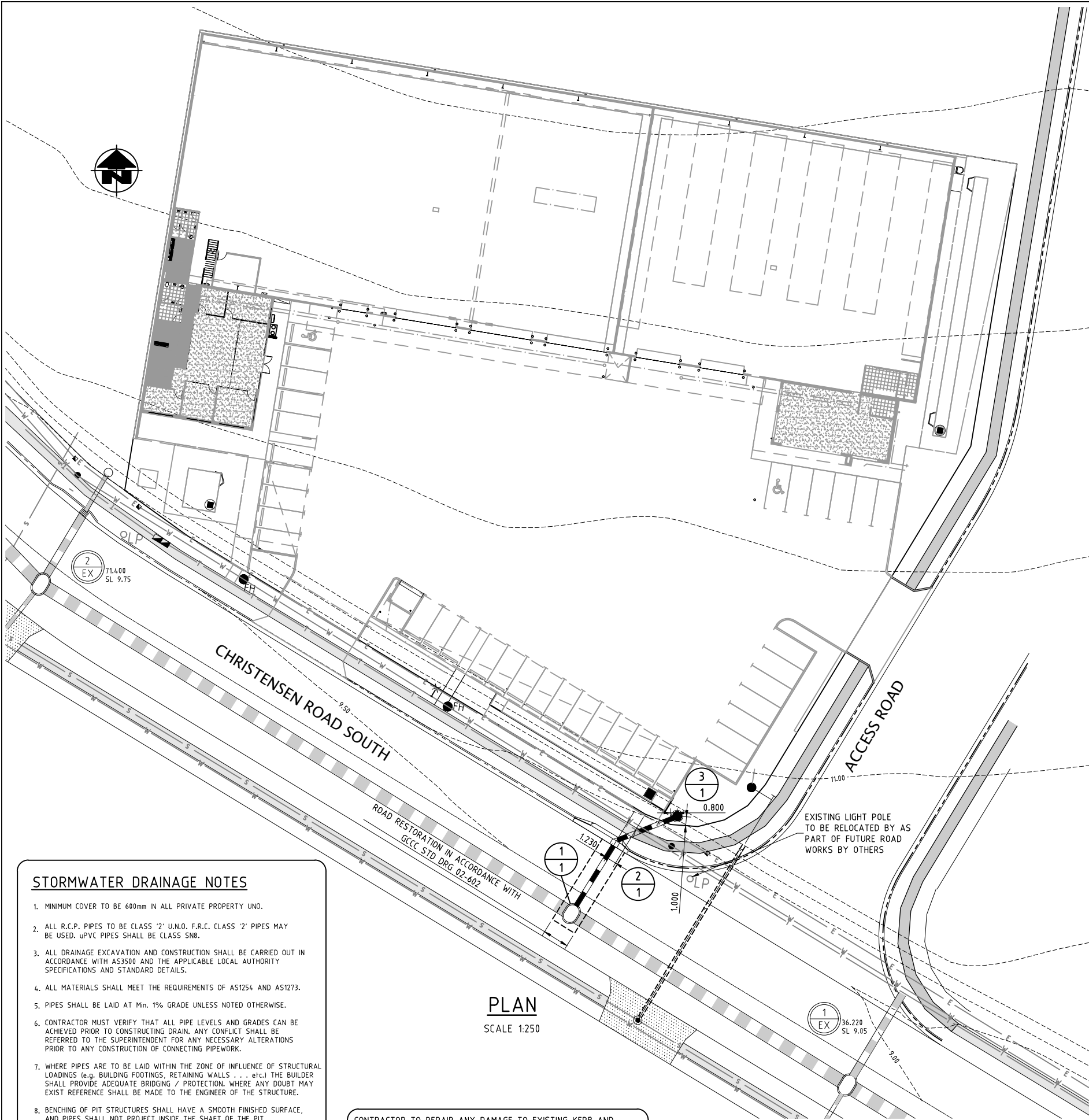
TITLE
LOCALITY PLAN, DRAWING
INDEX AND GENERAL NOTES



HCE Engineers
Hydraulic • CIVIL • Environmental

P.O. Box 7214, Phone: (07) 3829 1399
Redland Bay, mail@hce-engineers.com.au
QLD, 4165 6 Marine Street, Redland Bay

Designed MN	Drawn MN	Date 14.12.17
Approved <i>[Signature]</i>	Scale AS SHOWN	
Drawing No. 8046-C01		Rev. 1



STORMWATER DRAINAGE NOTES

1. MINIMUM COVER TO BE 600mm IN ALL PRIVATE PROPERTY UNO.
2. ALL R.C.P. PIPES TO BE CLASS '2' U.N.O. F.R.C. CLASS '2' PIPES MAY BE USED. uPVC PIPES SHALL BE CLASS SN8.
3. ALL DRAINAGE EXCAVATION AND CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3500 AND THE APPLICABLE LOCAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS.
4. ALL MATERIALS SHALL MEET THE REQUIREMENTS OF AS1254 AND AS1273.
5. PIPES SHALL BE LAID AT Min. 1% GRADE UNLESS NOTED OTHERWISE.
6. CONTRACTOR MUST VERIFY THAT ALL PIPE LEVELS AND GRADES CAN BE ACHIEVED PRIOR TO CONSTRUCTING DRAIN. ANY CONFLICT SHALL BE REFERRED TO THE SUPERINTENDENT FOR ANY NECESSARY ALTERATIONS PRIOR TO ANY CONSTRUCTION OF CONNECTING PIPEWORK.
7. WHERE PIPES ARE TO BE LAID WITHIN THE ZONE OF INFLUENCE OF STRUCTURAL LOADINGS (e.g. BUILDING FOOTINGS, RETAINING WALLS . . . etc.) THE BUILDER SHALL PROVIDE ADEQUATE BRIDGING / PROTECTION. WHERE ANY DOUBT MAY EXIST REFERENCE SHALL BE MADE TO THE ENGINEER OF THE STRUCTURE.
8. BENCHING OF PIT STRUCTURES SHALL HAVE A SMOOTH FINISHED SURFACE, AND PIPES SHALL NOT PROJECT INSIDE THE SHAFT OF THE PIT.

CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING KERB AND CHANNEL OR ROADWAY. (INCLUDING THE REMOVAL OF CONCRETE SLURRY FROM FOOTWAYS, ROADS, KERB & CHANNEL, STORMWATER GULLIES AND DRAINLINES)

CONTRACTOR TO OBTAIN A PERMIT FROM THE ENGINEERING DELEGATE, DEVELOPMENT AND REGULATORY SERVICES TO CARRY OUT ANY WORKS WITHIN THE ROAD RESERVE

THIS DESIGN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING TO VERIFY THE DESIGN.

STRUCTURE No.

STRUCTURE NAME

NOTE:
DEPTH OF SERVICES TO BE CONFIRMED PRIOR TO LAYING PIPE IN ROAD. IF THE DEPTH OF SERVICES VARY FROM THE DRAWING THEN HCE ENGINEERS ARE TO BE INFORMED TO PROVIDE ADVICE REGARDING A N A M E N D E D D E S I G N

EXISTING 2x150Ø TELSTRA CONDUIT
TOP OF CONDUIT RL 8.860

EXISTING 150Ø WATER MAIN
TOP OF PIPE 8.500

EXISTING 6x100Ø
ELECTRICAL CONDUITS TOP
OF CONDUITS RL 8.130

FUTURE SURFACE (APPROX) TAKEN FROM
CIVIL DESIGN AT TIME OF STORMWATER
DESIGN SUBJECT TO CHANGE

3
1

2
1

1
1

1050Ø MANHOLE WITH CLASS B
LID IN ACCORDANCE WITH GCCC
STD DRG 05-03-101

LIP IN LINE STORMWATER GULLY WITH 'M
LINTEL' AND MANHOLE BELOW IN
ACCORDANCE WITH TMR STD DRG 1321

1500Ø MANHOLE EXTENDED 900 WITH
CLASS D LID IN ACCORDANCE WITH GCCC
STD DRG 05-03-101 AND 05-03-103

0.130
CLEAR APPROX

0.700
CLEAR APPROX

1.070
CLEAR APPROX

EXISTING 1350Ø

PRIVATE PROPERTY

DATUM

LOCATION

DIAMETER

GRADE

LENGTH

5.000	
ROAD	RESERVE
4.50Ø	RCP (2)
1in200	1in200
8.170	9.130

DEPTH BELOW F.S.L.	2.440	2.000	2.180	2.200
INVERT LEVEL	7.260	7.230	7.160	7.140
FINISHED SURFACE LEVEL	9.700	9.230	9.340	
EXISTING SURFACE LEVEL	10.500	9.230	9.340	
PEGGED DISTANCE	0.000	8.170	17.300	

LINE No.

1

LONGITUDINAL SECTION

SCALES 1:500 (HORIZONTAL)
1:50 (VERTICAL)

SCALE 1:50 (A1)

0 1 2 3m
(SCALE BEFORE REDUCTION)

SCALE 1:250 (A1)

0 5 10 15m
(SCALE BEFORE REDUCTION)

SCALE 1:500 (A1)

0 10 20 30m
(SCALE BEFORE REDUCTION)

DO NOT SCALE.
CONFIRM ALL DIMENSIONS ON SITE.

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ISSUE	AMENDMENT	DATE
A	ISSUED FOR COMMENT	13.12.17
B	ISSUED FOR COUNCIL APPROVAL	18.12.17
C	RE ISSUED FOR COUNCIL APPROVAL	13.02.18
D	RE ISSUED FOR COUNCIL APPROVAL	23.03.18
0	ISSUED FOR CONSTRUCTION	18.04.18
1	STORMWATER LONGITUDINAL SECTION AMENDED	12.06.18

LEGEND

- 10.0--- EXISTING SURFACE CONTOURS
- EXISTING STORMWATER DRAINAGE
- PROPOSED STORMWATER DRAIN
- PROPOSED DRAINAGE STRUCTURE
- EXISTING DRAINAGE STRUCTURE
- EXISTING SEWERAGE
- PROPOSED SEWERAGE
- EXISTING TELECOMMUNICATIONS
- EXISTING WATER RETICULATION
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING ELECTRICAL PILLAR
- PROPOSED WATER METER
- EXISTING FOOTPATH
- FUTURE FOOTPATH
- EXISTING CROSSEOVER

REAL PROPERTY DESCRIPTION

LOT 334 ON SP 193431

PROJECT

84 CHRISTENSEN ROAD
SOUTH, STAPYLTON

CLIENT

SPACEFRAME BUILDINGS
PTY LTD

TITLE

STORMWATER LAYOUT
PLAN, NOTES AND
LONGITUDINAL SECTION



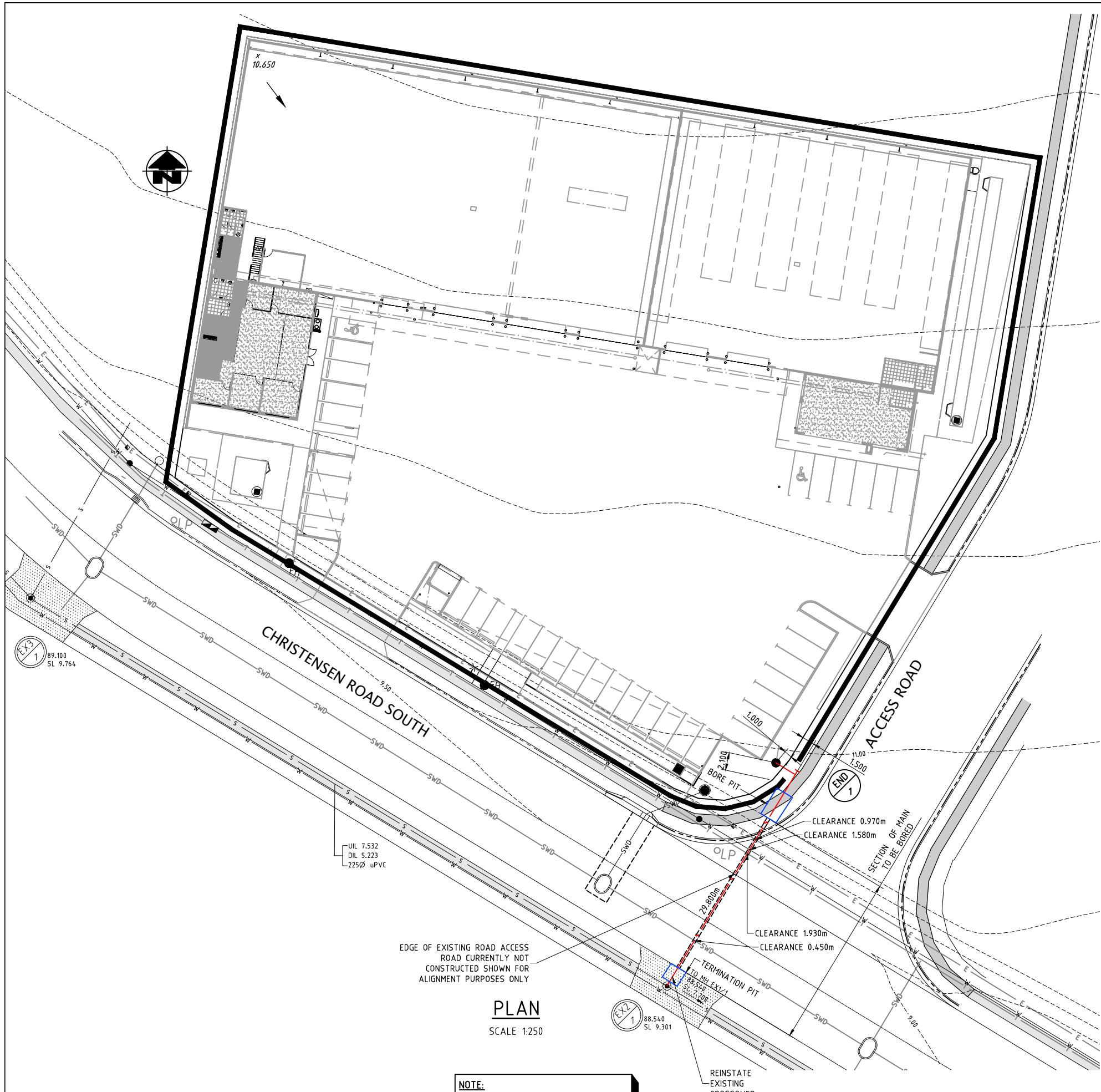
HCE Engineers

Hydraulic • CIVIL • Environmental

P.O. Box 7214,
Redland Bay,
QLD, 4165

Phone: (07) 3829 1399
mail@hce-engineers.com.au
6 Marine Street, Redland Bay

Designed MN	Drawn MN	Date 13.12.17
Approved <i>[Signature]</i>	Scale AS SHOWN	Rev. 1
Drawing No. 8046-SW01		



THIS DESIGN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING TO VERIFY THE DESIGN.

NOTE:
CONTRACTOR TO REINSTATE EXISTING CROSSOVER UPON COMPLETION OF SEWER WORKS IF DAMAGED BY CIVIL WORKS

SEWER NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SEQ WATER SUPPLY AND SEWERAGE DESIGN AND CONSTRUCTION CODE (SEQ WS&S D&C) STANDARDS AND ADDITIONAL GCCC REQUIREMENTS.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- THE CONSTRUCTION OF THE SEWERAGE WORK SHOWN ON THIS DRAWING SHALL BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. SEWERAGE WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO COUNCIL'S SEWERAGE SYSTEM.
- ALL WORK ASSOCIATED WITH LIVE SEWERS OR MAINTENANCE HOLES SHALL BE CARRIED OUT BY THE DEVELOPER'S APPROVED CONTRACTOR UNDER THE SUPERVISION OF GOLD COAST CITY COUNCIL AT THE DEVELOPER'S EXPENSE.
- ALL PIPES AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE "ACCEPTED PRODUCTS AND MATERIALS LIST".
- EACH ALLOTMENT SHALL BE SERVED BY A 100Ø PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A 150Ø PROPERTY CONNECTION SHALL BE PROVIDED. A MAXIMUM OF 2 RESIDENTIAL PREMISES IS ALLOWED ON A 100Ø. PROPERTY CONNECTION SEWER DETAILS SHALL COMPLY WITH THE DETAILS GIVEN IN THE SEQ WS&S D&C STANDARD DRAWINGS - SEWERAGE SEQ-SEW-1106-1 TO 1106-7.
- PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 500mm AND A MAXIMUM OF 1000mm.
- PROPERTY CONNECTIONS SHALL BE LOCATED A MINIMUM OF 500mm FROM THE PROPERTY BOUNDARY WHERE POSSIBLE.
- WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300mm (LOOSE) IN DEPTH AND SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH AS 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATIVE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY THE COUNCIL UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED. PVC SEWERS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS FOR NON-PRESSURE PIPELINES SPECIFIED IN WSA-02.
- WHERE SEWERS HAVE A GRADE OF 1 IN 20 OR STEEPER, BULKHEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CL.8.10, 17.5 AND 17.6 OF THE SEQ WS&S D&C CODE AMENDMENTS TO WSA-02.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING SERVICES WITH RELEVANT AUTHORITIES BEFORE COMMENCING WORKS.
- SEWERS SHALL BE DISUSED/ABANDONED IN ACCORDANCE WITH PROCEDURES SET OUT IN CL.4.2.6 OF THE SEQ WS&S D&C CODE AMENDMENTS TO WSA 02.
- PROPERTY CONNECTION MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWING No. SEQ-SEW-1106-2 ON ALL PROPERTY CONNECTIONS, EXCEPT WHERE THE PROPERTY CONNECTION IS PROVIDED FROM A MAINTENANCE HOLE OR PRIVATE DRAINAGE IS CONNECTED TO THE PROPERTY CONNECTION AS PART OF THE WORKS.
- ALL PVC PIPES AND CONNECTIONS TO BE INSTALLED BY AN ACCREDITED CONTRACTOR.
- ALL LEVELS TO A.H.D.
- EMBEDMENT AND TRENCHING IN ACCORDANCE WITH (SEQ WS&S D&C) STD DRG SEQ-SEW-1200-2.
- BEDDING - SPECIAL BEDDING SHALL BE SPECIFIED IF THE TRENCH FLOOR HAS:
 - IRREGULAR OUTCROPS OF ROCK
 - AHBP OF <50kPa (SEE SEQ-WAT-1200-01) OR,
 - UNCONTROLLED GROUND WATER HAS DISTURBED THE FLOOR OF THE TRENCH
- EMBEDMENT, TRENCH FILL AND COMPACTION TO MEET THE REQUIREMENTS OF WSA-02 PART 3 AND THE RELEVANT SEQ-SP
- SIDES OF EXCAVATION TO BE KEPT VERTICAL TO AT LEAST 150mm ABOVE THE PIPE
- DESIGNER TO CHECK ON RELEVANT AUTHORITIES' REQUIREMENTS ADDITIONAL INFORMATION PROVIDED IN SEQ-SEW-1200 SERIES.

NAME OF ESTATE	84 CHRISTENSEN ROAD SOUTH STAPYLTON	
SUBDIVIDER	SPACEFRAME BUILDINGS PTY LTD	
APPLICATION NO.		
SP DELEGATE	GOLD COAST CITY COUNCIL	
APPROVAL DATE		
DRAWING/PLAN NO.		
No. OF ALLOTS.	1	
AREA IN ha.	0.6293	
LENGTH OF SEWER	100Ø	
	150Ø	32.700
	225Ø	
REFERENCE		

SCALE 1:250 (A1)
(SCALE BEFORE REDUCTION)

SCALE 1:2500 (A1)
(SCALE BEFORE REDUCTION)

DO NOT SCALE.
CONFIRM ALL DIMENSIONS ON SITE.

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A	ISSUED FOR COMMENT	13.12.17
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C	RE ISSUED FOR COUNCIL APPROVAL	13.02.18
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0	ISSUED FOR CONSTRUCTION	18.04.18
1	RE ISSUED FOR COUNCIL APPROVAL	12.06.18

LEGEND

- S—●— EXISTING SEWERAGE RETICULATION
- S—●— PROPOSED SEWERAGE RETICULATION
- S—●— PROPOSED PROPERTY CONNECTION
- 35--- EXISTING SURFACE CONTOURS
- 1/1 PROPOSED SEWERAGE STRUCTURE
- 1/1 EXISTING SEWERAGE STRUCTURE
- SWD— PROPOSED STORMWATER DRAINAGE
- SWD— EXISTING STORMWATER DRAINAGE
- T— EXISTING TELECOMMUNICATIONS
- W— EXISTING WATER RETICULATION
- E— EXISTING UNDERGROUND ELECTRICAL
- 39.72 x ALLOTMENT CONTROL POINT (NOT FOR CONSTRUCTION PURPOSES)
- LOTS TO BE SEWERED
- EXISTING FOOTPATH
- FUTURE FOOTPATH
- EXISTING CROSSOVER

REAL PROPERTY DESCRIPTION

LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS PTY LTD

TITLE
SEWERAGE RETICULATION LAYOUT PLAN AND NOTES

HCE Engineers
Hydraulic • CIVIL • Environmental

P.O. Box 7214, Redland Bay, QLD, 4165
Phone: (07) 3829 1399
mail@hce-engineers.com.au
6 Marine Street, Redland Bay

Designed	MN	Drawn	MN	Date	13.12.17
Approved		Scale	AS SHOWN	Rev.	
Drawing No.	8046-S01				1

DEPTH OF SERVICES TO BE CONFIRMED PRIOR TO LAYING PIPE IN ROAD. IF THE DEPTH OF SERVICES VARY FROM THE DRAWING THEN HCE ENGINEERS ARE TO BE INFORMED TO PROVIDE ADVICE REGARDING AN AMENDED DESIGN



STRUCTURE TYPE & (DROP)
COVER TYPE
BRANCH LINE No.
BRANCH LINE DROP TYPES
HOUSE CONNECTION TYPE
HOUSE CONNECTION LOT NO

DATUM	4.000	ANNULUS
LOCATION		ROAD RESERVE
DIAMETER/CLASS		150Ø uPVC SN8
GRADE		1in60.00
LENGTH	2.370	20.750 6.680
EMBEDMENT	TYPE 3	GROUT FILLED ANNULUS TYPE 3

SCALES 1:500 (HORIZONTAL)
1:50 (VERTICAL)

IT IS THE DEVELOPERS RESPONSIBILITY TO ENSURE ALL LIVE SEWER WORKS ARE COMPLETE BEFORE ALLOWING PRIVATE DRAINAGE TO BE CONNECTED

- THE DESIGN AND CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.

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1	RE ISSUED FOR COUNCIL APPROVAL	12.06.18

REAL PROPERTY DESCRIPTION
LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD
SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS
PTY LTD

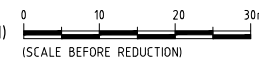
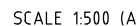
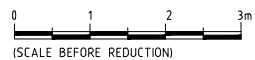
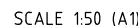
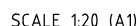
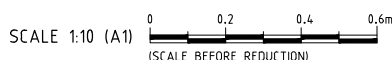
TITLE
SEWERAGE RETICULATION
LONGITUDINAL SECTION

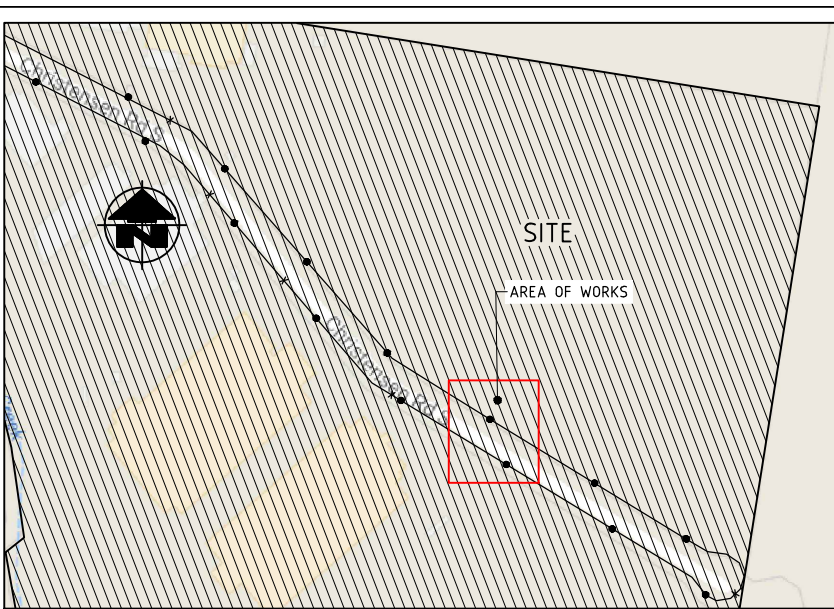
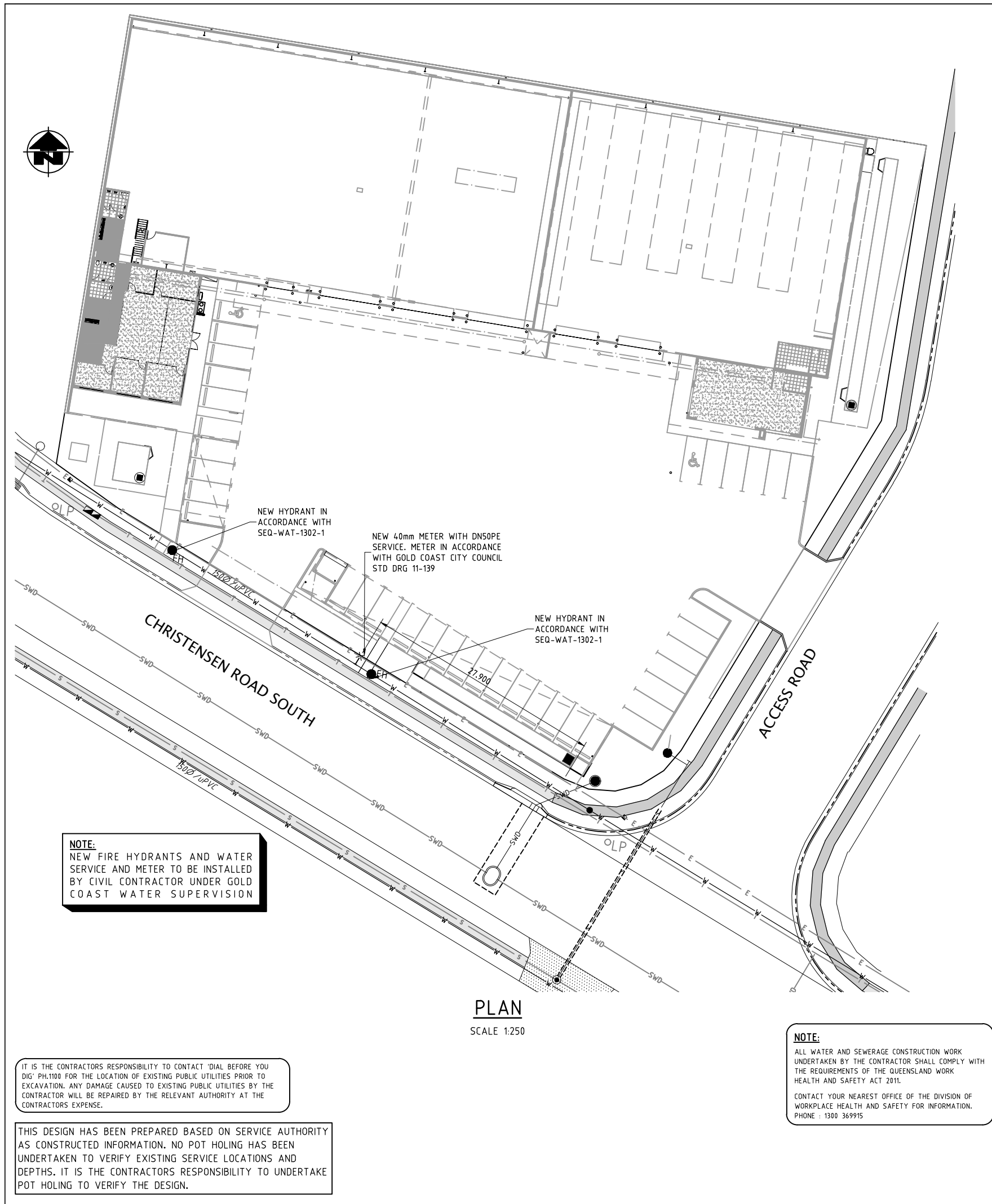


Hydraulic • Civil • Environmental

P.O. Box 7214, Redland Bay, QLD, 4165
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6 Marine Street, Redland Bay

Designed MN	Drawn MN	Date 13.12.17
Approved <i>Jan Renshaw</i>		Scale AS SHOWN
Drawing No.		Rev.





NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT GCCC SPECIFICATIONS AND STANDARDS.
- UNLESS SPECIFIED OTHERWISE, ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- ADOPT TOP OF KERB AS PERMANENT LEVEL.
- COVER ON MAINS FROM PERMANENT LEVEL TO BE AS FOLLOWS U.N.O.
100 & 150Ø(DN63, 125 & 180 FOR PE100) - 600mm
200, 250 & 300Ø (DN250, 315 & 355 FOR PE100)-1000mm
- CONDUITS TO BE INSTALLED IN ACCORDANCE WITH GCCC SPECIFICATIONS.
- A WATER METER, SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH STD DRG. No. 08-06-108.
- U.P.V.C. PIPES SHALL BE SERIES 2 CLASS 16 AND COMPLY WITH A.S.1477. MPVC PIPES SHALL BE SERIES 2 CLASS 16 AND COMPLY WITH A.S.4765. FITTINGS SHALL BE CEMENT LINED GREY IRON IN ACCORDANCE WITH A.S.2544; OR DUCTILE IRON CEMENT LINED (DCL) IN ACCORDANCE WITH A.S.2280. DCL PIPES & FITTINGS SHALL BE PN16 OR PN35 AND COMPLY WITH A.S.2280. PIPES & FITTINGS SHALL BE POLYETHYLENE SLEEVED. MILD STEEL (MSCL) PIPES TO COMPLY WITH A.S.1579 AND BE CEMENT LINED IN ACCORDANCE WITH A.S.1281. PIPE COATING TO COMPLY WITH A.S.4321 (SINTAKOTE III). POLYETHYLENE PIPES OF 63 OD SHALL BE CLASS PN16 PE80B AND COMPLY WITH A.S.4130. FITTINGS SHALL COMPLY WITH A.S.1460.
- ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAIN ALLOCATION.
- TEST/CHLORINATION POINTS TO BE INSTALLED IN ACCORDANCE WITH GCCC STANDARDS
- CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN ON THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPED REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO GCCC'S RETICULATION SYSTEM.
- ALL DISTURBED AREAS TO BE TOPSOILED AND TURFED.
- PROPOSED AND EXISTING WATER METER BOXES TO BE CLEANED OF DIRT AND DEBRIS PRIOR TO PLAN SEALING.
- ALL LIVE CONNECTIONS SHALL BE UNDERTAKEN BY DEVELOPER/APPROVED CONTRACTOR UNDER GOLD COAST WATER SUPERVISION AT THE DEVELOPERS EXPENSE.

ENVIRONMENTAL NOTES:

NOTE: ALL ENVIRONMENTAL PROTECTION MEASURES SHOULD BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.

VEGETATION PROTECTION

- TREES LOCATED ALONG THE FOOTPATH SHALL BE, WHERE POSSIBLE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES WITH 1.8m BATTENS CLOSELY SPACED AND ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES MUST BE STRAPPED TO TREES PRIOR TO CONSTRUCTION AND REMAIN UNTIL COMPLETION.
- TREE ROOTS SHOULD BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHOULD BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT ARBORIST FOR FURTHER ADVICE.
- ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

SOIL

- TOPSOIL AND SUBSOIL SHOULD BE STOCKPILED SEPARATELY.
- CARE SHOULD BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND THE STOCKPILES.

CREEK CROSSINGS

- SILTATION CONTROL MEASURES SHOULD BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- APPROPRIATE SEDIMENT CONTROL MEASURES SHOULD BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- NO SOIL SHOULD BE STOCKPILED WITHIN 5m OF THE CREEK.

REHABILITATION

- PRE-DISTURBANCE SOIL PROFILES AND COMPACTION LEVELS ARE TO BE REINSTATED.
- PRE-DISTURBANCE VEGETATION PATTERNS SHOULD BE RESTORED.

SAFETY

- THE DESIGN AND CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.



ARCO & AODELI
LOT 334 ON SP 193431
84 CHRISTENSEN ROAD SOUTH
STAPYLTON, QUEENSLAND 4207

DRAWING INDEX

DRAWING No.	DESCRIPTION
8046-C01	LOCALITY PLAN, DRAWING INDEX AND GENERAL NOTES
8046-SW01	STORMWATER LAYOUT PLAN, NOTES AND LONGITUDINAL SECTION
8046-S01	SEWERAGE RETICULATION LAYOUT PLAN AND NOTES
8046-S02	SEWERAGE RETICULATION LONGITUDINAL SECTION
8046-W01	WATER RETICULATION LAYOUT PLAN AND DETAILS

GENERAL NOTES

1. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.

2. TOPSOIL IS TO BE STRIPPED AND REPLACED ON ALL DISTURBED EARTHWORKS AREAS WITHIN FOOTPATH AREA.

3. ALL TEMPORARY AND PERMANENT SIGNAGE AND LINEMARKING TO BE IN ACCORDANCE WITH MAIN ROADS STANDARDS (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES).

4. ALL DIMENSIONS ARE TO BE CHECKED ON-SITE BEFORE WORK COMMENCES.

5. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING.

6. DURING CONSTRUCTION BARRIERS, LIGHTS & SIGNS SHALL BE MAINTAINED TO ENSURE SAFE PASSAGE OF TRAFFIC AND PEDESTRIANS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.

7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH S.A.A. CODES & BY-LAWS AND ORDINANCES OF THE RELEVANT LOCAL AUTHORITY AND WORKPLACE HEALTH AND SAFETY REQUIREMENTS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL RELEVANT AUTHORITIES AND PAYING ALL FEES NECESSARY BEFORE COMMENCING WORK, FOR LOCATING ALL EXISTING SERVICES AND FOR REPAIR OF ANY SERVICES DAMAGED AS A RESULT OF THE WORKS.

9. THE CLIENTS SURVEYOR SHALL PEG PIT LOCATION AND STAKE R.P. BOUNDARIES PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO VERIFY ALL INVERT LEVELS, SURFACE LEVELS, COVER OVER DRAINAGE LINES, AND MINIMUM FALLS ARE CORRECT & OBTAINABLE PRIOR TO COMMENCEMENT OF WORK.

11. THE CONTRACTOR'S ATTENTION IS DRAWN TO THE REQUIREMENTS OF THE WORKPLACE HEALTH AND SAFETY ACT 1995. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THIS ACT AND IN PARTICULAR THE CONTRACTOR IS TO ENSURE THE REQUIREMENTS OF THIS SPECIFICATION WITH REGARD TO NOTIFICATION IN RELATION TO A NOTIFIABLE PROJECT, ARE FORFILLED.

12. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH CURRENT GOOLD COAST CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS.

13. CONTRACTOR SHALL VERIFY BENCH MARK LEVELS AND ADVISE THE SUPERINTENDENT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.

14. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING SERVICES AND STRUCTURES ARE TO BE MAINTAINED IN GOOD ORDER FOR THE DURATION OF THE CONTRACT. ANY COST ASSOCIATED WITH REPAIRING DAMAGE TO EXISTING SERVICES SHALL BE PAID FOR BY THE CONTRACTOR.



LOCALITY PLAN
SCALE 1:5000

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: OPW201800001

Dated: 28 February 2018

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

SCALE 1:5000 (A1)



DO NOT SCALE.
CONFIRM ALL DIMENSIONS ON SITE.

Copyright

ISSUE	AMENDMENT	DATE
A	ISSUED FOR COMMENT	15.12.17
B	ISSUED FOR COUNCIL APPROVAL	18.12.17
C	RE ISSUED FOR COUNCIL APPROVAL	13.02.18

REAL PROPERTY DESCRIPTION
LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD
SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS
PTY LTD
TITLE
LOCALITY PLAN, DRAWING
INDEX AND GENERAL NOTES



HCE Engineers

Hydraulic • CEM • Environmental

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QLD, 4165 6 Marine Street, Redland Bay

Designed MN	Drawn MN	Date 14.12.17
Approved <i>[Signature]</i>	Scale AS SHOWN	Rev. C
Drawing No. 8046-C01		

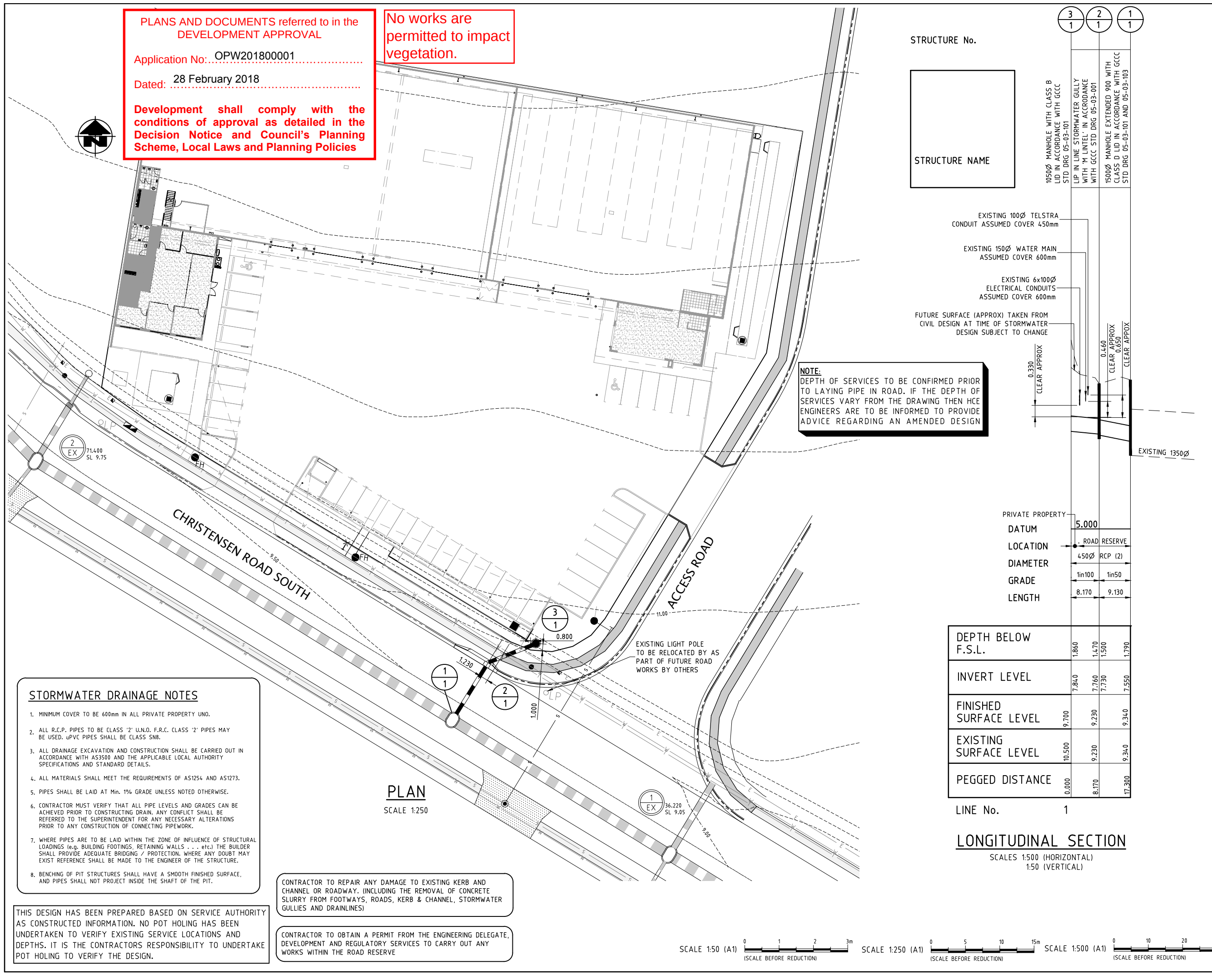
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Scheme, Local Laws and Planning Policies

No works are
permitted to impact
vegetation.



STORMWATER DRAINAGE NOTES

1. MINIMUM COVER TO BE 600mm IN ALL PRIVATE PROPERTY UNO.
2. ALL R.C.P. PIPES TO BE CLASS '2' U.N.O. F.R.C. CLASS '2' PIPES MAY BE USED. uPVC PIPES SHALL BE CLASS SN8.
3. ALL DRAINAGE EXCAVATION AND CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3500 AND THE APPLICABLE LOCAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS.
4. ALL MATERIALS SHALL MEET THE REQUIREMENTS OF AS1254 AND AS1273.
5. PIPES SHALL BE LAID AT Min. 1% GRADE UNLESS NOTED OTHERWISE.
6. CONTRACTOR MUST VERIFY THAT ALL PIPE LEVELS AND GRADES CAN BE ACHIEVED PRIOR TO CONSTRUCTING DRAIN. ANY CONFLICT SHALL BE REFERRED TO THE SUPERINTENDENT FOR ANY NECESSARY ALTERATIONS PRIOR TO ANY CONSTRUCTION OF CONNECTING PIPEWORK.
7. WHERE PIPES ARE TO BE LAID WITHIN THE ZONE OF INFLUENCE OF STRUCTURAL LOADINGS (e.g. BUILDING FOOTINGS, RETAINING WALLS . . . etc.) THE BUILDER SHALL PROVIDE ADEQUATE BRIDGING / PROTECTION. WHERE ANY DOUBT MAY EXIST REFERENCE SHALL BE MADE TO THE ENGINEER OF THE STRUCTURE.
8. BENCHING OF PIT STRUCTURES SHALL HAVE A SMOOTH FINISHED SURFACE, AND PIPES SHALL NOT PROJECT INSIDE THE SHAFT OF THE PIT.

THIS DESIGN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING TO VERIFY THE DESIGN.

CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING KERB AND CHANNEL OR ROADWAY. (INCLUDING THE REMOVAL OF CONCRETE SLURRY FROM FOOTWAYS, ROADS, KERB & CHANNEL, STORMWATER GULLIES AND DRAINLINES)

CONTRACTOR TO OBTAIN A PERMIT FROM THE ENGINEERING DELEGATE, DEVELOPMENT AND REGULATORY SERVICES TO CARRY OUT ANY WORKS WITHIN THE ROAD RESERVE

DO NOT SCALE. CONFIRM ALL DIMENSIONS ON SITE. Copyright

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A	ISSUED FOR COMMENT	13.12.17
B	ISSUED FOR COUNCIL APPROVAL	18.12.17
C	RE ISSUED FOR COUNCIL APPROVAL	13.02.18

LEGEND

- 10.0--- EXISTING SURFACE CONTOURS
- EXISTING STORMWATER DRAINAGE
- PROPOSED STORMWATER DRAIN
- 1/1 PROPOSED DRAINAGE STRUCTURE
- 1/1 EXISTING DRAINAGE STRUCTURE
- EXISTING SEWERAGE
- PROPOSED SEWERAGE
- EXISTING TELECOMMUNICATIONS
- EXISTING WATER RETICULATION
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING ELECTRICAL PILLAR
- × PROPOSED WATER METER
- EXISTING FOOTPATH
- FUTURE FOOTPATH
- EXISTING CROSSOVER

REAL PROPERTY DESCRIPTION
LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS PTY LTD

TITLE
STORMWATER LAYOUT PLAN, NOTES AND LONGITUDINAL SECTION

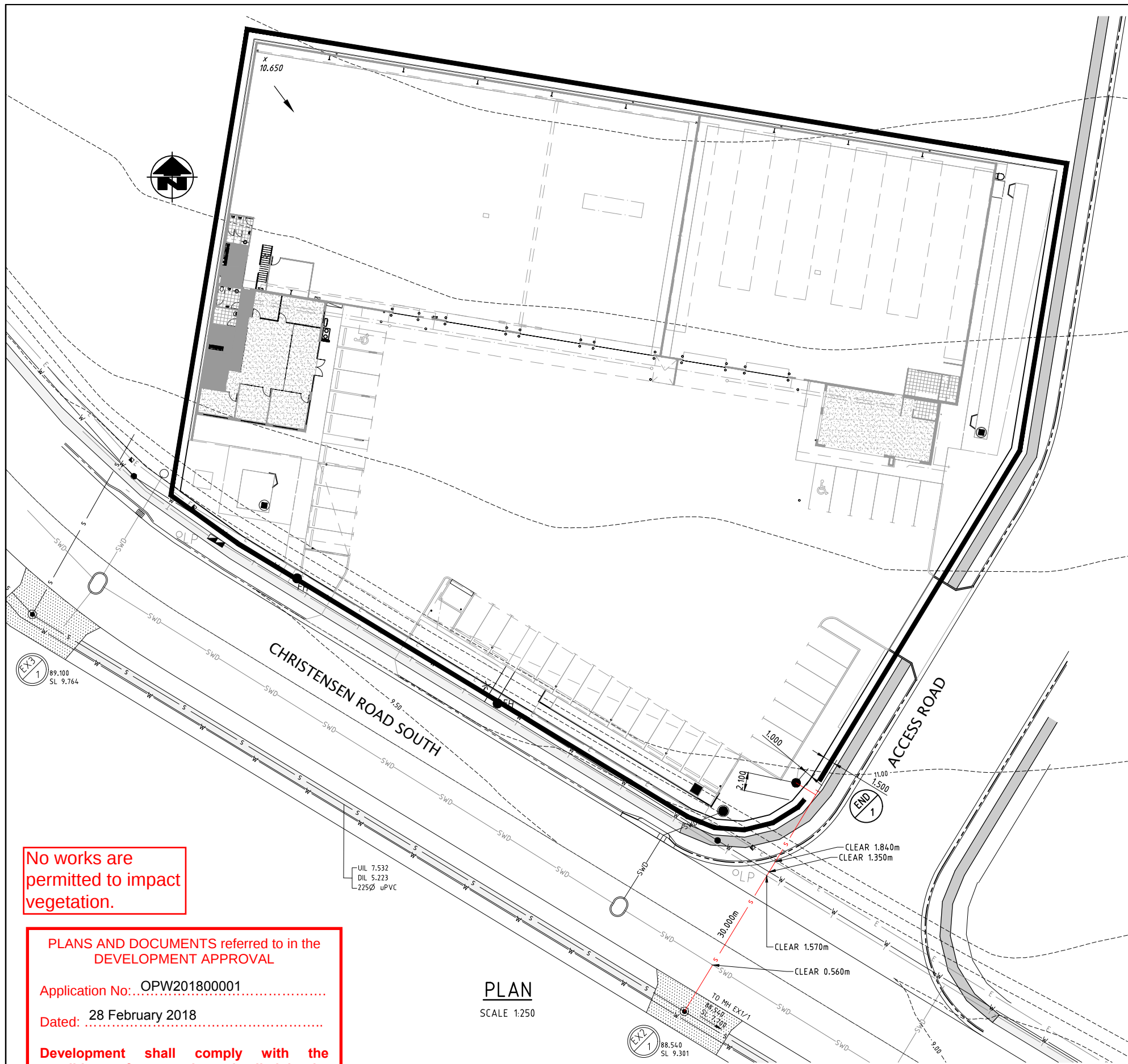
HCE Engineers
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Designed	Drawn	Date
MN	MN	13.12.17

Approved: *[Signature]* Scale: AS SHOWN

Drawing No. 8046-SW01 Rev. C



No works are permitted to impact vegetation.

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW201800001

Dated: 28 February 2018

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

THIS DESIGN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING TO VERIFY THE DESIGN.

PLAN
SCALE 1:250

NOTE:
CONTRACTOR TO REINSTATE EXISTING CROSSOVER UPON COMPLETION OF SEWER WORKS

SEWER NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SEQ WATER SUPPLY AND SEWERAGE DESIGN AND CONSTRUCTION CODE (SEQ WS&S D&C) STANDARDS AND ADDITIONAL GCCC REQUIREMENTS.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- THE CONSTRUCTION OF THE SEWERAGE WORK SHOWN ON THIS DRAWING SHALL BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. SEWERAGE WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO COUNCIL'S SEWERAGE SYSTEM.
- ALL WORK ASSOCIATED WITH LIVE SEWERS OR MAINTENANCE HOLES SHALL BE CARRIED OUT BY THE DEVELOPER'S APPROVED CONTRACTOR UNDER THE SUPERVISION OF GOLD COAST CITY COUNCIL AT THE DEVELOPER'S EXPENSE.
- ALL PIPES AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE "ACCEPTED PRODUCTS AND MATERIALS LIST".
- EACH ALLOTMENT SHALL BE SERVED BY A 100Ø PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A 150Ø PROPERTY CONNECTION SHALL BE PROVIDED. A MAXIMUM OF 2 RESIDENTIAL PREMISES IS ALLOWED ON A 100Ø. PROPERTY CONNECTION SEWER DETAILS SHALL COMPLY WITH THE DETAILS GIVEN IN THE SEQ WS&S D&C STANDARD DRAWINGS - SEWERAGE SEQ-SEW-1106-1 TO 1106-7.
- PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 500mm AND A MAXIMUM OF 1000mm.
- PROPERTY CONNECTIONS SHALL BE LOCATED A MINIMUM OF 500mm FROM THE PROPERTY BOUNDARY WHERE POSSIBLE.
- WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300mm (LOOSE) IN DEPTH AND SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH AS 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATIVE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY THE COUNCIL UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED. PVC SEWERS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS FOR NON-PRESSURE PIPELINES SPECIFIED IN WSA-02.
- WHERE SEWERS HAVE A GRADE OF 1 IN 20 OR STEEPER, BULKHEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CL.8.10, 17.5 AND 17.6 OF THE SEQ WS&S D&C CODE AMENDMENTS TO WSA-02.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING SERVICES WITH RELEVANT AUTHORITIES BEFORE COMMENCING WORKS.
- SEWERS SHALL BE DISUSED/ABANDONED IN ACCORDANCE WITH PROCEDURES SET OUT IN CL.4.2.6 OF THE SEQ WS&S D&C CODE AMENDMENTS TO WSA 02.
- PROPERTY CONNECTION MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWING No. SEQ-SEW-1106-2 ON ALL PROPERTY CONNECTIONS, EXCEPT WHERE THE PROPERTY CONNECTION IS PROVIDED FROM A MAINTENANCE HOLE OR PRIVATE DRAINAGE IS CONNECTED TO THE PROPERTY CONNECTION AS PART OF THE WORKS.
- ALL PVC PIPES AND CONNECTIONS TO BE INSTALLED BY AN ACCREDITED CONTRACTOR.
- ALL LEVELS TO A.H.D.
- EMBEDMENT AND TRENCHING IN ACCORDANCE WITH (SEQ WS&S D&C) STD DRG SEQ-SEW-1200-2.
 - BEDDING - SPECIAL BEDDING SHALL BE SPECIFIED IF THE TRENCH FLOOR HAS:
 - IRREGULAR OUTCROPS OF ROCK
 - AHBP OF <50kPa (SEE SEQ-WAT-1200-01) OR,
 - UNCONTROLLED GROUND WATER HAS DISTURBED THE FLOOR OF THE TRENCH
 - EMBEDMENT, TRENCH FILL AND COMPACTION TO MEET THE REQUIREMENTS OF WSA-02 PART 3 AND THE RELEVANT SEQ-SP
 - SIDES OF EXCAVATION TO BE KEPT VERTICAL TO AT LEAST 150mm ABOVE THE PIPE
 - DESIGNER TO CHECK ON RELEVANT AUTHORITIES' REQUIREMENTS ADDITIONAL INFORMATION PROVIDED IN SEQ-SEW-1200 SERIES.

NAME OF ESTATE	84 CHRISTENSEN ROAD SOUTH	
	STAPYLTON	
SUBDIVIDER	SPACEFRAME BUILDINGS PTY LTD	
APPLICATION NO.		
SP DELEGATE	GOLD COAST CITY COUNCIL	
APPROVAL DATE		
DRAWING/PLAN NO.		
No. OF ALLOTS.	1	
AREA IN ha.	0.6293	
LENGTH OF SEWER	100Ø	
	150Ø	32.700
	225Ø	
REFERENCE		

SCALE 1:250 (A1)
(SCALE BEFORE REDUCTION)

SCALE 1:2500 (A1)
(SCALE BEFORE REDUCTION)

DO NOT SCALE.
CONFIRM ALL DIMENSIONS ON SITE.

ISSUE	AMENDMENT	DATE
A	ISSUED FOR COMMENT	13.12.17
B	ISSUED FOR COUNCIL APPROVAL	18.12.17
C	RE ISSUED FOR COUNCIL APPROVAL	13.02.18

LEGEND

- EXISTING SEWERAGE RETICULATION
- PROPOSED SEWERAGE RETICULATION
- PROPOSED PROPERTY CONNECTION
- EXISTING SURFACE CONTOURS
- PROPOSED SEWERAGE STRUCTURE
- EXISTING SEWERAGE STRUCTURE
- PROPOSED STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- EXISTING TELECOMMUNICATIONS
- EXISTING WATER RETICULATION
- EXISTING UNDERGROUND ELECTRICAL
- ALLOTMENT CONTROL POINT (NOT FOR CONSTRUCTION PURPOSES)
- LOTS TO BE SEWERED
- EXISTING FOOTPATH
- FUTURE FOOTPATH
- EXISTING CROSSOVER

REAL PROPERTY DESCRIPTION

LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS PTY LTD
TITLE
SEWERAGE RETICULATION LAYOUT PLAN AND NOTES

HCE Engineers
Hydraulic • Civil • Environmental

P.O. Box 7214, Redland Bay, QLD, 4165
Phone: (07) 3829 1399
mail@hce-engineers.com.au
6 Marine Street, Redland Bay

Designed	MN	Drawn	MN	Date	13.12.17
Approved		Scale	AS SHOWN		
Drawing No.	8046-S01	Rev.	C		

No works are permitted to impact vegetation.

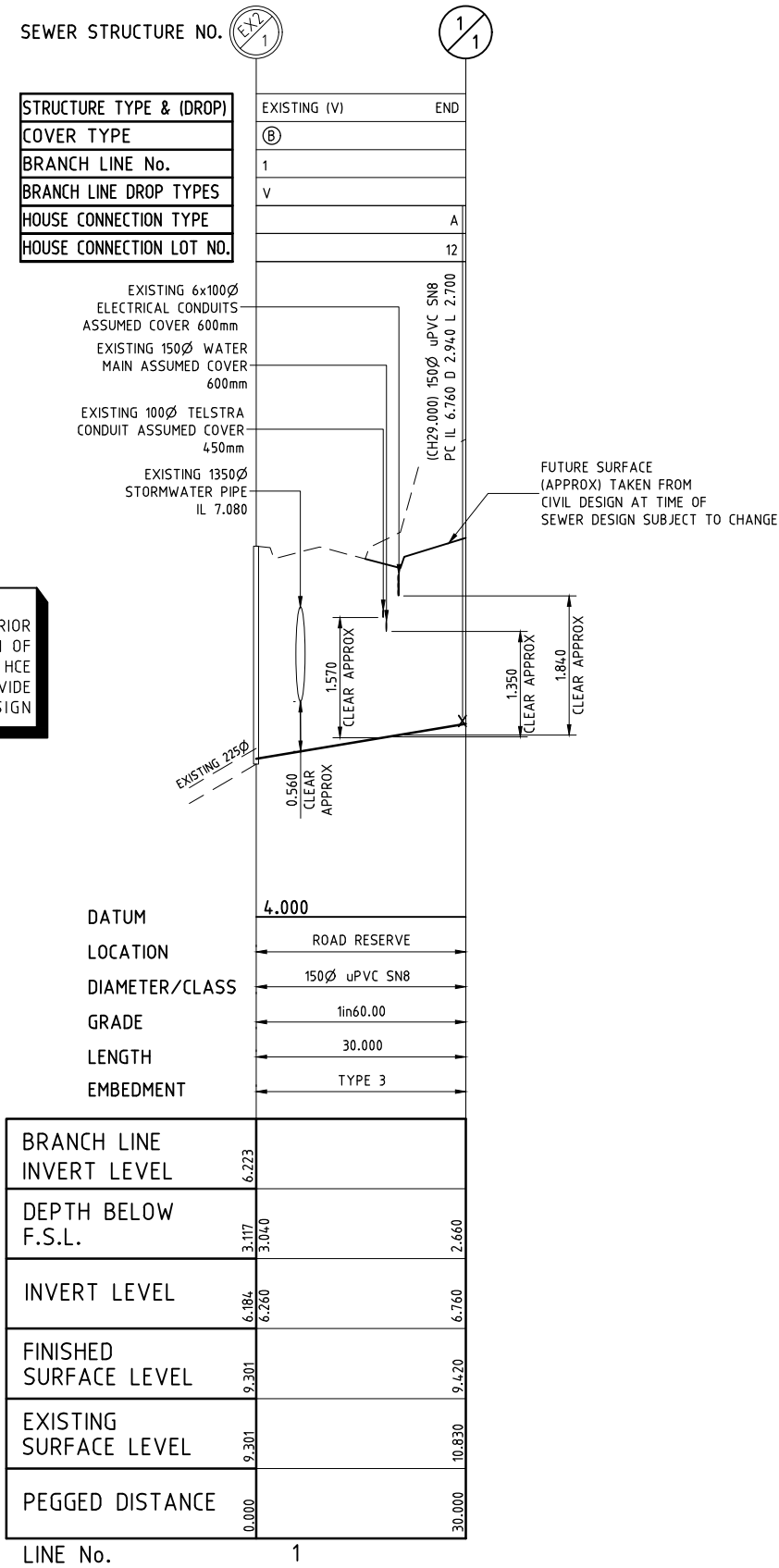
PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW201800001

Dated: 28 February 2018

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

THIS DESIGN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING TO VERIFY THE DESIGN.



LONGITUDINAL SECTION

SCALES 1:500 (HORIZONTAL)
1:50 (VERTICAL)

GOLD COAST WATER AND CONTRACTOR LIVE SEWER WORK										
IT IS THE DEVELOPERS RESPONSIBILITY TO ENSURE ALL LIVE SEWER WORKS ARE COMPLETE BEFORE ALLOWING PRIVATE DRAINAGE TO BE CONNECTED										
No.	DESCRIPTION	DIA. SEWER	MH No.	MH TYPE	COVER TYPE	LOT No.	F.S.L.	E.S.L.	IL	DEPTH
1(a)	CONTRACTOR TO BREAK INTO EXISTING MAINTENANCE HOLE EX2/1 AND CONSTRUCT A 150 STUB (TEMPORARILY PLUGGED) PRIOR TO START OF CONSTRUCTION UNDER GOLD COAST WATER SUPERVISION	150	EX2/1	1200	B	ROAD RESERVE	9.301	9.301	6.184	3.117
1(b)	CONTRACTOR TO LAY LINE 1.									
1(c)	CONTRACTOR TO REMOVE TEMPORARY PLUG IN MAINTENANCE HOLE 1/EX AFTER SUCCESSFUL 'ON MAINTENANCE' INSPECTION.									

SCALE 1:50 (A1)

(SCALE BEFORE REDUCTION)

SCALE 1:500 (A1)

(SCALE BEFORE REDUCTION)

ENVIRONMENTAL NOTES:

NOTE: ALL ENVIRONMENTAL PROTECTION MEASURES SHOULD BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.

VEGETATION PROTECTION

- TREES LOCATED ALONG THE FOOTPATH SHALL BE, WHERE POSSIBLE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES WITH 1.8m BATTENS CLOSELY SPACED AND ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES MUST BE STRAPPED TO TREES PRIOR TO CONSTRUCTION AND REMAIN UNTIL COMPLETION.
- TREE ROOTS SHOULD BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHOULD BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT ARBORIST FOR FURTHER ADVICE.
- ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

SOIL

- TOPSOIL AND SUBSOIL SHOULD BE STOCKPILED SEPARATELY.
- CARE SHOULD BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND THE STOCKPILES.

CREEK CROSSINGS

- SILTATION CONTROL MEASURES SHOULD BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- APPROPRIATE SEDIMENT CONTROL MEASURES SHOULD BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- NO SOIL SHOULD BE STOCKPILED WITHIN 5m OF THE CREEK.

REHABILITATION

- PRE-DISTURBANCE SOIL PROFILES AND COMPACTION LEVELS ARE TO BE REINSTATED.
- PRE-DISTURBANCE VEGETATION PATTERNS SHOULD BE RESTORED.

SAFETY

- THE DESIGN AND CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.

DO NOT SCALE.
CONFIRM ALL DIMENSIONS ON SITE.

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REAL PROPERTY DESCRIPTION
LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD
SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS
PTY LTD

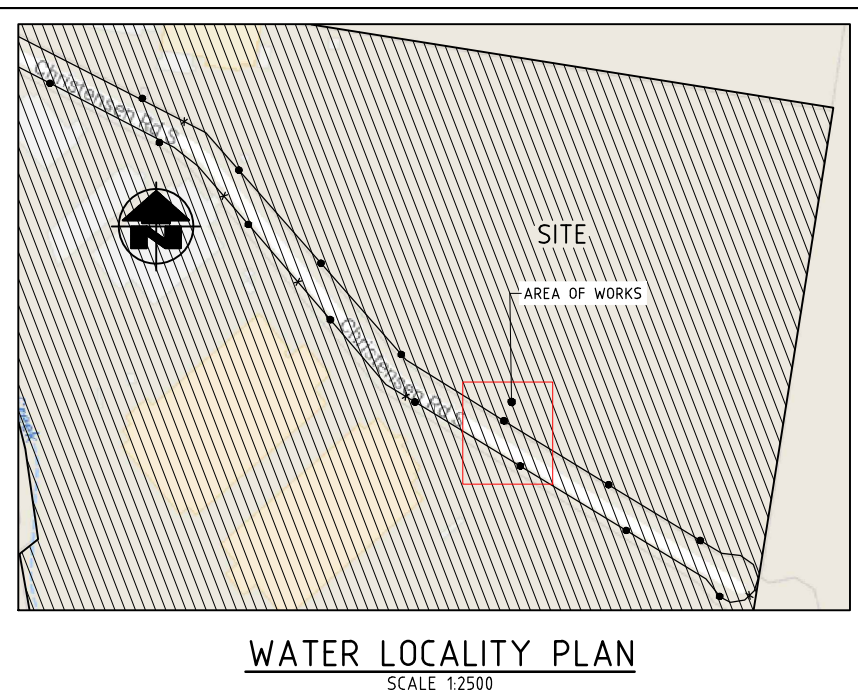
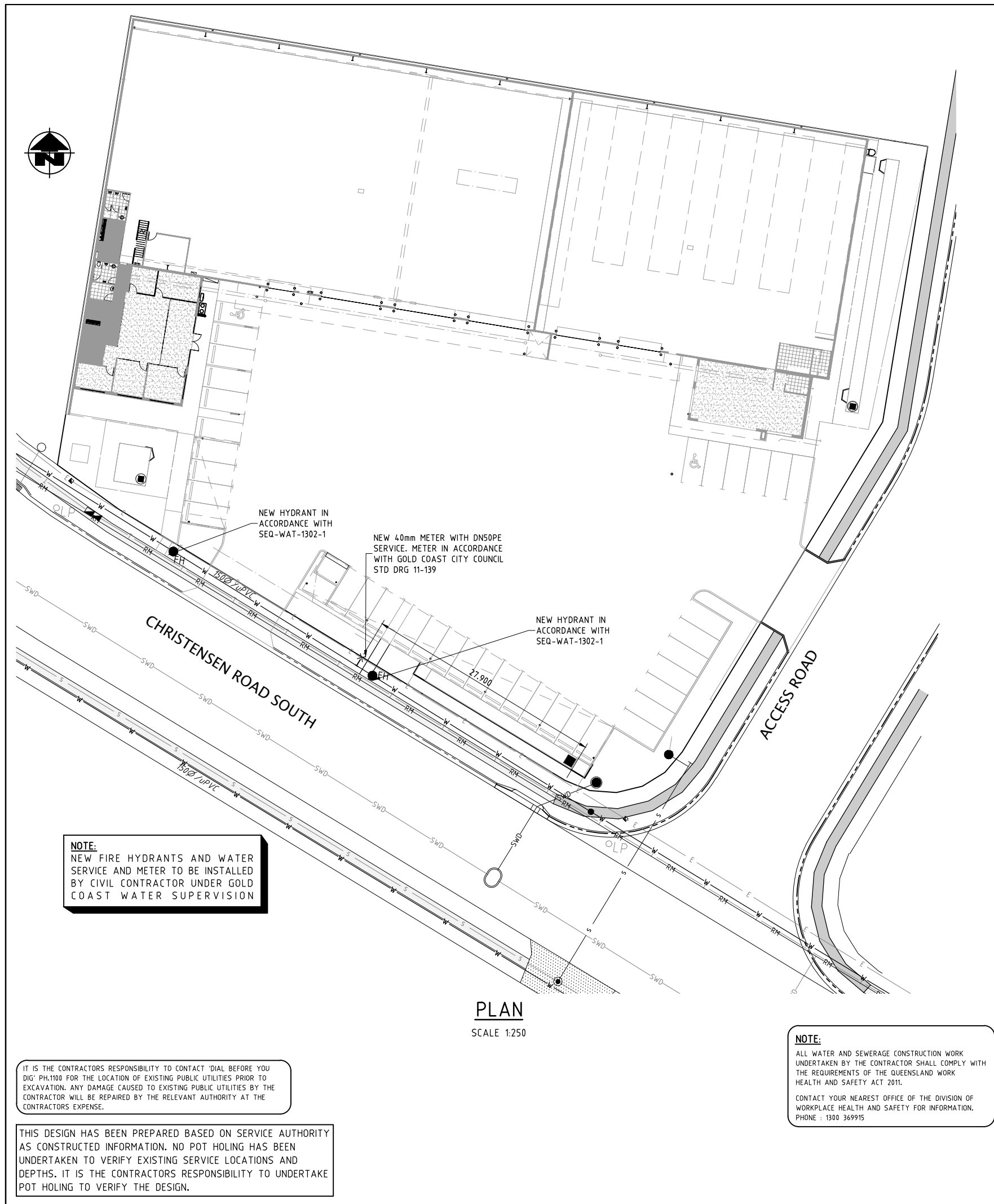
TITLE
SEWERAGE RETICULATION
LONGITUDINAL SECTION



HCE Engineers
Hydraulic • Civil • Environmental

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6 Marine Street, Redland Bay

Designed MN	Drawn MN	Date 13.12.17
Approved 	Scale AS SHOWN	Rev. C
Drawing No. 8046-S02		



WATER LOCALITY PLAN
SCALE 1:2500

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW201800001

Dated: 28 February 2018

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

No works are permitted to impact vegetation.

- NOTES**
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 - UNLESS SPECIFIED OTHERWISE, ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
 - ADOPT TOP OF KERB AS PERMANENT LEVEL.
 - COVER ON MAINS FROM PERMANENT LEVEL TO BE AS FOLLOWS U.N.D.
100 & 150Ø (DN63, 125 & 180 FOR PE100) - 600mm
200, 250 & 300Ø (DN250, 315 & 355 FOR PE100)-1000mm
 - CONDUITS TO BE INSTALLED IN ACCORDANCE WITH GCCC SPECIFICATIONS.
 - A WATER METER, SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH STD DRG. No. 08-06-108.
 - u.p.v.c. PIPES SHALL BE SERIES 2 CLASS 16 AND COMPLY WITH A.S.1477. MPVC PIPES SHALL BE SERIES 2 CLASS 16 AND COMPLY WITH A.S.4765. FITTINGS SHALL BE CEMENT LINED GREY IRON IN ACCORDANCE WITH A.S.2544; OR DUCTILE IRON CEMENT LINED (DCL) IN ACCORDANCE WITH A.S.2280. DCL PIPES & FITTINGS SHALL BE PN16 OR PN35 AND COMPLY WITH A.S.2280. PIPES & FITTINGS SHALL BE POLYETHYLENE SLEEVED. MILD STEEL (MSCL) PIPES TO COMPLY WITH A.S.1579 AND BE CEMENT LINED IN ACCORDANCE WITH A.S.1281. PIPE COATING TO COMPLY WITH A.S.4321 (SINTAKOTE III). POLYETHYLENE PIPES OF 63 OD SHALL BE CLASS PN16 PER80B AND COMPLY WITH A.S.4130. FITTINGS SHALL COMPLY WITH A.S.1460.
 - ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAIN ALLOCATION.
 - TEST/CHLORINATION POINTS TO BE INSTALLED IN ACCORDANCE WITH GCCC STANDARDS
 - CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN ON THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO GCCC'S RETICULATION SYSTEM.
 - ALL DISTURBED AREAS TO BE TOPSOILED AND TURFED.
 - PROPOSED AND EXISTING WATER METER BOXES TO BE CLEANED OF DIRT AND DEBRIS PRIOR TO PLAN SEALING.
 - ALL LIVE CONNECTIONS SHALL BE UNDERTAKEN BY DEVELOPER/APPROVED CONTRACTOR UNDER GOLD COAST WATER SUPERVISION AT THE DEVELOPERS EXPENSE.

- ENVIRONMENTAL NOTES:**
- NOTE: ALL ENVIRONMENTAL PROTECTION MEASURES SHOULD BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.
- VEGETATION PROTECTION**
- TREES LOCATED ALONG THE FOOTPATH SHALL BE, WHERE POSSIBLE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
 - WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GROULES WITH 1.8m BATTENS CLOSELY SPACED AND ARRANGED VERTICALLY FROM GROUND LEVEL. GROULES MUST BE STRAPPED TO TREES PRIOR TO CONSTRUCTION AND REMAIN UNTIL COMPLETION.
 - TREE ROOTS SHOULD BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHOULD BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT ARBORIST FOR FURTHER ADVICE.
 - ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.
- SOIL**
- TOPSOIL AND SUBSOIL SHOULD BE STOCKPILED SEPARATELY.
 - CARE SHOULD BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND THE STOCKPILES.
- CREEK CROSSINGS**
- SILTATION CONTROL MEASURES SHOULD BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
 - APPROPRIATE SEDIMENT CONTROL MEASURES SHOULD BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
 - NO SOIL SHOULD BE STOCKPILED WITHIN 5m OF THE CREEK.
- REHABILITATION**
- PRE-DISTURBANCE SOIL PROFILES AND COMPACTION LEVELS ARE TO BE REINSTATED.
 - PRE-DISTURBANCE VEGETATION PATTERNS SHOULD BE RESTORED.
- SAFETY**
- THE DESIGN AND CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.

NOTE:
NEW FIRE HYDRANTS AND WATER SERVICE AND METER TO BE INSTALLED BY CIVIL CONTRACTOR UNDER GOLD COAST WATER SUPERVISION

NOTE:
ALL WATER AND SEWERAGE CONSTRUCTION WORK UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORK HEALTH AND SAFETY ACT 2011.

CONTACT YOUR NEAREST OFFICE OF THE DIVISION OF WORKPLACE HEALTH AND SAFETY FOR INFORMATION.
PHONE : 1300 369915

IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT 'DIAL BEFORE YOU DIG' PH.1100 FOR THE LOCATION OF EXISTING PUBLIC UTILITIES PRIOR TO EXCAVATION. ANY DAMAGE CAUSED TO EXISTING PUBLIC UTILITIES BY THE CONTRACTOR WILL BE REPAIRED BY THE RELEVANT AUTHORITY AT THE CONTRACTORS EXPENSE.

THIS DESIGN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICE LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING TO VERIFY THE DESIGN.

DO NOT SCALE.
CONFIRM ALL DIMENSIONS ON SITE.

ISSUE	AMENDMENT	DATE
A	ISSUED FOR COMMENT	15.12.17
B	ISSUED FOR COUNCIL APPROVAL	18.12.17
C	RE ISSUED FOR COUNCIL APPROVAL	13.02.18

LEGEND

- W — EXISTING WATER RETICULATION
- PROPOSED WATER SERVICE
- SWD — EXISTING STORMWATER DRAINAGE
- SWD — PROPOSED STORMWATER DRAINAGE
- S — EXISTING SEWERAGE
- S — PROPOSED SEWERAGE
- T — EXISTING TELECOMMUNICATIONS
- KERB LINE
- E — EXISTING UNDERGROUND ELECTRICAL
- X — WATER SERVICE POINT OF ENTRY
- RM — EXISTING RISING MAIN
- EXISTING ELECTRICAL PILLAR
- EXISTING FOOTPATH
- FUTURE FOOTPATH
- EXISTING CROSSOVER

SYMBOLS

- X — SLUICE VALVE
- X — SCOUR BRANCH
- DEAD END
- TEST POINT / CHLORINATION POINT
- 100 — 150 REDUCER
- FH — PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- WM — EXISTING WATER METER

REAL PROPERTY DESCRIPTION
LOT 334 ON SP 193431

PROJECT
84 CHRISTENSEN ROAD SOUTH, STAPYLTON

CLIENT
SPACEFRAME BUILDINGS PTY LTD

TITLE
WATER RETICULATION LAYOUT PLAN AND DETAILS

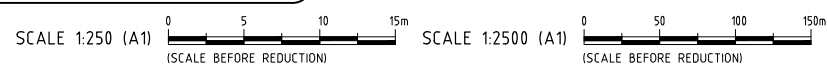
HCE Engineers
Hydraulic • CMI • Environmental

P.O. Box 7214, Redland Bay, QLD, 4165
Phone: (07) 3829 1399
mail@hce-engineers.com.au
6 Marine Street, Redland Bay

Designed	Drawn	Date
MN	MN	13.12.17

Approved	Scale	Rev.
AS SHOWN	AS SHOWN	C

Drawing No. **8046-W01**



Our reference: PN307555/03/DA10
OPW201800001

Decision notice— approval (with conditions)

(Given under section 63(2) of the *Planning Act 2016*)

Date of decision notice: 1 March 2018

Applicant details

Applicant name: SPACEFRAME BUILDINGS PTY. LTD.

Applicant contact details: Spaceframe Buildings Pty. Ltd.
C/- Spaceframe Buildings Pty Ltd
PO BOX 452
MORNINGSIDE QLD 4170

Application details

Application number: OPW201800001

Approval sought: Operational work

Details of proposed development: Development permit for Operational work for Infrastructure (stormwater, sewer and water reticulation) to facilitate the development of Medium impact industry (MCU201701572).

Location details

Street address: 84 - 160 Christensen Road South, Stapylton

Real property description: Lot 334 on SP193431

Decision

Date of decision: 28 February 2018

Decision details: Under Delegated Authority, the Manager of the City Development Branch of Council has resolved to approve the development application in full with conditions.

Referral agency(s) for the application

Not applicable – no part of the application required referral.

Details of the approval

Development permit Operational work for Infrastructure (stormwater, sewer and water reticulation).

Conditions

The conditions that have been imposed by Council, as Assessment manager, are enclosed.

Properly made submissions

Not applicable—No part of the application required public notification.

Currency period for the approval (section 85 of the *Planning Act 2016*)

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of two years. This approval will lapse on 1 March 2020.

Approved plans and drawings

Approved plans and drawings are attached and are identified in the conditions imposed by Council as the Assessment manager.

Appeal rights

Applicant	You have appeal rights in relation to this decision. An appeal may be made against, as applicable: • the refusal of part of the development application; or • a provision of the development approval; or • if a development permit was applied for, the decision to give a preliminary approval. An appeal must be started within 20 business days after this notice is given to you. An appeal may be made to the Planning and Environment Court or, for certain matters which are identified in section 1(2) of Schedule 1 of the <i>Planning Act 2016</i>, to a development tribunal. An appeal is started by lodging a notice of appeal with the registrar of the Planning and Environment Court or a development tribunal, as applicable. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required fee. An appellant to the Planning and Environment Court must give a copy of the notice of appeal, within 10 business days after the appeal is started, to the persons identified in section 230(3) of the <i>Planning Act 2016</i>. A person who is appealing to the Planning and Environment Court must comply with the rules of the court that apply to the appeal. An extract of Chapter 6, Part 1 and Schedule 1 of the <i>Planning Act 2016</i> is attached to this notice, which sets out further information about the appeal rights.
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For further information please contact Craig Morse, Civil Engineer on p: 07 5582 8866 or via email mail@goldcoast.qld.gov.au who will be pleased to assist.

AUTHORISED BY

Antony Kocsmar
Acting Executive Coordinator Engineering & Environmental Assessment
For the Chief Executive Officer
Council of the City of Gold Coast

Enc:

Conditions imposed by Council as Assessment manager

Attach:

Stamped approved plans and drawings

Appeal rights extracts

Conditions imposed by Council as Assessment manager

General																																								
1.	Timing All conditions of this development approval must be complied with at no cost to Council at all times unless otherwise stated in another condition.																																							
2.	Approved drawings Undertake and maintain the development generally in accordance with the following drawings including as amended in red by the Council:																																							
<table><tr><th colspan="5">Operational Works</th></tr><tr><th>Drawing Title</th><th>Author</th><th>Date</th><th>Drawing No.</th><th>Ver</th></tr><tr><td>Locality Plan, Drawing Index and General Notes</td><td>HCE Engineers</td><td>13/02/18</td><td>8046-C01</td><td>C</td></tr><tr><td>Stormwater Layout Plan, Notes and Longitudinal Section</td><td>HCE Engineers</td><td>13/02/18</td><td>8046-SW01</td><td>C</td></tr><tr><td>Sewerage Reticulation Layout Plan and Notes</td><td>HCE Engineers</td><td>13/02/18</td><td>8046-S01</td><td>C</td></tr><tr><td>Sewerage Reticulation Longitudinal Section</td><td>HCE Engineers</td><td>13/02/18</td><td>8046-S02</td><td>C</td></tr><tr><td>Water Reticulation Layout Plan and Details</td><td>HCE Engineers</td><td>13/02/18</td><td>8046-W01</td><td>C</td></tr></table>						Operational Works					Drawing Title	Author	Date	Drawing No.	Ver	Locality Plan, Drawing Index and General Notes	HCE Engineers	13/02/18	8046-C01	C	Stormwater Layout Plan, Notes and Longitudinal Section	HCE Engineers	13/02/18	8046-SW01	C	Sewerage Reticulation Layout Plan and Notes	HCE Engineers	13/02/18	8046-S01	C	Sewerage Reticulation Longitudinal Section	HCE Engineers	13/02/18	8046-S02	C	Water Reticulation Layout Plan and Details	HCE Engineers	13/02/18	8046-W01	C
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The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.																																								
Engineering																																								
3.	Rectification of Council’s infrastructure a Rectify any damage caused to Council infrastructure (including kerb, channelling, service pits, footpaths and water and sewer reticulation networks) prior to an ‘on maintenance’ inspection, at no cost to Council. b Maintain the rectified Council infrastructure at no cost to Council until the asset is accepted “off maintenance” by the City in accordance with the procedures in City Planning Policy SC6.9 – Land development guidelines, sections 6.9.6 and 6.9.7.																																							
Stormwater Drainage																																								
4.	Overland flow paths and hydraulic alterations a. Leave unaltered the overland flow paths on the site, such that the characteristics of existing overland flows on other properties remain uninhibited and unchanged. b. The development must not: i. Increase peak flow rates downstream from the site ii. Increase flood levels external to the site iii. Increase duration of inundation external to the site that could cause loss or damage																																							

5.	Legal point of discharge Construct and maintain the stormwater drainage system identified in the approved drawings condition at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Planning Policy SC6.9 – Land development guidelines, section 6.9.6.																																								
Sewer and Water Works																																									
6.	Sewer reticulation Construct and maintain the sewer reticulation system identified in the approved drawings condition at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Planning Policy SC6.9 – Land development guidelines, sections 6.9.6 and 6.9.7 and include in particular: - i The size of the sewer property service connection must be a minimum of 150 mm in accordance with Section 4.5.4 of the SEQ Water Supply & Sewerage Design & Construction Code (SEQ WS&S D&C Code). - ii Remove/seal/cap redundant sewer property services.																																								
7.	Water reticulation Construct and maintain the water reticulation system at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Planning Policy SC6.9 – Land development guidelines, section 6.9.6.																																								
Construction Management																																									
8.	Certification of works Provide Council with certificates prepared by qualified experts from the disciplines listed below, confirming as follows: <table border="1" style="width: 100%; margin-top: 10px;"> <tr> <th colspan="5">Operational Works</th></tr> <tr> <th>Certified document</th><th>Certification date</th><th>Plan/ Drawing</th><th>Expert discipline</th><th>Requesting Council Section</th></tr> <tr> <td>Appendix C Certification from the Land Development Guidelines</td><td>Upon practical completion of works.</td><td>N/A</td><td>Registered Professional Engineer Queensland (RPEQ)</td><td>Contributed Assets</td></tr> <tr> <td colspan="5"> The certification is to confirm: i. All works have been undertaken generally in accordance with the approved drawings. ii. All works have been undertaken in accordance with the conditions. </td></tr> </table> <table border="1" style="width: 100%; margin-top: 10px;"> <tr> <th colspan="5">Gold Coast Water and Waste</th></tr> <tr> <th>Certified document</th><th>Certification date</th><th>Plan/ Drawing</th><th>Expert discipline</th><th>Requesting Council Section</th></tr> <tr> <td>Requirements of Water & Sewerage acceptance testing guidelines</td><td>Prior to request</td><td></td><td>RPEQ</td><td>Water & Waste</td></tr> <tr> <td colspan="5">The certification is to confirm:</td></tr> </table>	Operational Works					Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section	Appendix C Certification from the Land Development Guidelines	Upon practical completion of works.	N/A	Registered Professional Engineer Queensland (RPEQ)	Contributed Assets	The certification is to confirm: i. All works have been undertaken generally in accordance with the approved drawings. ii. All works have been undertaken in accordance with the conditions.					Gold Coast Water and Waste					Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section	Requirements of Water & Sewerage acceptance testing guidelines	Prior to request		RPEQ	Water & Waste	The certification is to confirm:				
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The certification is to confirm:																																									

	i. Constructed works comply with necessary standards and confirm level and location details. ii. Installed components meet specifications and standards for materials and design and installation specifications and acceptance testing requirements.						
9.	Availability of approved plans, drawings and reports Retain a copy of this decision notice and stamped approved plans, drawings and reports on site at all times during construction. Any contractors undertaking approved work (including tree removal or relocations) must be directly provided with a copy of these conditions and instructed as to the need to comply with them.						
10.	Transport of soil/fill/excavated material During the transportation of soil and other fill/excavated material: a. All trucks hauling soil, or fill/excavated material must have their loads secure and covered. b. Any spillage that falls from the trucks or their wheels must be collected and removed from the site and streets along which the trucks travel on a daily basis. c. Prior to vehicles exiting the site, measures must be taken to remove the soil from the wheels of the vehicles to prevent soil and mud being deposited on public roads.						
11.	Pre-start inspection Arrange a pre-start inspection prior to the commencement of works to complete the requirements identified in SC.6.9 City Plan Policy – Land development guidelines for the following: <table border="1"> <tr> <th>Purpose</th><th>Council contact</th></tr> <tr> <td>Review and discuss Operational works – infrastructure approval</td><td>Contributed Assets (07) 5582 9034</td></tr> </table> Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.	Purpose	Council contact	Review and discuss Operational works – infrastructure approval	Contributed Assets (07) 5582 9034		
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Review and discuss Operational works – infrastructure approval	Contributed Assets (07) 5582 9034						
12.	Hold point inspection Arrange a hold point inspection to complete the requirements identified in SC.6.9 City Plan Policy – Land development guidelines/Landscape work code of the City Plan for the following: <table border="1"> <tr> <th>Purpose</th><th>Hold Point</th><th>Council contact</th></tr> <tr> <td>Confirm works have been undertaken in accordance with the operational works approval and associated hold point requirements identified in SC6.9 City Plan Policy – Land development guidelines</td><td>As indicated in SC6.9 City Plan Policy – Land development guidelines</td><td>Contributed Assets (07) 5582 9034</td></tr> </table> Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.	Purpose	Hold Point	Council contact	Confirm works have been undertaken in accordance with the operational works approval and associated hold point requirements identified in SC6.9 City Plan Policy – Land development guidelines	As indicated in SC6.9 City Plan Policy – Land development guidelines	Contributed Assets (07) 5582 9034
Purpose	Hold Point	Council contact					
Confirm works have been undertaken in accordance with the operational works approval and associated hold point requirements identified in SC6.9 City Plan Policy – Land development guidelines	As indicated in SC6.9 City Plan Policy – Land development guidelines	Contributed Assets (07) 5582 9034					
13.	On maintenance Arrange an on maintenance meeting to complete the requirements identified in SC.6.9 City Plan Policy – Land development guidelines for the following: <table border="1"> <tr> <th>Purpose</th><th>Hold Point</th><th>Council contact</th></tr> <tr> <td>Confirm satisfactory completion of works have been undertaken in accordance with the Operational works – Infrastructure approval</td><td>Prior to commencement of the on maintenance period</td><td>Contributed Assets (07) 5582 9034</td></tr> </table>	Purpose	Hold Point	Council contact	Confirm satisfactory completion of works have been undertaken in accordance with the Operational works – Infrastructure approval	Prior to commencement of the on maintenance period	Contributed Assets (07) 5582 9034
Purpose	Hold Point	Council contact					
Confirm satisfactory completion of works have been undertaken in accordance with the Operational works – Infrastructure approval	Prior to commencement of the on maintenance period	Contributed Assets (07) 5582 9034					

	Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.								
14.	Off maintenance Arrange an off maintenance meeting to complete the requirements identified in SC.6.9 City Plan Policy – Land development guidelines for the following:								
	<table><tr><th>Purpose</th><th>Hold Point</th><th>Council contact</th></tr><tr><td>Confirmation satisfactory completion works have been undertaken in accordance with the Operational works, Works for infrastructure approval</td><td>Prior to Asset handover / conclusion of on maintenance period</td><td>Contributed Assets (07) 5582 9034</td></tr></table>	Purpose	Hold Point	Council contact	Confirmation satisfactory completion works have been undertaken in accordance with the Operational works, Works for infrastructure approval	Prior to Asset handover / conclusion of on maintenance period	Contributed Assets (07) 5582 9034		
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	Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.								
15.	Bond a. Provide security to Council in the form of an unconditional and irrevocable bank guarantee or cash in the amount of \$5,000 to secure: i. The conditions of approval have been satisfied. b. Provide the security prior to the commencement of works. Council will hold the security until: i. Works are acceptable to proceed to on maintenance.								
Advice Notes									
A.	Consistency with other related approvals The assessment and approval of the operational work the subject of this permit, has been attended to having regard to the conditions of PN307555/01/DA8 MCU201701572 as at 1 February 2018. Should any change to any of these approvals be sought and achieved, consideration by the applicant should also be had to the consequences on the related approvals (and the potential need to make subsequent changes to these related approvals).								
B.	Compliance with conditions Once this development approval takes effect, the conditions attach to the land and are applicable in perpetuity. It is a development offence to contravene a development approval, including any of its conditions.								
C.	Further development permits/compliance permits Further development permits and/or compliance permits from Council are required to facilitate the development of the approved works identified in this decision notice. These include: <table><tr><td>Gold Coast Water and Waste</td></tr><tr><td>- Application to work on the City's Infrastructure</td></tr></table> A copy of this decision notice and accompanying stamped drawings/plans must be submitted with any subsequent application identified above.	Gold Coast Water and Waste	- Application to work on the City's Infrastructure						
Gold Coast Water and Waste									
- Application to work on the City's Infrastructure									
D.	No open trenching of the road pavement for water connections across/in roadways Conduits must be installed to service the proposed development by thrust boring the road (open cutting of the road is not permitted) to connect to Council's potable water supply network. In certain circumstances approval of open trenching of the road may be allowed, subject to Council approval. Refer to Gold Coast Water and Waste Network Modifications, Extension and Connections Policy Procedures, available on Council's website: http://www.cityofgoldcoast.com.au								

E.	Separate service connection points Should a volumetric subdivision be pursued, separate water supply services will need to be designed and constructed to each of the different uses (e.g. commercial/residential), or to each of the volumetric lots created, so as to ensure that all lots within the site have separate service connection points. Internal services will need to be managed through the Building Management Statement.
F.	Development infrastructure Development infrastructure required to be provided in implementing this development approval is non-trunk development infrastructure unless otherwise stated in a condition of the approval.
G.	Connections and disconnections Any connection/disconnection to the existing water and sewerage networks will be at the applicant's cost. Prior to the connection/disconnection taking place, the applicant must obtain written approval from Gold Coast Water and Waste. Refer to Gold Coast Water and Waste Network Modifications, Extension and Connections Policy Procedures, available on Council's website: http://www.cityofgoldcoast.com.au
H.	Connections to, alteration or realignment of Council infrastructure Where development works require the connection to, alteration, removal or realignment of Council infrastructure or impact on other public utility infrastructure (e.g. telecommunications, electricity and gas), the applicant must obtain the necessary approvals from the relevant public utility authority prior to works commencing. Connection to, alteration, removal or realignment of Council infrastructure includes (but is not limited to) fire hydrants, water service meters, sewer maintenance hole covers, stormwater drainage infrastructure, reinstatement of maintenance hole covers, stormwater drainage infrastructure, crossovers, footpaths, road pavement, kerb and channel, kerb ramps, medians, traffic islands, road furniture, signage and line-marking.
I.	Indigenous cultural heritage legislation and duty of care requirement The <i>Aboriginal Cultural Heritage Act 2003</i> ('ACHA') is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care: - Is not negated by the issuing of this development approval; - Applies on all land and water, including freehold land; - Lies with the person or entity conducting an activity; and - If breached, is subject to criminal offence penalties. Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care. Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DATSIMA's Cultural Heritage Coordination Unit on (07) 3405 3050 for further information on the responsibilities of developers under the ACHA.
J.	Encroachment of works If any operational works, the subject of this approval encroaches on adjoining land, a letter from the adjoining owner must be submitted to Council consenting to the carrying out of these works.

K.	Applicant responsibilities The applicant is responsible for securing all necessary approvals and tenure, providing statutory notifications and complying with all relevant laws. Nothing in this decision notice alleviates the need for the applicant to comply with all relevant local, State and Commonwealth laws and to ensure appropriate tenure arrangements have been made where the use of/reliance upon land other than that owned by the applicant is involved. Without limiting this obligation, the applicant is responsible for: - Obtaining all other/further necessary approvals, licences, permits, resource entitlements etc by whatever name called required by law before the development the subject of this approval can be lawfully commenced and to carry out the activity for its duration; - Providing any notifications required by law (by way of example only, to notify the administering authority pursuant to the <i>Environment Protection Act 1994</i> of environmental harm being caused/threatened by the activity, and upon becoming aware the premises is being used for a 'notifiable activity'); - Securing tenure/permission from the relevant owner to use private or public land not owned by the applicant (including for access required by conditions of approval); - Ensuring the correct siting of structures on the land. An identification survey demonstrating correct siting and setbacks of structures may be requested of the applicant to ensure compliance with this decision notice and applicable codes; - Providing Council with proof of payment of the Portable Long Service Leave building construction levy (or proof of appropriate exemption) where the value of the Operational Works exceed \$150,000. Acceptable proof of payment is a Q.Leave –Notification and Payment Form approved by the Authority. Proof of payment must be provided before Council can issue a development permit for the Operational works. This is a requirement of section 77(1) of the Building and Construction Industry (Portable Long Service Leave) Act 1991; and - Making payment of any outstanding Council rates and charges applicable to the development site prior to the lodgement of subdivision plans. - Obtaining any necessary local government/state approvals where works require the installation of temporary ground anchoring into adjacent Road Reserves. Where ground anchoring is proposed into an adjacent private property, approval from the relevant property owners(s) is required
L.	Water usage The use of potable water is not permitted in activities associated with road and pavement construction, the compaction of fill material or dust suppression. The use of recycled water is encouraged, especially where other alternative sources do not exist. Where recycled water is proposed to be used, contact the Gold Coast Water Recycled Water Management Team. More information is available for viewing on Council's website http://www.goldcoast.qld.gov.au/environment/recycled-water-for-industry-7900.html