



VEGETATION MANAGEMENT PLAN

Prepared for: Frasers Property
Australia Pty Ltd
External Trunk Gravity Sewer

ADDRESS: Staplyton Jacobs Well Road, Staplyton

REAL PROPERTY DESCRIPTION: Lot 3 on RP139664, Lot 4 on
WD3607, Pacific Motorway and Staplyton Jacobs Well Road

PREPARED FOR: Frasers Property Australia Pty Ltd

DATE PREPARED: 30 APRIL 2019



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V1.0	Kathryn Tibbles	Mitchell Gassman

Approval for Issue

Version	Name	Position	Signature	Date
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Final Distribution

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1. Introduction

1.1. Background

This Vegetation Management Plan (VMP) has been produced by Gassman Development Perspectives in support of proposed vegetation clearing works required to facilitate the installation of the proposed external trunk sewer pipeline conditioned by the Stage 1 Reconfiguration of Lot and Operational Works approval for an industrial estate development on Lot 501 SP295994 (previously described as Lots 1 on RP6882 and 240 on W31320) with the council reference ROL201800079. The proposed external sewer pipeline corridor is situated adjacent to the Pacific Motorway, Staplyton Jacobs Well Road, and through freehold Lots 3 on RP139664 and 4 on WD3607, Staplyton, QLD.

This VMP is relevant to the land described below;

Road Reserve Parcels

- Segment 35068, parcel 25 (state controlled road)
- Segment 35069, parcel 18 (state controlled road)
- Segment 35069, parcel 74 (state controlled road)
- Segment 35069, parcel 20 (state controlled road)
- Segment 35131, parcel 3 (state controlled road)

Freehold Lots

- Lot 4 on WD3607
- Lot 3 on SP139664

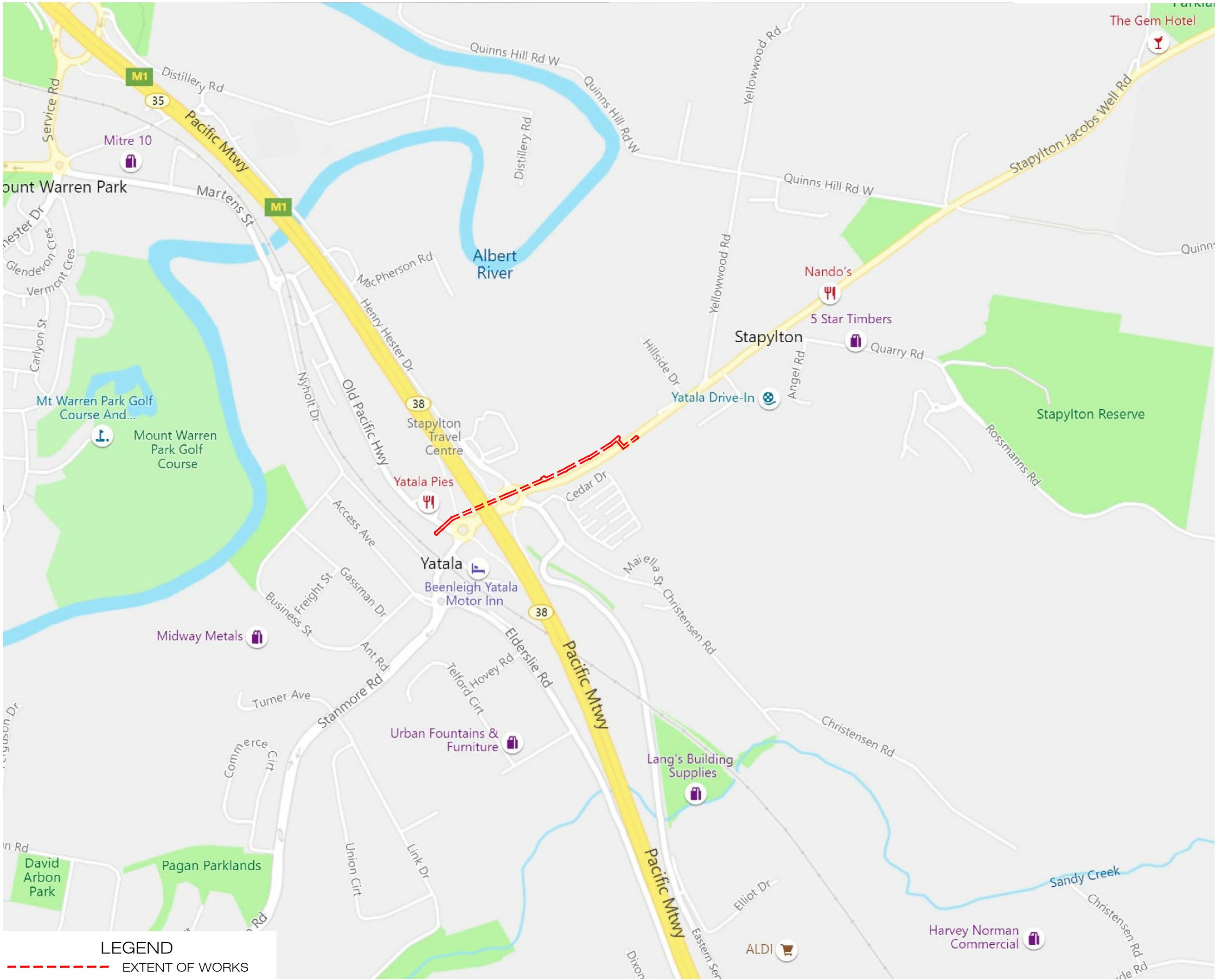
Lots 4 on WD3607 and 3 on RP139664 are mapped within the Open Space Zone of the City of Gold Coast City Plan. The proposed impact corridor runs directly under the Pacific Motorway, and down Staplyton Jacobs Well road, before crossing Staplyton Jacobs Well Road and terminating in the road reserve adjacent to Lot 501 on SP295994. The general location of the proposed sewer corridor is shown in Figure 1. The proposed sewer corridor runs for approximately 850m in length and will have an impact corridor 10m wide. The proposed sewer corridor traverse's road reserve parcels with predominantly planted vegetation, exotic weeds and exotic grasses as can be seen in Figure 2. The front portion of Lot 4 on WD3607 contains mature native vegetation. Surrounding land uses to the north of the impact are largely existing rural uses, with some industrial and residential uses to the south.

Some vegetation clearing will be required to facilitate the installation of the proposed sewer pipeline. The proposed sewer impact corridor will be approximately 10m wide, and 850m in length. As is shown

in Figure 3 below, the proposed sewer line will be installed through the following combination of techniques:

- micro tunnelling;
- tunnel boring; and
- open trenching.

For the purposes of this Vegetation Management Plan, and the Vegetation Clearing Operational Works application, it has been assumed that all vegetation within the proposed sewer 'Extent of Works' impact corridor will be cleared in order to install the sewer. It is noted that the vegetation within the sections of the proposed alignment where micro-tunnelling will be used may not necessarily be cleared on ground. However, it is noted that some damage to tree roots may still occur in these areas, resulting in vegetation dieback. Therefore, for completeness and certainty, all vegetation within the proposed sewer 'extent of works' impact corridor is proposed for removal, regardless of the sewer installation technique.



LEGEND

----- EXTENT OF WORKS



planning | environment | landscape | engineering | survey
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Client:
**FRASERS PROPERTY
(Australia) PTY. LTD.**

Site Address:
**Stapylton-Jacobs Well
Road, Yatala**

RPD:
Lot: .
Plan: .
Local Authority: City of Gold Coast
Level Datum: .
Meridian: .
Contour Interval: .
PSM: .
RL: .

Associated Consultants:

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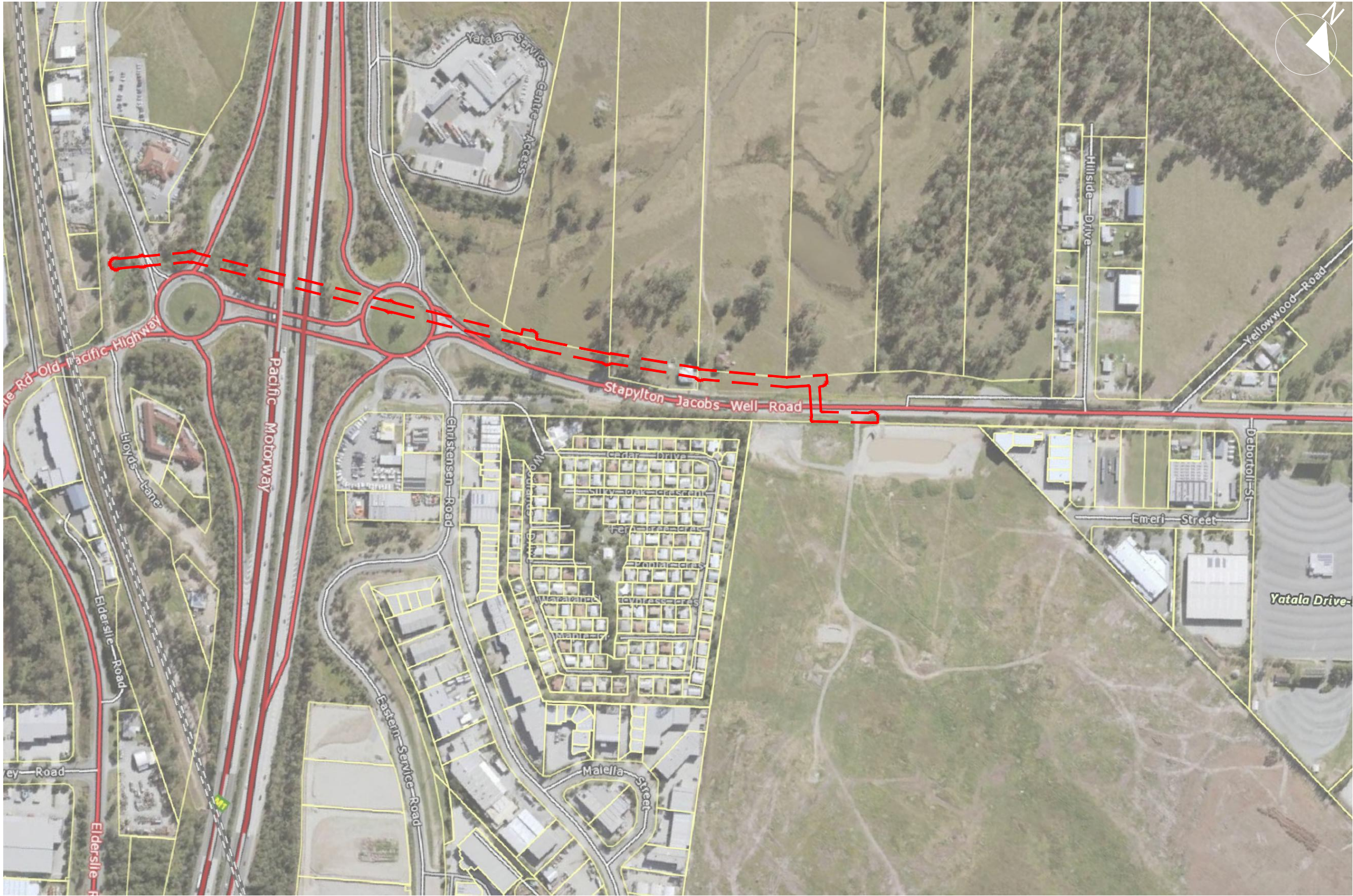
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**LOCALITY
PLAN**

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SITE PLAN

Legend

EXTENT OF WORKS ---

PROPOSED SEWER LINE

Micro-tunnelling —

Open Trench —

Underbore —

DCDB

Google Satellite

NOTE: Plan for Concept Design Only. Final alignment and installation method is subject to detailed design and confirmation of existing services alignments and depths.

Frasers Property (Australia) Pty Ltd

Pacific Motorway and
Stapylton Jacobs Well Road,
Stapylton

Lot: 4; 3
Plan: WD3607; SP139664
Parish:
County:
Local Authority: City of Gold Coast Council
Level Datum: MGA

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Figure 3: Concept Plan
Gravity Sewer Installation

Drawing No:
5941 ENV SIT 00

0 75 150 m



1.2. Survey Methods

Vegetation within the sewer extent of works corridor was surveyed, with individual hand held GPS points recorded in the following instances;

- For any tree greater than 4 metres in height, or
- For any trees over 12cm DBH at 1.4m from the ground, or
- For any trees containing habitat features (irrespective of DBH size).

Details of individual trees recorded on the subject site include the species, trunk diameter, height, canopy spread and fauna use.

In some situations access, access constraints such as the proximity to the Pacific Motorway prevented individually surveyed of individually trees, and in these places vegetation was surveyed in vegetation groups.

The above sampling method is considered to have accurately detailed the native vegetation values present on the site, and is consistent with City of Gold Coast Council's City Plan definition of assessable vegetation.

This information has been used for the best practice management strategies for managing clearing on the site. The records of these trees and groups of vegetation are included in Appendix 1 to this report.

2. Purpose

The principle intention of this VMP is to appropriately reflect the current tree species on the site, their location, management and treatment in relation to removal, retention, protection, relocation, propagation and enhancement.

A total of 130 individual native trees and three (3) vegetation groups were recorded across the subject site. All vegetation within the proposed sewer 'extent of works' corridor, or directly adjacent to the corridor, is proposed to be removed for the purposes of this Vegetation Management Plan and associated application for Operational Works – Vegetation Clearing.

A description of all these tree species and vegetation groups, including a plan showing their locations, is included in Appendix 1 to this report.

3. VMP Provisions

This VMP has been structured in a manner to incorporate the following provisions:

- The location and extents of the proposed areas of vegetation that will be removed, and vegetation that will be protected;
- Particulars of the vegetation occurring on site (Appendix 1);
- A statement of the reasons for the vegetation removal and associated factors;
- Details of procedures relating to the following;
 - Vegetation protection
 - Vegetation to be removed
 - Corrective action
 - Reuse of felled Vegetation
 - Stockpiles
 - Habitat Trees
 - Ecological role of the vegetation to be removed
 - Invasive weed species
 - Summary of performance indicators

4. VMP Objectives

The primary objectives of this VMP are as follows:

- To identify type and location of the site's existing individual trees and vegetation groups (refer to the Vegetation Survey Plan in Appendix 1);
- Identify any existing tree species and vegetation communities adjacent to the proposed clearance area intended for retention and protection;
- Identify tree species that may contain fauna;
- To identify and locate existing tree species required for removal;
- To provide a specific method of tree clearance that will minimise impact on the ecology and surrounding vegetation;
- To provide information for the protection of existing vegetation to be retained;
- To provide sustainable reuse methods for the felled vegetation; and
- To limit any possible erosion from vegetation clearing practices.

5. Reasons for Vegetation Removal

The vegetation present within the proposed sewer extent of works impact zone requires removal for several reasons which include;

- To facilitate access for machinery;
- To facilitate entry and exit holes for micro-tunnelling and underboring;
- To facilitate open trenching excavation;
- To facilitate installation of trunk sewer pipeline conditioned by ROL201800079.

6. Guidelines for clearing

The vegetation shall be removed from the subject site with the following considerations:

- 1) All machine operators conducting the tree clearing process are to have a copy of the approved VMP;
- 2) No site sheds, parking areas or structures are to be located within proximity to vegetation outside the clearance area or under its drip line;
- 3) The area surrounding the tree for removal is clear of any hazards and maintains adequate room to safely conduct the removal;
- 4) The vegetation removal process has focused on providing environmentally sensitive and sustainable practices including:
 - Fauna removal if required; and
 - Reuse of felled material for on site use
- 5) The following activities are prohibited to occur within the vegetation protection zones or drip-lines of trees marked for retention:
 - Machinery or vehicle parking;
 - Disposal of liquids of any type;
 - Repairs or refuelling;
 - Earthworks;
 - Temporary sheds; and
 - Stockpiling (refer to section 7.3).

6.1. Vegetation Protection

Orange barrier mesh tree protection fencing, or orange flagging, will be installed along the extent of limit of clearing works, along the subject site boundary, to prevent any clearing of adjacent vegetation.

6.2. Vegetation to be Removed

All vegetation within the proposed sewer 'extent of works' corridor, or directly adjacent to the corridor, is proposed to be removed for the purposes of this Vegetation Management Plan and associated application for Operational Works – Vegetation Clearing. The individual trees and vegetation groups identified for removal are included in Appendix 1.

7. Tree Clearing Process

The manner by which the vegetation should be removed from the subject site is outlined in the following section:

- 1) A pre-start meeting with an environmental officer from City of Gold Coast Council prior to commencement shall be scheduled.
- 2) No specific prescribed direction of clearance is considered to be necessary. However, the direction of clearing should always be toward areas of retained vegetation and away from roads where practical, or in the direction specified by the spotter catcher supervising clearing.
- 4) Woodchip the felled vegetation on site which cannot be resold or reused as logs.
- 5) Stockpile the wood-chipped vegetation in areas which are adequately set back from the retained vegetation.
- 6) Stump grind remains or remove from ground with excavator.

7.1. Corrective Actions

If a retained tree shows signs of ill health, then the causes are to be identified and amelioration methods are to be discussed with council.

7.2. Reuse of Felled Vegetation

Large trees which produce usable logs should be sold where feasible. Any wood chipped vegetation should be reused on the site in any future landscape, and site stabilisation where appropriate. If a surplus of mulch is produced, it may be transported off site for alternative uses elsewhere.

7.3. Stockpiles

Stockpiles of felled vegetation should be managed with the following considerations:

- Stockpiles are not to be located within 30 metres from retained vegetation.
- Stockpiles are not to be located in areas allocated for road constructions.
- Stockpiles are not to be located in areas with difficult access or on steep slopes.
- Stockpiles are not to exceed 3000mm in height.
- Stockpiles left for longer than 10 hours are to be inspected by a spotter catcher prior to mulching

8. Fauna Inspection

At the time the vegetation survey took place, 11 trees were observed to contain potential fauna habitat features in the form of possible hollows, termite nests or birds nests.

Due to the presence of potential fauna habitat features, a fauna spotter catcher is required to be present on site to inspect all trees within the clearance area prior to the commencement of works to assess whether fauna has taken up residence subsequent to this survey, and present during all clearing works. The fauna spotter catcher should clearly mark trees with flagging tape or coloured spray paint which were observed to contain fauna. The machine operator is to follow instructions from the fauna spotter catcher regarding the method in which marked trees are felled. Clearing is not to commence until the fauna spotter has certified that the site has been fully inspected and any necessary fauna protection measures or relocation procedures implemented.

The spotter catcher should hold a current permit with the Department of Environment and Heritage Protection (EHP). Captured fauna should be relocated to nearby areas deemed appropriate by the spotter catcher.

A pre-start meeting is to be arranged with a City of Gold Coast Environmental Officer prior to the commencement of vegetation clearing. The fauna spotter catcher and consulting ecologist shall be present during the pre-start meeting. The fauna spotter catcher will be present for all clearing works. The fauna spotter catcher will submit a letter or report to Council following the clearing reporting on the details of any fauna rescued, relocated or otherwise.

9. Sediment Control

Erosion and sediment control onsite once the clearing process begins should include sediment fencing around the clearance area to reduce the risks of erosion and subsequent sediment entrainment impacting on adjacent retained vegetation, waterways and wetland areas. These measures should be installed once clearing and reshaping of the site begin until completion and the site is re-stabilised.

Sediment and erosion control measures will be put in place in accordance with the Sediment and Erosion Control Plan included within the engineering plans to be submitted for the Operational Works – Civil Works application for gravity sewer pipeline.

10. Vegetation Clearing Performance Indicators

1. Tree removal was restricted to allocated and approved areas;
2. Trees that remain in protected areas are in a healthy condition;
3. The spotter catcher was present for the removal of any habitat bearing vegetation;
4. Fauna was relocated to suitable recommended locations;
5. No increased erosion or sediment loss occurred from site as a result of the tree clearing; and
6. Felled vegetation has been wood-chipped and stockpiled or logs transported off site where appropriate.

11. Conclusion

A total of 130 individual native trees and three (3) vegetation groups were recorded across the subject site. Of these 130 trees, 11 were observed to contained potential habitat values such as hollows, termite nests or birds nests. All vegetation within the proposed sewer 'extent of works' corridor or directly adjacent to the corridor is proposed to be removed for the purposes of this Vegetation Management Plan and associated application for Operational Works – Vegetation Clearing. The individual trees and vegetation groups identified for removal are included in Appendix 1.

A fauna spotter catcher is required to inspect the vegetation to be removed in association with the operational works approval immediately prior to clearing commencing to ensure that no recent fauna movements place present fauna at risk of death or injury due to clearing activities.

Specific methodologies have been prescribed which are to be adhered to at all times during the clearing process to ensure that best practice is achieved at all times, and the ecological impacts of the proposed works are minimised as far as practicable.

The above specifications and management actions, in conjunction with the tree survey plans in Appendix 1, will provide the necessary information for council officers to make a reasonable assessment of the proposed actions. This report has outlined procedures in relation to the vegetation management and clearing procedures to be undertaken as an operational works component for the installation of the proposed trunk sewer pipeline.

Appendix 1 – Tree Survey Plan



LOCALITY MAP
Scale 1:3000

Note:
All trees within the 'Extent of Works' area defined on this plan are to be removed. Not all trees have been individually surveyed due to access constraints. Some trees outside of the Extent of Works area have also been conservatively identified as 'to be removed' to account for potential root damage as a result of works.

LEGEND

- EXTENT OF WORKS
- TREE TO BE REMOVED
- TREE TO BE RETAINED
- PROPOSED SEWER LINE



Client:
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(Australia) PTY. LTD.

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Road, Yatala

RPD:
Lot: .
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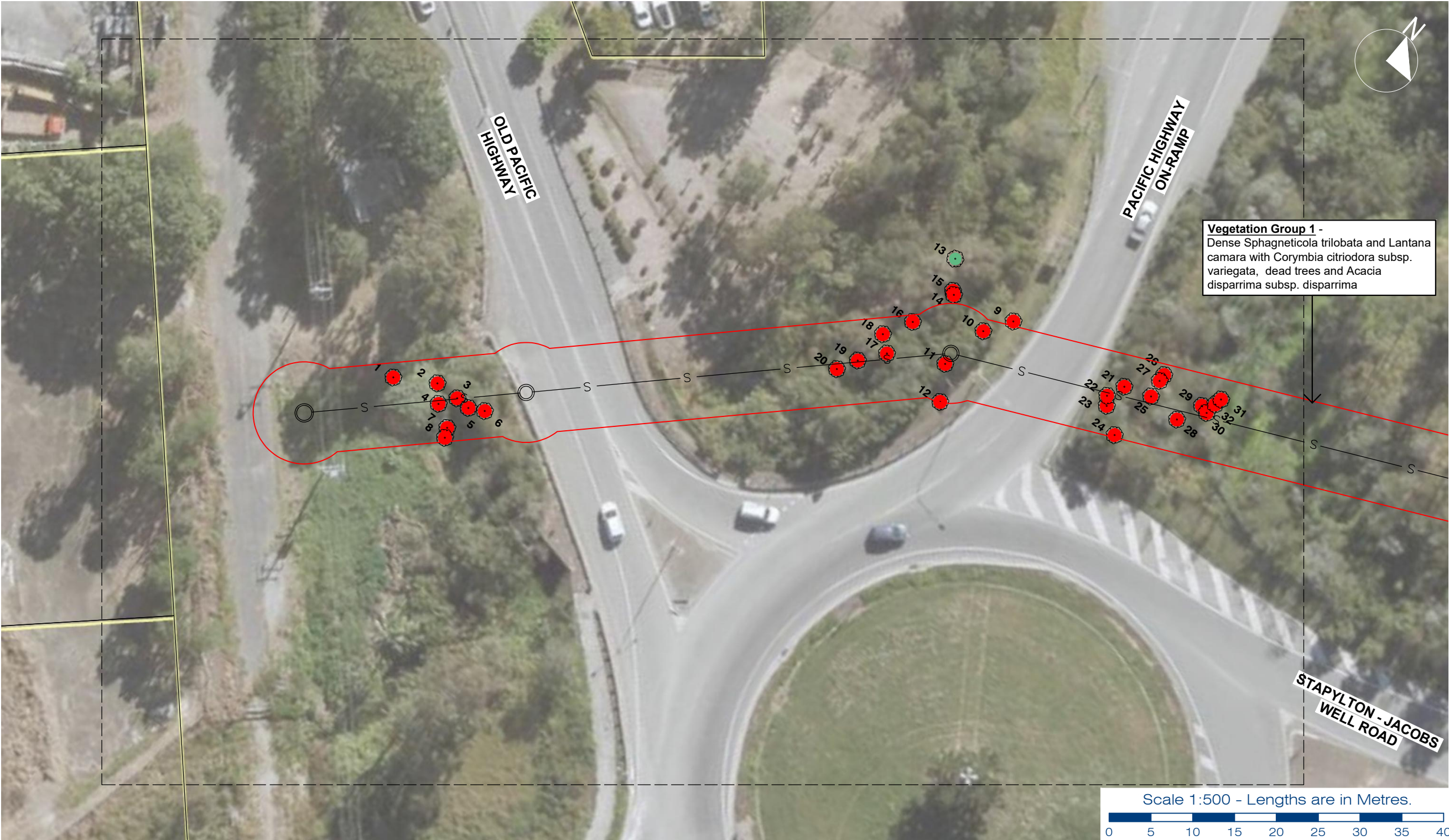
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Drawing Title:

TREE SURVEY
PLAN
(EXTERNAL SEWER)

SHEET 1 OF 5

Drawing No: 5941 ENV TS EXTSEW 001
Rev. No:



Vegetation Group 1 -
Dense Sphagneticola trilobata and Lantana camara with Corymbia citriodora subsp. variegata, dead trees and Acacia disparrima subsp. disparrima

LEGEND

- EXTENT OF WORKS
- TREE TO BE REMOVED
- TREE TO BE RETAINED
- PROPOSED SEWER LINE

Note:
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Drawing Title:
TREE SURVEY
PLAN
(EXTERNAL SEWER)

SHEET 2 OF 5
Drawing No: 5941 ENV TS EXTSEW 001
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Design:

Drawn: SJH

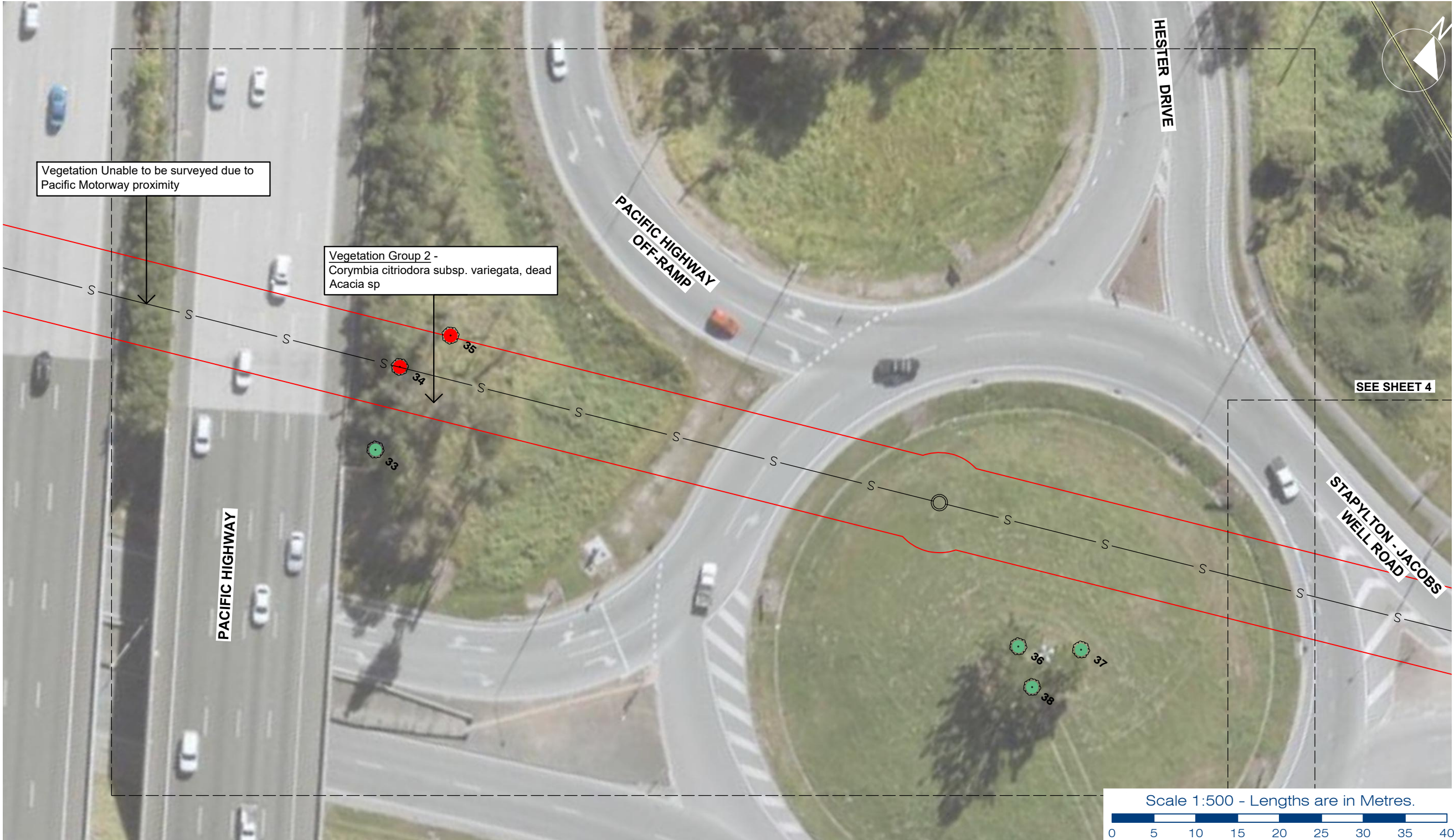
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Drawing Title:

TREE SURVEY PLAN (EXTERNAL SEWER)

SHEET 3 OF 5

Drawing No: 5941 ENV TS EXTSEW 001
Rev. No:



LEGEND

- EXTENT OF WORKS
- TREE TO BE REMOVED
- TREE TO BE RETAINED
- PROPOSED SEWER LINE

Note:
All trees within the 'Extent of Works' area defined on this plan are to be removed. Not all trees have been individually surveyed due to access constraints. Some trees outside of the Extent of Works area have also been conservatively identified as 'to be removed' to account for potential root damage as a result of works.

Client:
FRASERS PROPERTY
(Australia) PTY. LTD.

Site Address:
Stapylton-Jacobs Well
Road, Yatala

RPD:
Lot: .
Plan: .
Local Authority: City of Gold Coast
Level Datum: MGA
Meridian: DCDB
Contour Interval: .
PSM: .
RL: .

Associated Consultants:

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The details of this plan have been prepared based on the most current Digital Cadastral Data Base (DCDB) information available from Queensland Department of Natural Resources, Mines and Energy and is subject to survey.

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-	30/04/20	ORIGINAL ISSUE	SJH	KT
Issue	Date	Description	DRN	CHK

Scale at A3: 1:500

Date: 30-04-20

Design:

Drawn: SJH

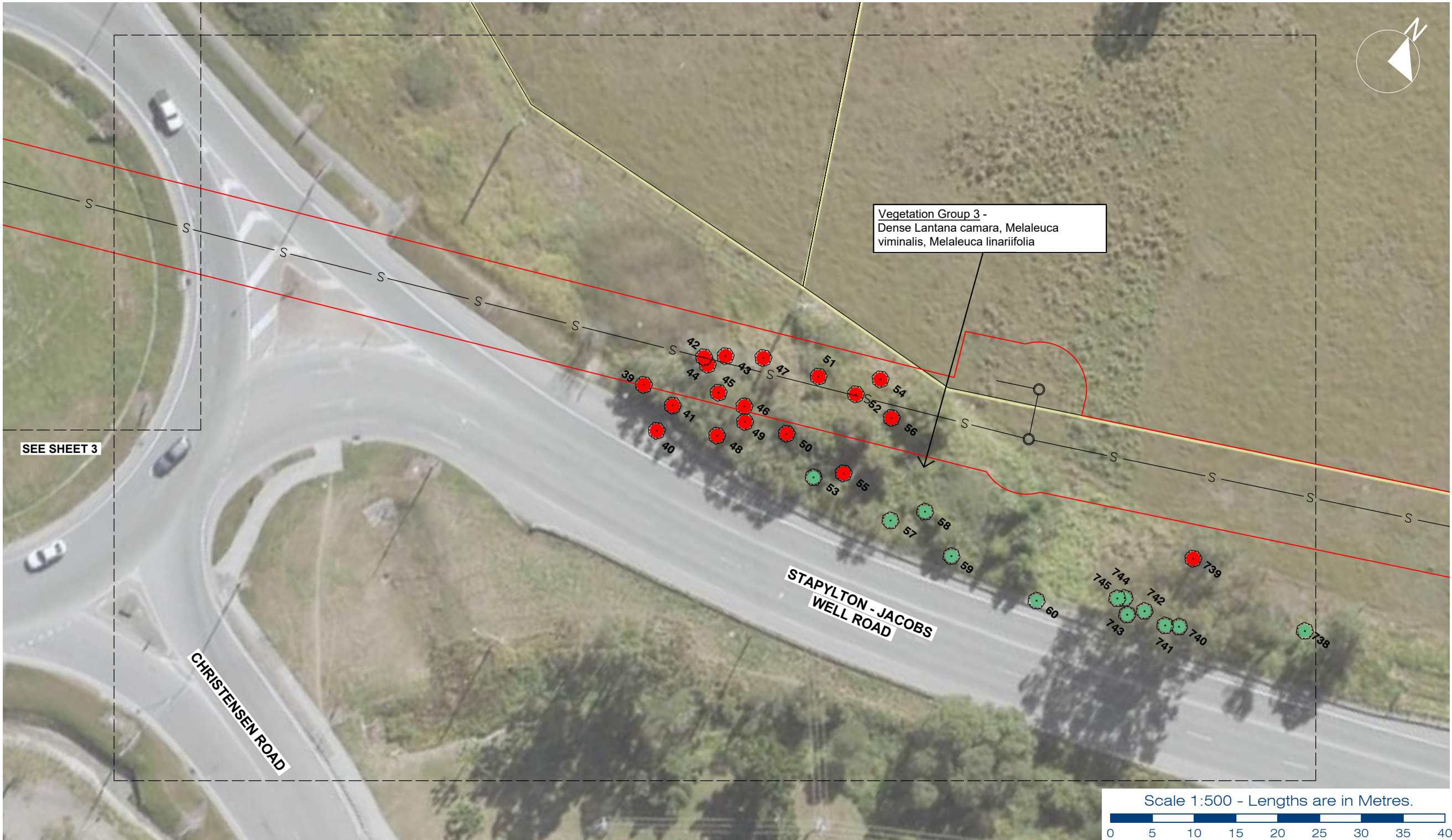
Checked: KT

Drawing Title:

TREE SURVEY PLAN (EXTERNAL SEWER)

SHEET 4 OF 5

Drawing No: 5941 ENV TS EXTSEW 001
Rev. No:



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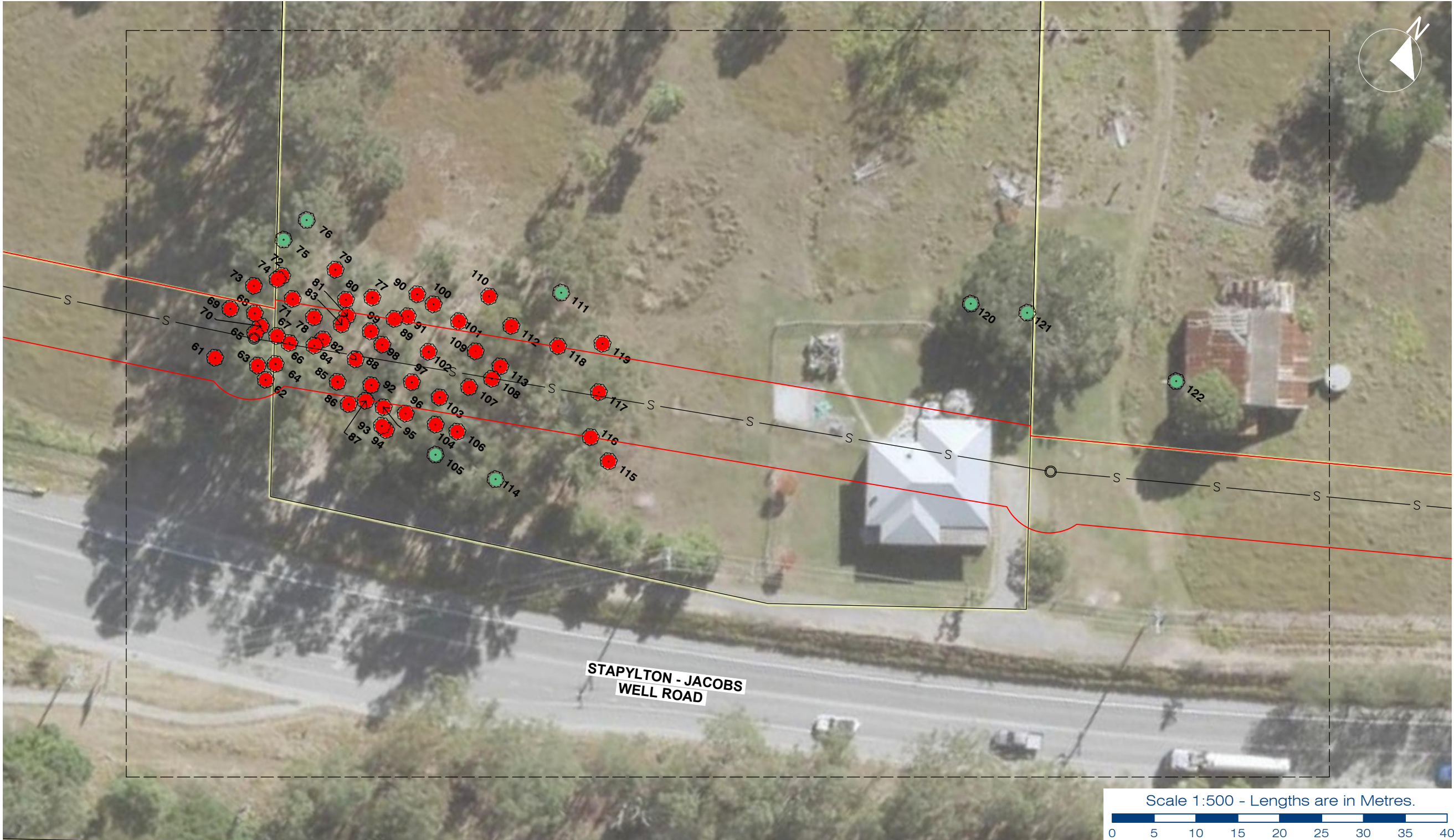
Checked:
KT

Drawing Title:

TREE SURVEY
PLAN
(EXTERNAL SEWER)

SHEET 5 OF 5

Drawing No: 5941 ENV TS EXTSEW 001
Rev. No:



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Tree Number	Species name	Height	DBH (cm)	Canopy spread	Habitat Features
1	Eucalyptus tereticornis	18	6	3	
2	Melaleuca viminalis	8	6	4	
3	Melaleuca viminalis	7	6	5	
4	Melaleuca viminalis	16	6	7	
5	Melaleuca viminalis	6	5	4	
6	Acacia disparrima subsp. disparrima	10	7	3	
7	Melaleuca viminalis	7	8	3	
8	Dead				
9	Melaleuca viminalis	8	6	4	
10	Melaleuca viminalis	9	7	5	
11	Melaleuca viminalis	6	6	5	
12	Melaleuca viminalis	7	5	5	
13	Melaleuca linariifolia	12	6	4	
14	Melaleuca linariifolia	16	6	5	
15	Melaleuca quinquenervia	28	7	7	
16	Melaleuca linariifolia	25	9	6	
17	Melaleuca linariifolia	26	8	5	
18	Melaleuca quinquenervia	22	8	6	
19	Melaleuca linariifolia	15	7	6	
20	Melaleuca linariifolia	21	7	5	
21	Melaleuca viminalis	4	5	3	
22	Melaleuca viminalis	4	5	5	
23	Melaleuca viminalis	5	5	4	
24	Corymbia torelliana	17	7	4	
25	Acacia disparrima subsp. disparrima	3	5	4	
26	Silver wattle	5	5	5	
27	Acacia disparrima subsp. disparrima	12	6	5	
28	Acacia podalyriifolia	5	6	3	
29	Dead				
30	Dead				
31	Dead				
32	Alphitonia excelsa	6	6	4	
Vegetation Group 1	Dense Sphagneticola trilobata and Lantana camara with Corymbia citriodora subsp. variegata, dead trees and Acacia disparrima subsp. disparrima				
33	Corymbia citriodora subsp. variegata	35	25	7	
34	Corymbia citriodora subsp. variegata	32	22	6	

Tree Number	Species name	Height	DBH (cm)	Canopy spread	Habitat Features
Vegetation Group 2	Corymbia citriodora subsp. variegata, dead Acacia sp,				
35	Acacia disparrima subsp. disparrima	15	8	6	
36	Araucaria cunninghamii	30	18	8	
37	Araucaria cunninghamii	35	20	10	
38	Araucaria cunninghamii	45	19	10	
39	Melaleuca viminalis	6	5	5	
40	Melaleuca viminalis	7	5	4	
41	Melaleuca viminalis	8	4	4	
42	Melaleuca linariifolia	12	6	6	
43	Dead				
44	Melaleuca viminalis	7	5	4	
45	Melaleuca viminalis	7	6	4	
46	Melaleuca viminalis	6	4	3	
47	Melaleuca quinquenervia	18	7	3	
48	Melaleuca viminalis	7	5	3	
59	Melaleuca viminalis	8	5	3	
50	Melaleuca salicina	7	5	3	
51	Melaleuca linariifolia	25	7	5	
52	Melaleuca linariifolia	15	6	5	
53	Melaleuca viminalis	13	6	5	
54	Melaleuca linariifolia	16	7	4	
55	Melaleuca viminalis	6	5	4	
56	Melaleuca salicina	6	5	4	
57	Melaleuca viminalis	6	5	4	
58	Acacia leiocalyx	6	4	3	
Vegetation Group 3	Dense Lantana camara, Melaleuca viminalis, Melaleuca linariifolia,				
59	Melaleuca viminalis	6	4	4	
60	Ficus watkinsonia	60	12	10	
61	Eucalyptus tereticornis	25	10	7	
62	Eucalyptus tereticornis	48	18	10	Possible hollows
63	Eucalyptus siderophloia	20	7	4	Termite
64	Eucalyptus tereticornis	33	19	6	Koala scat search conducted – no scats found
65	Eucalyptus tereticornis	22	7	4	
66	Eucalyptus siderophloia	28	16	5	
67	Eucalyptus tereticornis	22	10	3	
68	Eucalyptus tereticornis	8	8	3	

Tree Number	Species name	Height	DBH (cm)	Canopy spread	Habitat Features
69	Eucalyptus tereticornis	35	16	8	
70	Eucalyptus tereticornis	25	8	7	
71	Eucalyptus tereticornis	30	14	6	
72	Eucalyptus tereticornis	20	18	8	
73	Eucalyptus tereticornis	50	20	10	
74	Eucalyptus tereticornis	16	15	4	
75	Corymbia torelliana	28	10	5	
76	Eucalyptus tereticornis	45	22	10	Possible hollows
77	Eucalyptus tereticornis	40	16	7	
78	Eucalyptus siderophloia	25	17	6	
79	Eucalyptus siderophloia	7	8	3	
80	Eucalyptus tereticornis	15	14	5	
81	Eucalyptus tereticornis	17	12	6	
82	Eucalyptus tereticornis	20	13	5	
83	Eucalyptus tereticornis	35	23	9	
84	Eucalyptus siderophloia	10	8	4	
85	Eucalyptus siderophloia	10	12	6	
86	Corymbia intermedia	16	11	6	
87	Eucalyptus siderophloia	10	9	6	
88	Eucalyptus tereticornis	12	12	5	
89	Eucalyptus tereticornis	38	25	12	Possible hollows
90	Eucalyptus tereticornis	28	14	8	
91	Dead				
92	Eucalyptus tereticornis	10	7	2	
93	Eucalyptus tereticornis	35	12	5	Koala scat search conducted – no scats found
94	Corymbia intermedia	25	10	4	
95	Dead				Possible hollows
96	Corymbia intermedia	6	5	2	
97	Eucalyptus tereticornis	25	12	6	
98	Eucalyptus siderophloia	10	8	4	
99	Eucalyptus siderophloia	6	8	2	
100	Eucalyptus siderophloia	45	10	5	Possible hollows
101	Dead				
102	Eucalyptus tereticornis	28	10	5	
103	Eucalyptus tereticornis	35	22	8	
104	Eucalyptus tereticornis	35	21	7	
105	Corymbia intermedia	13	14	5	
106	Eucalyptus tereticornis	20	18	7	
107	Eucalyptus tereticornis	8	8	4	
108	Eucalyptus tereticornis	25	17	9	

Tree Number	Species name	Height	DBH (cm)	Canopy spread	Habitat Features
109	Eucalyptus crebra	45	25	10	Possible hollows, Koala scat search conducted – no scats found
110	Eucalyptus tereticornis	30	16	8	
111	Eucalyptus tereticornis	50	23	10	Possible hollows, Koala scat search conducted – no scats found
112	Eucalyptus siderophloia	12	15	6	
113	Eucalyptus siderophloia	35	14	8	Possible hollows
114	Eucalyptus siderophloia	36	20	9	
115	Eucalyptus siderophloia	20	8	3	
116	Eucalyptus tereticornis	120	26	12	Possible hollows, Koala scat search conducted – no scats found
117	Eucalyptus tereticornis	25	10	5	
118	Eucalyptus siderophloia	35	19	10	
119	Corymbia intermedia	15	8	5	
120	Cupaniopsis anacardioides	40	10	19	
121	Ficus obliqua	300	10	12	Possible hollows
122	Corymbia torelliana	30	15	10	
738	Acacia concurrens	20	10	6	
739	Eucalyptus tereticornis	35	14	8	
740	Eucalyptus tereticornis	30	14	8	
741	Eucalyptus tereticornis	30	14	8	
742	Eucalyptus tereticornis	25	10	8	
743	Eucalyptus tereticornis	25	12	6	
744	Eucalyptus tereticornis	30	12	8	
745	Eucalyptus tereticornis	20	12	5	

Appendix 2 – COGC Vegetation Management Code Response

City Plan code template

This code template supports the preparation of a development application against either the acceptable outcome(s) or performance outcome(s) contained in the code. Development assessment rules are outlined in **Section 5.3.3** of the City Plan.

Please note:

For assessment against the overall outcomes, refer to the appropriate code.

Note: The whole of the planning scheme is identified as the assessment benchmark for impact assessable development. This specifically includes assessment of impact assessable development against this strategic framework. The strategic framework may contain intentions and requirements that are additional to and not necessarily repeated in zone, overlay or other codes. In particular, the performance outcomes in zone codes address only a limited number of aspects, predominantly related to built form. Development that is impact assessable must also be assessed against the overall outcomes of the code as well as the strategic framework.

9.4.14 Vegetation management code

9.4.14.1 Application

This code applies to assessing material change of use, reconfiguring a lot or operational work for development where indicated within **Part 5 Tables of assessment**.

When using this code, reference should be made to **Section 5.3.2** and, where applicable, **Section 5.3.3**, in **Part 5**.

The requirements for accepted development in Part A of this code provide guidance on what is considered acceptable damage to assessable vegetation before it becomes assessable development. Each required outcome in Part A will apply to a particular circumstance. The table below outlines the applicable provision relating to the type of damage.

Damage type	Provision(s)
Vegetation close to property boundaries	RO1 – RO2
Vegetation close to buildings	RO3
Vegetation close to pool fencing	RO4
Pest species vegetation	RO5
Threatening vegetation	RO6
Damage to vegetation for fire safety	RO7
Damage on agricultural land	RO8
Vegetation maintenance	RO9

Damage type	Provision(s)
All damage not described in the required outcomes	PO1
Note: The required outcomes in Part A of this code will not apply to vegetation that is identified under a vegetation protection order or planted as an approved landscape plan or condition of approval.	
Note: For general guidance on pruning and managing the growth of vegetation refer to <i>AS4373–2007 Pruning of amenity trees</i> .	
Note: Vegetation clearing must not result in harm to native wildlife. Where native wildlife is present it is recommended that a licensed wildlife spotter/catcher be employed to oversee works.	

9.4.14.2 Purpose

- (1) The purpose of the Vegetation management code is to provide for the protection and management of assessable vegetation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Vegetation of environmental, historical, cultural, visual and character significance is retained.
 - (b) Vegetation is retained to provide habitats for threatened flora and fauna, prevent erosion and ensure slope stabilisation.
 - (c) Damage to assessable vegetation is only undertaken if it directly obstructs approved development or is a threat to persons or property.
 - (d) Vegetation management plans are prepared for development which has the potential to cause damage to vegetation.
 - (e) Any potential damage caused to vegetation by development is extensively investigated and mitigated.

9.4.14.3 Specific benchmarks for assessment

Table 9.4.14-2: Vegetation management code – for assessable development

Performance outcomes	Acceptable outcomes	Does the proposal meet the acceptable outcome? If not, justify how the proposal meets <u>either</u> the performance outcome or overall outcome	Internal use
Vegetation management plan			
PO1 Damage to assessable vegetation does not occur where the vegetation: (a) provides habitats for threatened flora and fauna; (b) is of historical, cultural or visual significance; (c) provides erosion prevention and slope stabilisation; (d) is necessary to maintain the	AO1 A Vegetation Management Plan, prepared by a suitably qualified person, is submitted as part of an Operational Work (Vegetation Clearing) application to show compliance with the Performance outcome. This plan includes, but is not limited to: (a) the location of the existing or approved dwellings, building or structures;	Complies with AO1 – A Vegetation Management Plan has been prepared by a suitably qualified person and submitted with the application.	

Performance outcomes	Acceptable outcomes	Does the proposal meet the acceptable outcome? If not, justify how the proposal meets <u>either</u> the performance outcome or overall outcome	Internal use
character of the local area; or (e) assists in the conservation of the city's biodiversity. Note: A Vegetation Management Plan, prepared in accordance with SC6.8 City Plan policy – Environmental management plans is the Council's preferred method of addressing this performance outcome.	(b) the location of waterways, ridge tops and steep slopes (greater than 25%) on and adjacent to the site; (c) the location of the assessable vegetation to which the damage is proposed, and reasonable particulars of its vegetation type, including species, height and girth and whether it is: • habitat for threatened flora and fauna; • of historical, cultural, character or visual significance; • essential for erosion prevention and slope stabilisation, including within waterway buffers; • significant to the conservation of the city's biodiversity; • vegetation that contributes to waterway and wetland health. (d) a statement of the reasons for the damage and any relevant factors associated with the purpose of the proposed damage; (e) particulars of how vegetation to be retained will be protected during works in accordance with <i>AS4970–2009 Protection of trees</i> on development sites; (f) particulars of how the vegetation is to be damaged and, if relevant, how the damaged material is to be removed or disposed of; (g) a plan indicating the location, size and species of replacement vegetation to compensate for the		

Performance outcomes	Acceptable outcomes	Does the proposal meet the acceptable outcome? If not, justify how the proposal meets <u>either</u> the performance outcome or overall outcome	Internal use
	loss of damaged vegetation; and (h) a staging plan for clearing greater than 4ha of vegetation. Note: To remove a single tree on residential premises only a basic Vegetation Management Plan is required to be submitted to Council. The Vegetation Management Plan can be prepared by the property owner and may only require limited details about the above elements. Guidance on the content of a Vegetation Management Plan can be found in SC6.8 City Plan policy – Environmental management plans.		