

OUR REF: 5941-ENG

YOUR REF: OPW/2020/633

12 June 2020

City Development
Gold Coast City Council
PO Box 5042
GOLD COAST MAIL CENTRE QLD 9729

Attention: Ms. Liza Teo

Dear Liza,

**RE: RESPONSE TO INFORMATION REQUEST FOR OPW/2020/633
CIVIL WORKS FOR STAGE 1 OF THE VANTAGE, YATALA INDUSTRIAL
DEVELOPMENT**

Property: Lot 501 on SP295994 – 60 Stapylton Jacobs Well Road Stapylton QLD

We act on behalf of the Applicant, Frasers Property Australia Pty Ltd, and provide the following response to Council's Information Request dated 5 June 2020. Given the nature of the response, the Applicant considers this to be a full response to the information request.

OPERATIONAL WORKS ASSESSMENT

1 Portable Long Service Levy payment

In accordance with section 77(2) of the Building and Construction Industry (Portable Long Service Leave) Act 1991, Council cannot issue a development permit for Operational Works unless it has sighted –

- i. An approved form issued by the Authority that clearly shows –*
 - 1. That the levy or the first instalment of the levy has been paid; or*
 - 2. That an exemption from payment of the levy exists in relation to the work;**or*
 - 3. That an exemption from immediate payment of the levy exists in relation to the work; or*
- ii. Written advice from the Authority stating something mentioned in paragraph (a).*

Please provide evidence that section 75 of the Act with respect to payment of the levy has been complied with. Portable Long Service Levy (QLLeave)

GDP Response:

Council's item is acknowledged, and it is confirmed that the applicant will provide a copy of QLeave's Notification and Payment Confirmation Form for the Stage 1 civil works as prior to an approval being issued.

2 *New Roads and Footpaths*

- i. Show approved road names on the civil works plan as per requirement of condition 31 of overriding approval (MIN/2019/761)*

GDP Response:

The approved road names are shown on the amended engineering drawing set contained within Attachment 2. Through the road naming approval process with Council "Panorama Drive" has changed to "Homestead Drive" and "Fairway Drive" has changed to "Fairway Street". These changes have been reflected in the latest engineering drawings. A copy of Council's letter approving the street names for Stage 1 is contained within **Attachment 1**.

- ii. Confirm that the road has been designed in accordance with the overriding approval (MIN/2019/761) Condition 18 for new roads/intersections.*

GDP Response:

The applicant confirms that all roads have been designed with road geometry (cross-section profile) to an Industrial Collector Street classification – 23m road width comprising 4.5m wide verges, 3.5m parking lanes and 2 x 3.5 moving lanes along barrier kerb and channel being specified to all roads in accordance with Condition 18 of MIN/2019/761.

- iii. Confirm that the footpath has been designed in accordance with the overriding approval (MIN/2019/761) Condition 19 for footpath requirements.*

GDP Response:

The applicant confirms that 1.5m wide footpaths have been provided to both sides of all roads within the Stage 1 extent in accordance with Condition 19 of MIN/2019/761.

3 *Water and Sewer Plans*

- a. It is preferred that water mains and sewer mains are located on opposite sides of the road. Please investigate options and amend accordingly.*

GDP Response:

The submitted potable water and sewer reticulation layout plans already accommodate this where possible. In scenarios where the services are proposed on the same side (example being along Homestead Drive) the moving of a service such as the potable water to the eastern verge of Homestead Drive where there are no proposed lot connections would introduce a significant additional number of road crossings and valves and hydrants as end of line arrangements to Council's reticulation network. Based on this the sewer and water alignments as proposed have been retained.

b. Horizontal separation between water and sewer, where on same side of road, to be minimum 1m.

GDP Response:

The alignments of the sewer and water reticulation networks proposed are consistent with the boundary offsets previously requested and approved by GCWW and subsequently constructed as part of recent OPWs within nearby industrial developments. Examples are OPW/2018/2459 and OPW/2019/268 which are the precedence on which this design is based.

c. Show clearance where water main is located adjacent to sewer maintenance structures including provision for thrust restraint.

GDP Response:

Additional clearance markers where water main is located adjacent to sewer maintenance structures including provision for thrust restraints has been shown on the amended engineering drawing contained within Attachment 2 of this response.

d. Please show the connection detail to the trunk sewer at Stapylton Jacobs Well Road (structure S1/1).

GDP Response:

The connection arrangement for the Stage 1 sewer reticulation is via the 150mm diameter stub to be provided off the external trunk gravity sewer (Council Ref: OPW/2020/674). This is reflected in the plan view form (drawing no. 600) and the associated live works schedule along with being detailed on the associated long section (drawing no. 610).

e. All maintenance holes shall be provided with internal corrosion protection in accordance with WSAA Gravity Sewerage Code of Australia – SEQ Edition Version 2.0 (July 2019), cl 7.6.2.

GDP Response:

The requirement for internal corrosion protection is noted on each the existing plan view sewer drawings. The structures requiring the internal corrosion protection are also noted within each respective long section. A screenshot of the location on the long section plans where this requirement is note is shown below for reference.

MAINTENANCE HOLE / SHAFT NAME	S1/1	S2/1	S3/1	S4/1	S5/1	S6/1	S7/1	S8/1	S9/1	S10/1	S11/1	S12/1
MH / MS COVER TYPE	EN503	-	D	D	D	D	D	D	D	D	D	D
MH / MS TYPE	EN503	BNO	P3	P3	P3	P3	P3	P3	P3	P3	P3	P3
MH / MS DROP TYPE	EN503.2	-	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
LINE DEFLECTION ANG. & BRANCHES	EN503	2	2	2	2	2	2	2	2	2	2	2
PROPERTY CONNECTION TYPE	-	-	Y	-	-	X	-	X	Z	Z	Z	Z
INTERNAL CORROSION PROTECTION	EN503	-	Y	Y	Y	Y	Y	Y	N	N	N	N

f. Vertical clearance between sewer and water mains shall be a minimum 500mm in accordance with Water Supply Code of Australia – SEQ Service Providers Edition Version 1.3 (August 2019), Table 5.5.

GDP Response:

The abovementioned requirement of the SEQ code is noted and is complied with at the crossing locations of the sewer and water mains. Additional depth has been added to a number of the sewer property connections to ensure this is adhered to as reflected in the amended engineering drawings contained within Attachment 2.

g. Minimum sewer gradient shall be 1:100 for the first ten lots in accordance with the design criteria. Examples: Line 3 shows 1:180 between structure S3/3 and S2/3, Line 2 shows 1:180 between structures S11/2 and S10/2. Please amend.

GDP Response:

The abovementioned requirement of the SEQ code noted. Due to the size of the allotments and industrial classification of the land the contributing flow for each respective lot is much higher and provides the required cleansing velocity to the gravity main well before the 10 lot minimum typically applicable to a residential development. As an example Line S2/3 to S3/3 which services Lot 121 is 2.024Ha is size which at 16ET/Ha equates to just over 32ET. This provides a suitable flow to achieve cleansing velocity of the line without the need to steepen to 1:100. Line S11/2 to S10/2 has been steepened to 1:100 as per the amended engineering drawings contained within Attachment 2.

h. MH covers are to be composite type.

GDP Response:

Council's request to utilise composite type manhole covers is noted and the amended sewer plans contained within Attachment 2 of this response incorporate this request.

i. Show water main connection detail at Stapylton Jacobs Well Road.

GDP Response:

The water main connection along Stapylton Jacobs Well Road is detailed as part of the external 225mm dia. water main relocation drawing set currently with Council for approval (Council Ref: OPW/2020/650). As part of the relocation of the external 225mm dia. potable water main required to facilitate the external signalised intersection into Stage 1, a 150mm dia. end of line arrangement is provided for connection of the stage 1 water main. This is reflected on drawing no. 5941 ENG OPW1 700 in both plan view and detailed within the live works schedule on the plan.

j. With reference to drawing: Water Reticulation Layout Plan Sheet 2 OF 4, Drawing number 5941 ENG OPW1 701 Revision A, Detail A, City of Gold Coast prefers Cut-in connection as shown on standard drawing SEQ-WAT-1105-1, Cut-In With Valve Into Existing Main. Please amend.

GDP Response:

Detail 'A' within drawing no. 5941 ENG OPW1 701 has been amended to show the Cut-in connection detail with the two DICL shorts either side of the new tee as per standard drawing SEQ-WAT-1105-1. The amended engineering drawing is contained within Attachment 2 of this response.

k. Hydrants are to be located at high and low points (refer cl 8.8.10). Spacing of hydrants to be in accordance with cl 8.8.8 and location of hydrants to be in accordance with cl 8.8.9 of Water Supply Code of Australia – SEQ Service Providers Edition Version 1.3 (August 2019). Please review and amend accordingly.

GDP Response:

Council's comments regarding the abovementioned hydrant requirements are noted and have been incorporated into the drawing set as required. The amended engineering drawings are contained within Attachment 2 of this response.

We feel that the above information satisfactorily responds and addresses all the matters raised as part of the Information Request and we look forward to a timely and favourable determination of the application.

If you require any further information or have any queries, please contact the undersigned.

Yours faithfully,

GASSMAN DEVELOPMENT PERSPECTIVES



MITCHELL GASSMAN

CIVIL PROJECT ENGINEER

Enclosed

Attachment 1 – GCCC's Street Naming Approval Correspondence

Attachment 2 – Amended Engineering Drawing Set & Drawing Transmittal

ATTACHMENT 1 – GCCC’s Street Naming Approval Correspondence

Date: 9 June 2020
Contact: Donna Sutton
Location: City Development
Telephone: 07 5582 9051
Your reference: Fraser Gassman
Our reference: STR/2020/13

Fraser's Property
C/- Gassman Development Perspectives
PO Box 392
BEENLEIGH QLD 4207

Dear Sir

CONDITIONS FOR NEW STREET NAMES

Property Description	LOT 501 SP295994
Location	60 STAPYLTON JACOBS WELL ROAD STAPYLTON

I refer to your correspondence of 5 June 2020 requesting City of Gold Coast (City) approval of the following street names: Homestead Drive, Eastridge Street, Fairway Street, and Emeri Street (extension) and wish to advise that approval is granted subject to the following conditions:

- 1 The City only grants approval of a street name in relation to the number of streets shown on the approval plan. Any changes to these names will require further approval from the City;
- 2 Approval for the above street names will lapse at the time of expiry of the subdivisional approval;
- 3 All streets and approved street names shall be delineated on the OPW application; and
- 4 All official traffic signs as defined under the *Transport Operations (Road Use Management) Act 1995* which are to be installed in road reserve shall be detailed on the OPW application, i.e. any sign, marking, light or device placed or erected to regulate, warn or guide traffic in a road or road-related area.

Contacting us

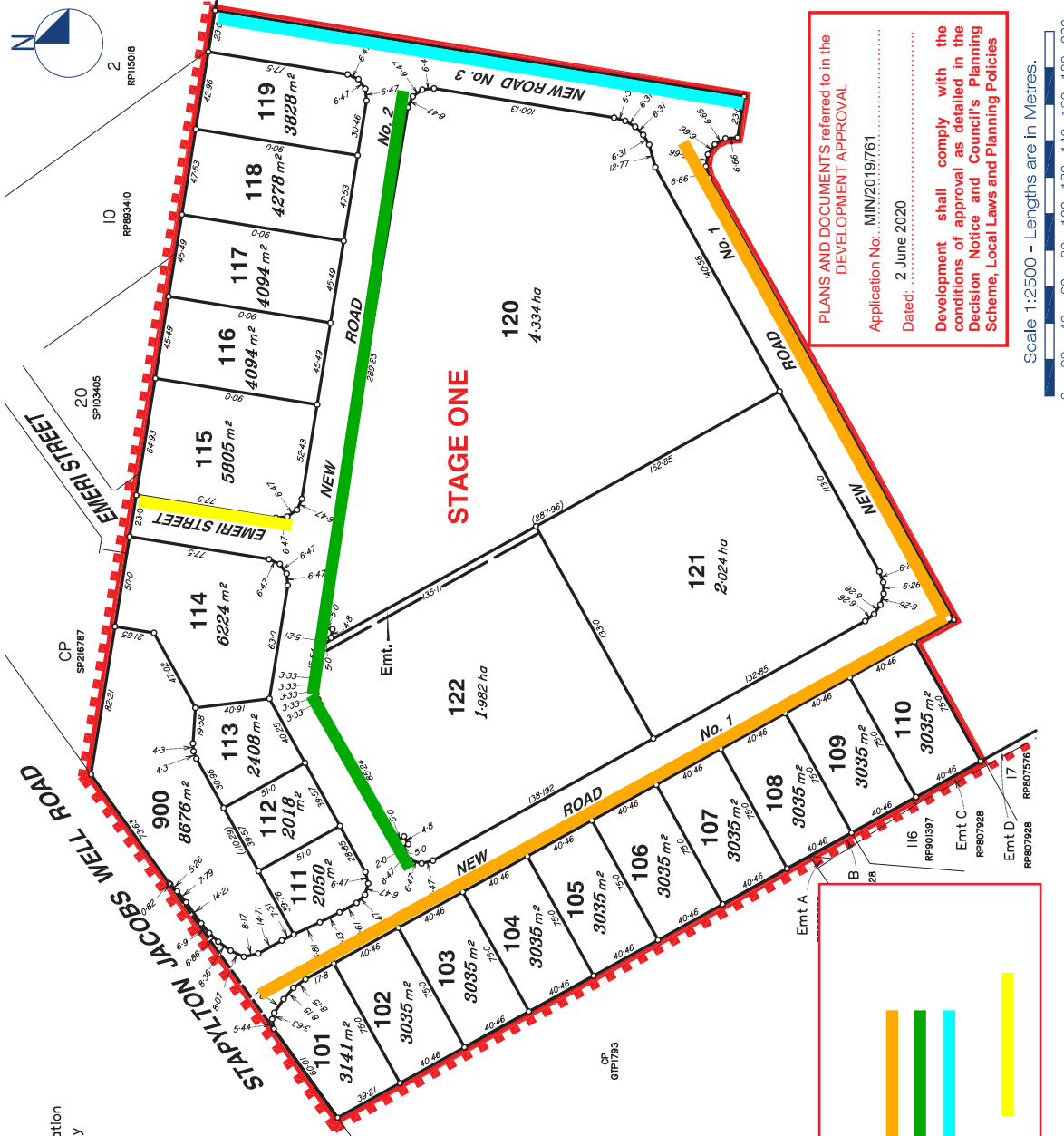
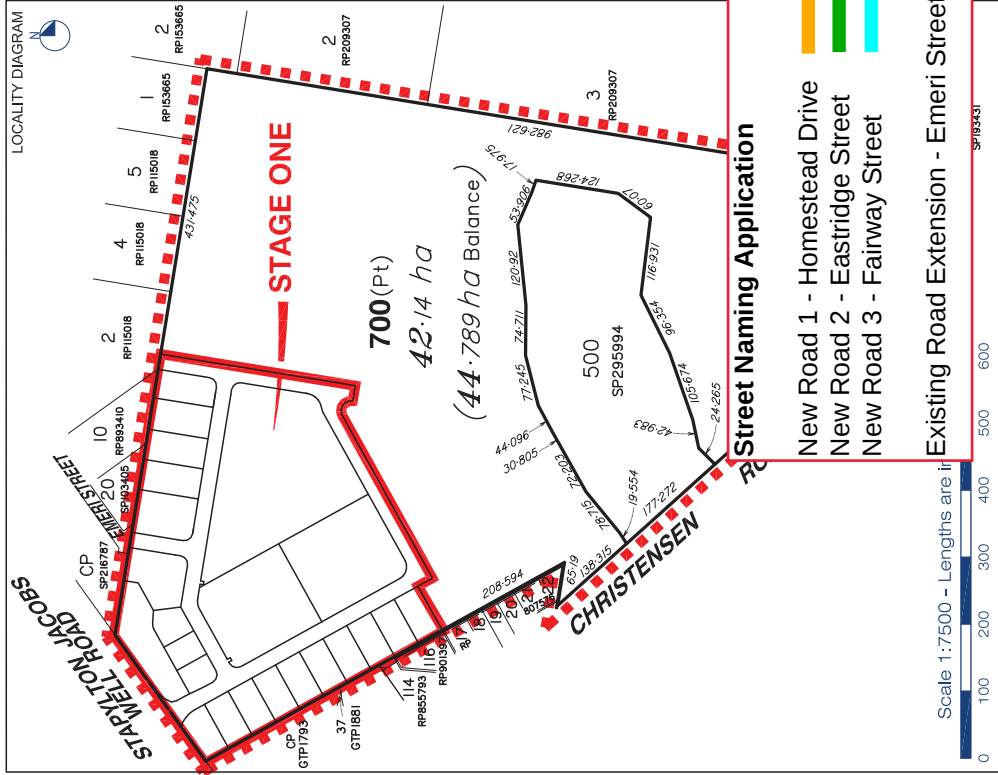
Should you wish to clarify any issues relating to this matter, please do not hesitate to contact Donna Sutton Technical Officer Street Naming on telephone number 07 5582 9051.

Yours faithfully



Angela Kingston
Supervisor Infrastructure Compliance
For the Chief Executive Officer
Council of the City of Gold Coast

DEVELOPMENT SUMMARY			
Total Site Area 64.239ha			
LOT YIELD	STAGE AREA	LOT DENSITY	STAGE AREA & LENGTH OF NEW ROAD
22 Lots	13.34 ha	1.13 Lots/ha	3,636 m ² 1,560m



Street Naming Application

- New Road 1 - Homestead Drive
- New Road 2 - Eastridge Street
- New Road 3 - Fairway Street

Existing Road Extension - Emmeri Street

Scale 1:7500 - Lengths are in Metres.



Scale 1:2500 - Lengths are in Metres.



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Project:

Scale at A3:

Date: 18-12-19

Design: ICG

Drawn: SJH

Check: AWG

Client:

Issue 1 Date Description

18/12/2019 A32 PLATS IN LOTS 128 & 129 SH1 AWD

14/11/2019 ORIGINAL ISSUE SH1 AWD

Issue 1 Date Description

18/12/2019 A32 PLATS IN LOTS 128 & 129 SH1 AWD

14/11/2019 ORIGINAL ISSUE SH1 AWD

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Drawing Title:

Proposed Staged Reconfiguration of Land STAGE ONE

Cancelling Lot 501 on SP295994

Drawing No: 5941 S ROL 01 A

Revision No:

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2019/761

Dated: 2 June 2020

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

ATTACHMENT 2 – Revised Engineering Drawings & Drawing Transmittal

To: **City of Gold Coast Council**

Address : **PO Box 5042**
GCMC 9726

Attention: **Development Assessment**



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PROJECT:

OPERATIONAL WORKS APPLICATION FOR CIVIL WORKS STAGE 1 VANTAGE YATALA (INDUSTRIAL DEVELOPMENT)

Job No: 5941

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5941 ENG OPW1 003	GENERAL NOTES SHEET 2 OF 3	A	A	A								
5941 ENG OPW1 003	GENERAL NOTES SHEET 3 OF 3	A	A	A								
5941 ENG OPW1 005	LEGEND	A	A	A								
5941 ENG OPW1 006	KEY PLAN LAYOUT	A	A	B								
5941 ENG OPW1 010	EXISTING SURFACE AND FEATURE PLAN	A	A	A								
5941 ENG OPW1 020	EMERI STREET DEMOLITION AND PROTECTION LAYOUT PLAN	A	A	A								
5941 ENG OPW1 050	SEDIMENT AND EROSION CONTROL PLAN SHEET 1 OF 6	A	A	B								
5941 ENG OPW1 051	SEDIMENT AND EROSION CONTROL PLAN SHEET 2 OF 6	A	A	A								
5941 ENG OPW1 052	SEDIMENT AND EROSION CONTROL PLAN SHEET 3 OF 6	A	A	B								
5941 ENG OPW1 053	SEDIMENT AND EROSION CONTROL PLAN SHEET 4 OF 6	A	A	B								
5941 ENG OPW1 054	SEDIMENT AND EROSION CONTROL PLAN SHEET 5 OF 6	A	A	B								
5941 ENG OPW1 055	SEDIMENT AND EROSION CONTROL PLAN SHEET 6 OF 6	A	A	B								
5941 ENG OPW1 056	CONSTRUCTION PHASE SEDIMENT BASIN 1 LAYOUT	A	A	B								
5941 ENG OPW1 057	CONSTRUCTION PHASE SEDIMENT BASIN 1 SECTIONS	A	A	A								
5941 ENG OPW1 058	CONSTRUCTION PHASE SEDIMENT BASIN 2 LAYOUT	A	A	A								
5941 ENG OPW1 059	CONSTRUCTION PHASE SEDIMENT BASIN 2 SECTIONS	A	A	A								
5941 ENG OPW1 060	SEDIMENT AND EROSION TYPICAL DETAILS	A	A	A								
5941 ENG OPW1 300	OVERALL SERVICES LAYOUT PLAN SHEET 1 OF 4	A	A	B								
5941 ENG OPW1 301	OVERALL SERVICES LAYOUT PLAN SHEET 2 OF 4	A	A	B								
5941 ENG OPW1 302	OVERALL SERVICES LAYOUT PLAN SHEET 3 OF 4	A	A	B								
5941 ENG OPW1 303	OVERALL SERVICES LAYOUT PLAN SHEET 4 OF 4	A	A	B								
5941 ENG OPW1 400	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 1 OF 4	A	A	B								
5941 ENG OPW1 401	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 2 OF 4	A	A	B								
5941 ENG OPW1 402	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 3 OF 4	A	A	B								
5941 ENG OPW1 403	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 4 OF 4	A	A	B								
5941 ENG OPW1 410	TYPICAL SECTIONS AND DETAILS SHEET 1 OF 3	A	A	B								
5941 ENG OPW1 411	TYPICAL SECTIONS AND DETAILS SHEET 2 OF 3	A	A	B								
5941 ENG OPW1 412	TYPICAL SECTIONS AND DETAILS SHEET 3 OF 3	A	A	A								
5941 ENG OPW1 420	CONTROL LINE LAYOUT PLAN	A	A	B								
5941 ENG OPW1 421	ROAD CONTROL LINE SETOUT TABLES SHEET 1 OF 2	A	A	B								
5941 ENG OPW1 422	ROAD CONTROL LINE SETOUT TABLES SHEET 2 OF 2	A	A	B								
5941 ENG OPW1 430	ROAD LONGITUDINAL SECTION - HOMESTEAD DRIVE SHEET 1 OF 3	A	A	B								
5941 ENG OPW1 431	ROAD LONGITUDINAL SECTION - HOMESTEAD DRIVE SHEET 2 OF 3	A	A	B								
5941 ENG OPW1 432	ROAD LONGITUDINAL SECTION - HOMESTEAD DRIVE SHEET 3 OF 3	A	A	B								
5941 ENG OPW1 433	ROAD LONGITUDINAL SECTION - EASTRIDGE STREET SHEET 1 OF 2	A	A	B								
5941 ENG OPW1 434	ROAD LONGITUDINAL SECTION - EASTRIDGE STREET SHEET 2 OF 2	A	A	B								
5941 ENG OPW1 435	ROAD LONGITUDINAL SECTION - FAIRWAY STREET SHEET 1 OF 2	A	A	B								
5941 ENG OPW1 436	ROAD LONGITUDINAL SECTION - FAIRWAY STREET SHEET 2 OF 2	A	A	B								
5941 ENG OPW1 437	ROAD LONGITUDINAL SECTION - EMERI STREET EXTENSION	A	A	A								
5941 ENG OPW1 450	ROAD CROSS SECTIONS - HOMESTEAD DRIVE SHEET 1 OF 14	A	A	B								
5941 ENG OPW1 451	ROAD CROSS SECTIONS - HOMESTEAD DRIVE SHEET 2 OF 14	A	A	B								

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5941 ENG OPW1 803	LINEMARKING AND SIGNAGE PLAN SHEET 4 OF 5	A	A	B							
5941 ENG OPW1 804	LINEMARKING AND SIGNAGE PLAN SHEET 5 OF 5	A	A	B							

I hereby acknowledge receipt of the documents listed above.

Name & Company: _____ Signed: _____ Dated: / /

Project Manager: mitchell@gassman.com.au

Sent by: mitchell@gassman.com.au