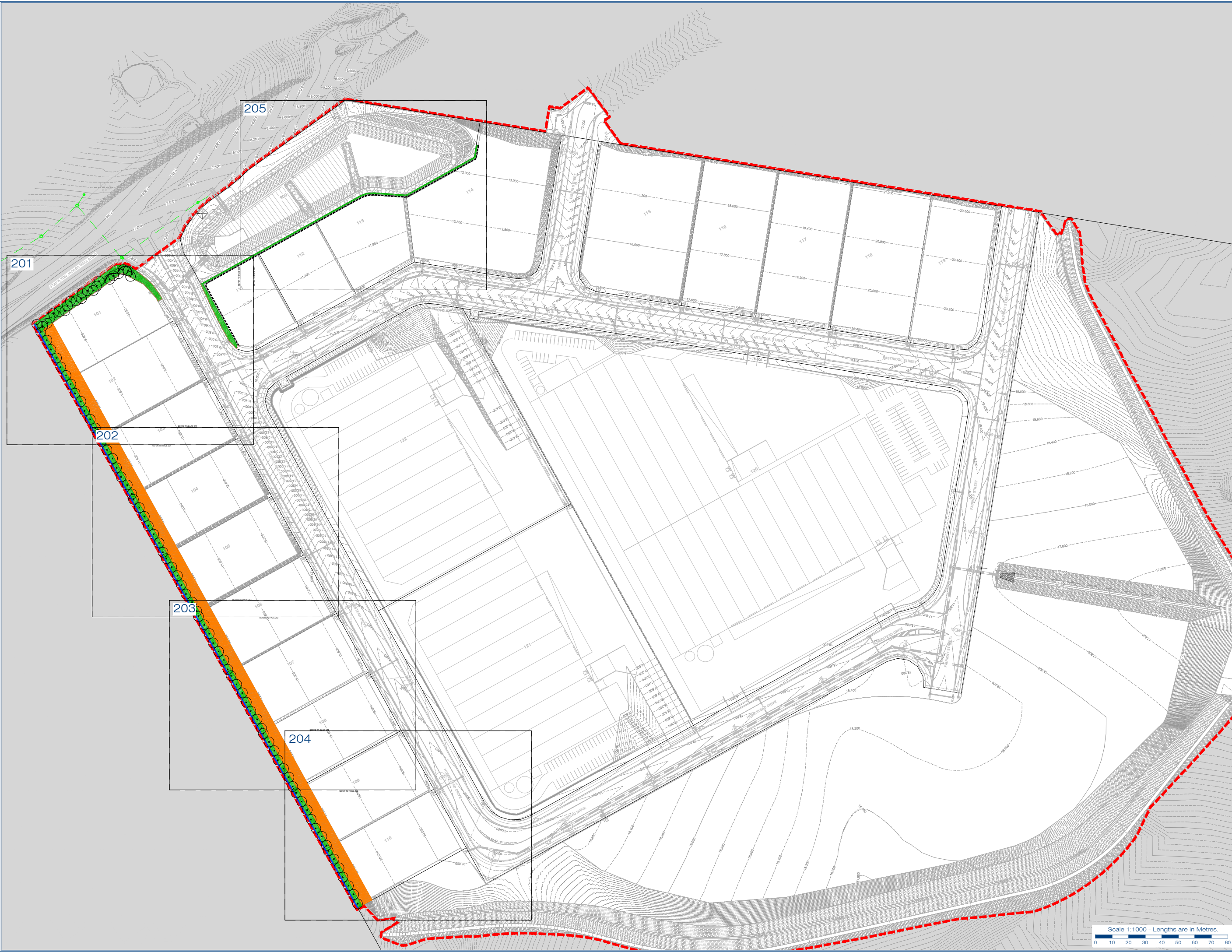


e: mail@gassman.com.au
w: www.gassman.com.au

000	LANDSCAPE COVERSHEET AND LOCALITY PLAN
001	LANDSCAPE SPECIFICATIONS & PLANT SCHEDULES
200	LANDSCAPE SURFACE FINISHES PLANS 200 / 205
500	LANDSCAPE TREE PLANTING PLANS 500 / 505
600	LANDSCAPE SHRUB PLANTING PLANS 600 / 605
900	LANDSCAPE TYPICAL DETAILS 901 / 902



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Client:
FRASERS PROPERTY (AUSTRALIA) PTY. LTD.

Project:
**VANTAGE YATALA
STAGE 1 PRIVATE LANDSCAPE**

Site Address:
**60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON,
82 CHRISTENSEN ROAD,
STAPYLTON AND 31
YELLOWWOOD ROAD,
STAPYLTON**

Notes:
**WARNING
BEWARE OF UNDERGROUND
SERVICES**

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• Stormwater & sewerage pits: 2.0m
• Intersections: 10.0m
• Service crossings: 2.0m
• Kurb & Channel: 0.6m
• Street lights: 7.5m
8. Construction certification for all structural elements is to be provided prior to practical completion being granted.

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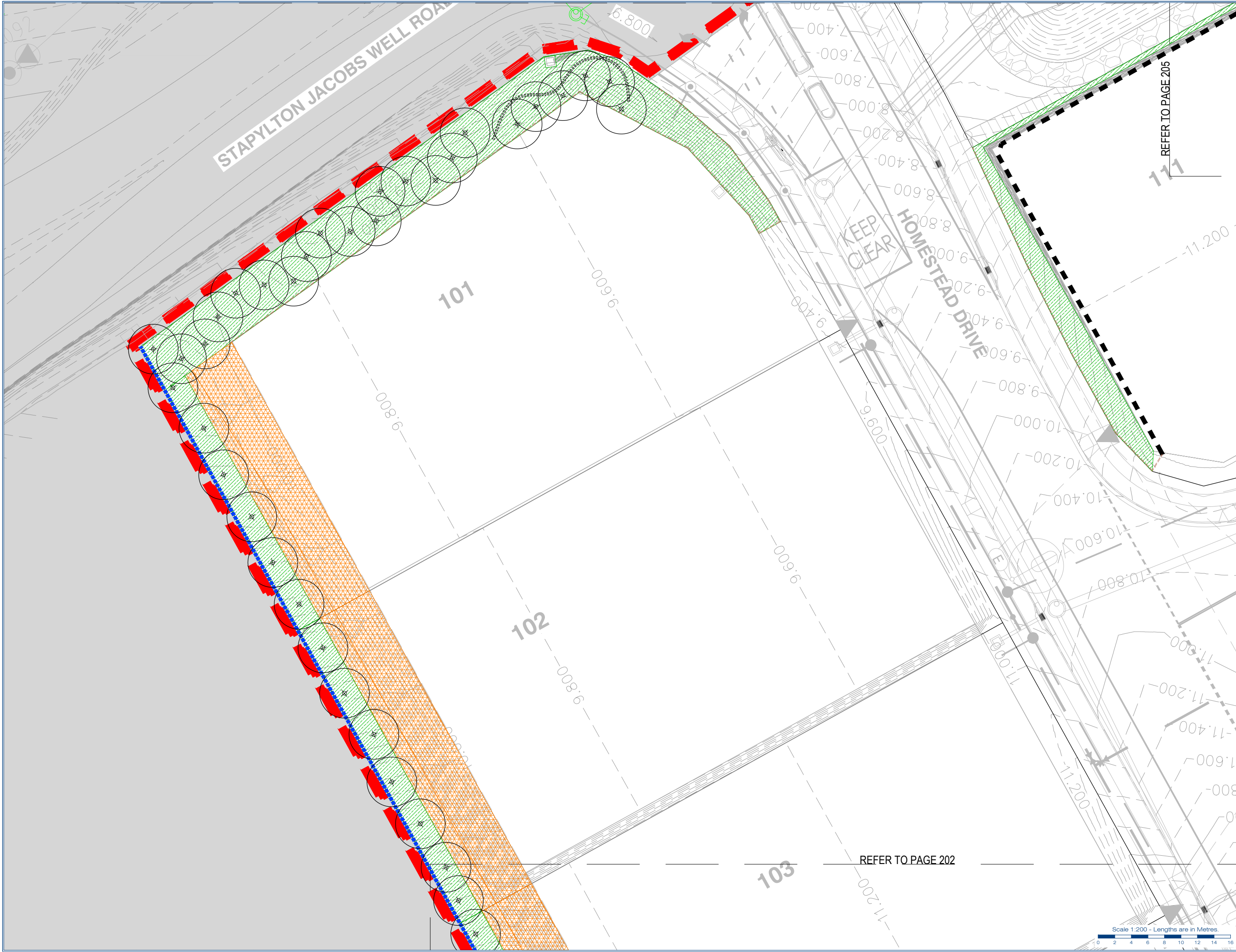
Drawing Title:
**LANDSCAPE FINISHES
GENERAL
ARRANGEMENT PLAN**

No.	Date	Description	By	Scale
1	26-06-20	FOR OWNER APPROVAL	J. Swanepoel	1:1000

Scale at A1: 1:1000

Designed: J. Swanepoel
Drawn: J. Swanepoel
Checked: M. Gassman
Date: 26-06-20

Drawing No: 200
Rev. No: A





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STAGE 1 PRIVATE LANDSCAPE**

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LEGEND

Non-vegetative Stabilising by Gravel	G1 - Garden Beds	Trees
Stage Boundary	Fence Type 1	Retaining by Others
Token Poles	TE - HMD Timber Edge	

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Drawing Title:
LANDSCAPE FINISHES

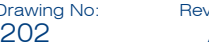
No.	Description	Date	By	Check
1	DESIGN	26-06-20	J. Swanepoel	M. Gassman

Scale at A1: 1:200

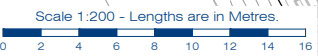
Designed:	J. Swanepoel
Drawn:	J. Swanepoel
Checked:	M. Gassman
Date:	26-06-20
Drawing No:	201
Rev. No:	A

REFER TO PAGE 202

Scale 1:200 - Lengths are in Metres.



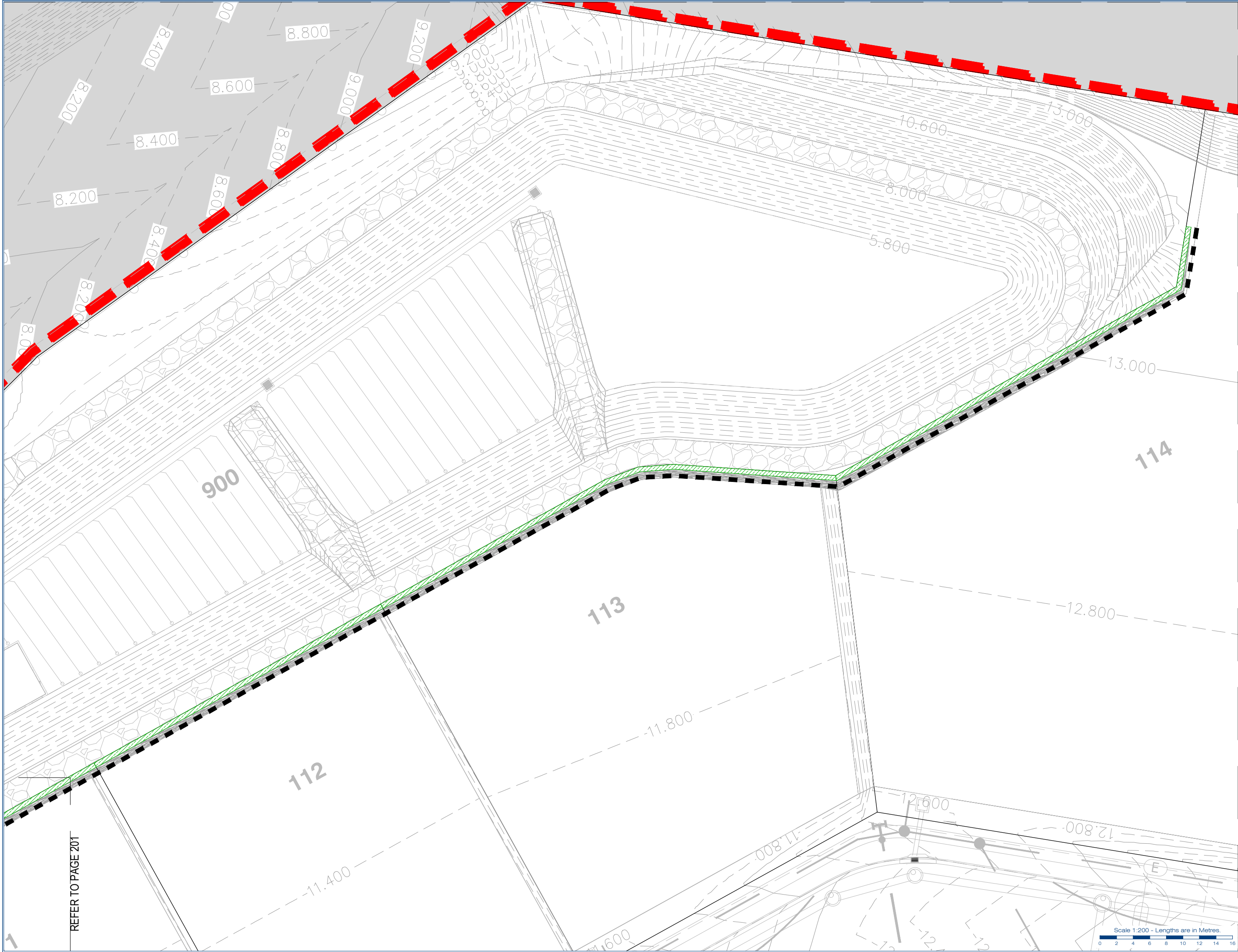
REFER TO PAGE 203





REFER TO PAGE 204





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Client:
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Project:
**VANTAGE YATALA
STAGE 1 PRIVATE LANDSCAPE**

Site Address:
**60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON,
82 CHRISTENSEN ROAD,
STAPYLTON AND 31
YELLOWWOOD ROAD,
STAPYLTON**

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LEGEND

Non-vegetative Stabilising by Civil
G1 - Garden Beds
Trees

Stage Boundary
Fence Type 1
Retaining by Others

Token Poles
TE - HMD Timber Edge

Associated Consultants:

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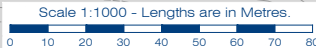
Drawing Title:
LANDSCAPE FINISHES

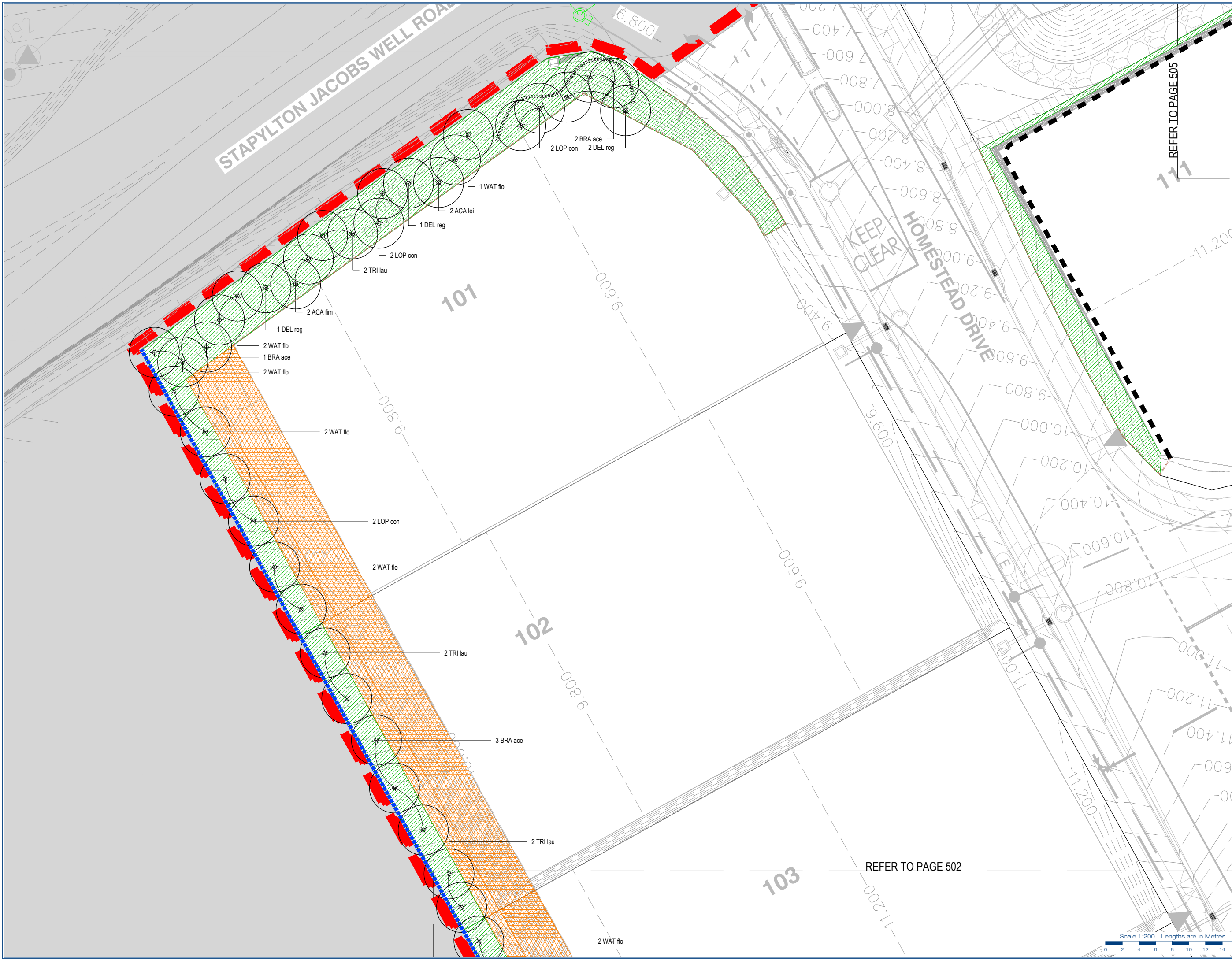
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1	As Issued	J. Swanepoel	26-06-20

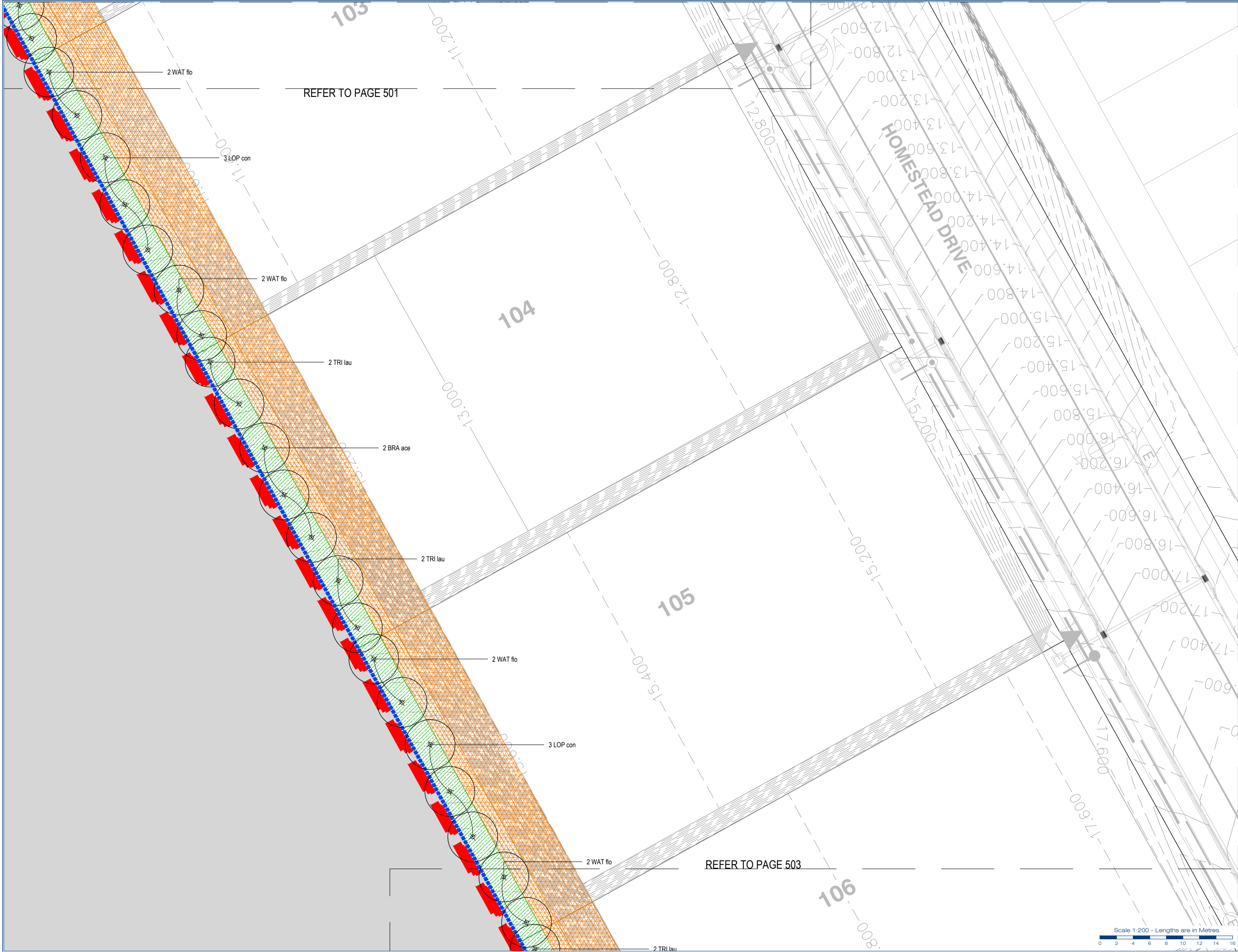
Scale at A1: 1:200

Designed: J. Swanepoel
Drawn: J. Swanepoel
Checked: M. Gassman
Date: 26-06-20

Drawing No: 205
Rev. No: A









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(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 1 PRIVATE LANDSCAPE

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON,
82 CHRISTENSEN ROAD,
STAPYLTON AND 31
YELLOWWOOD ROAD,
STAPYLTON

Notes:

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LEGEND

Non-vegetative Stabilising by Civil	G1 - Garden Beds	Trees
Stage Boundary	Fence Type 1	Retaining by Others
Totem Poles	TE - HMD Timber Edge	

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Drawing Title:

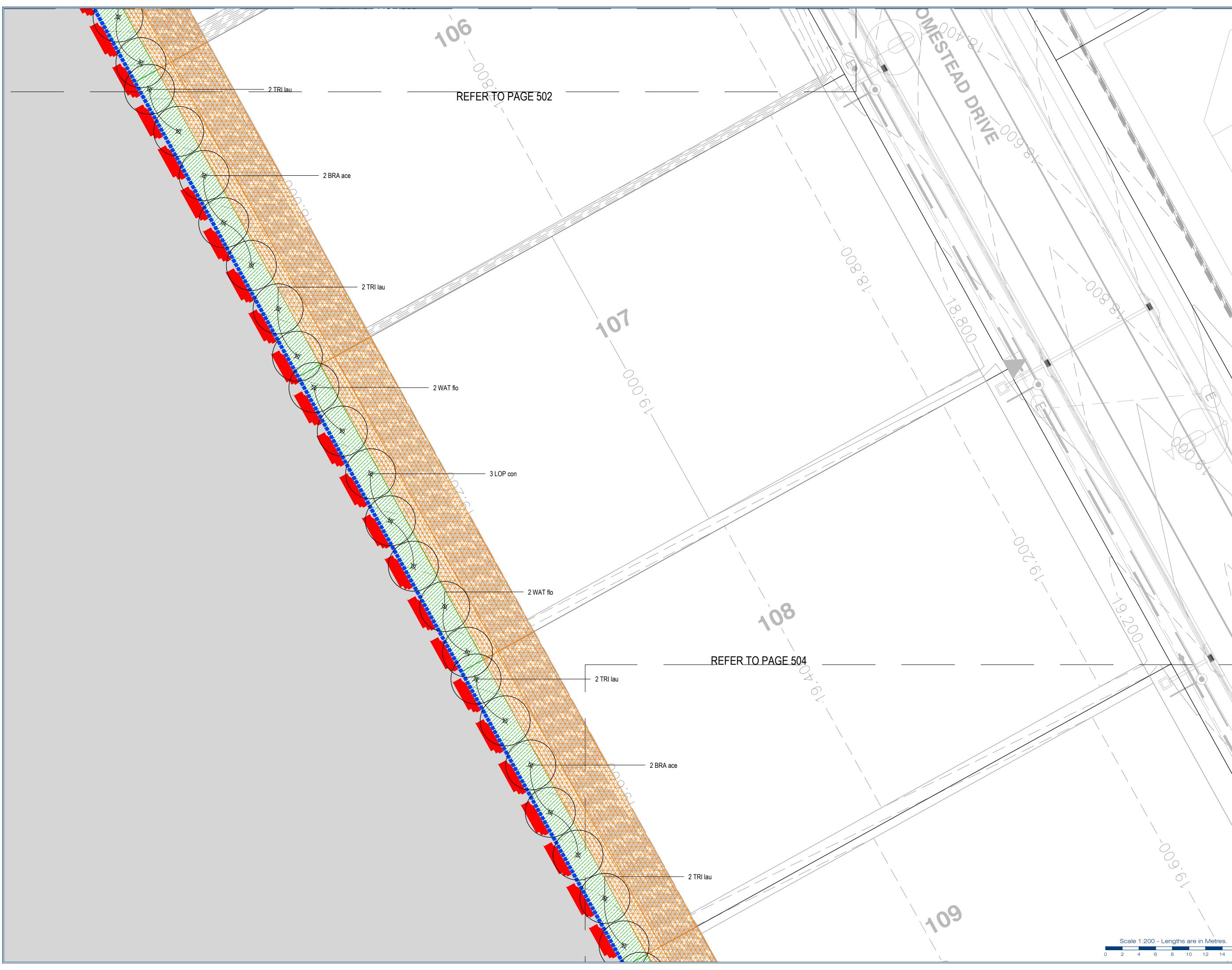
**PLANTING PLAN
TREES**

No.	Description	Rev.	Date
1	Issue	1	26-06-20

Scale at A1: 1:200

Designed:	J. Swanepoel
Drawn:	J. Swanepoel
Checked:	M. Gassman
Date:	26-06-20

Drawing No: 502
Rev. No: A



Client

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Project

VANTAGE YATALA
STAGE 1 PRIVATE LANDSCAPE

Site Address:

50 STAPYLTON JACOBS WEL
ROAD, STAPYLTON,
82 CHRISTENSEN ROAD,
STAPYLTON AND 31
YELLOWOOD ROAD,
STAPYLTON

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- Intersections: 10.0m

- Service crossings: 2.0m
- Kerb & Channel: 0.6m

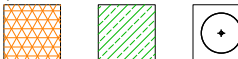
- Street lights: 7.5m

8. Construction certification for all structural elements

to be provided prior to practical completion being granted.

LEGEND

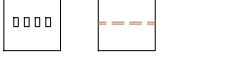
Non-vegetative Stabilising
by Civil



Stage Boundary	Fence Type 1	Retaining by Other
----------------	--------------	--------------------



Totem Poles 	TE - HWD Timber Edge 
--	---



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Drawing Title:

PLANTING PLAN TREES

[illegible]

Scale at A1: 1:200

Designed: J. Swanepoel

Drawn: J. Swanepoel

Checked:	M. Gassman
----------	------------

Date: 26-06-20

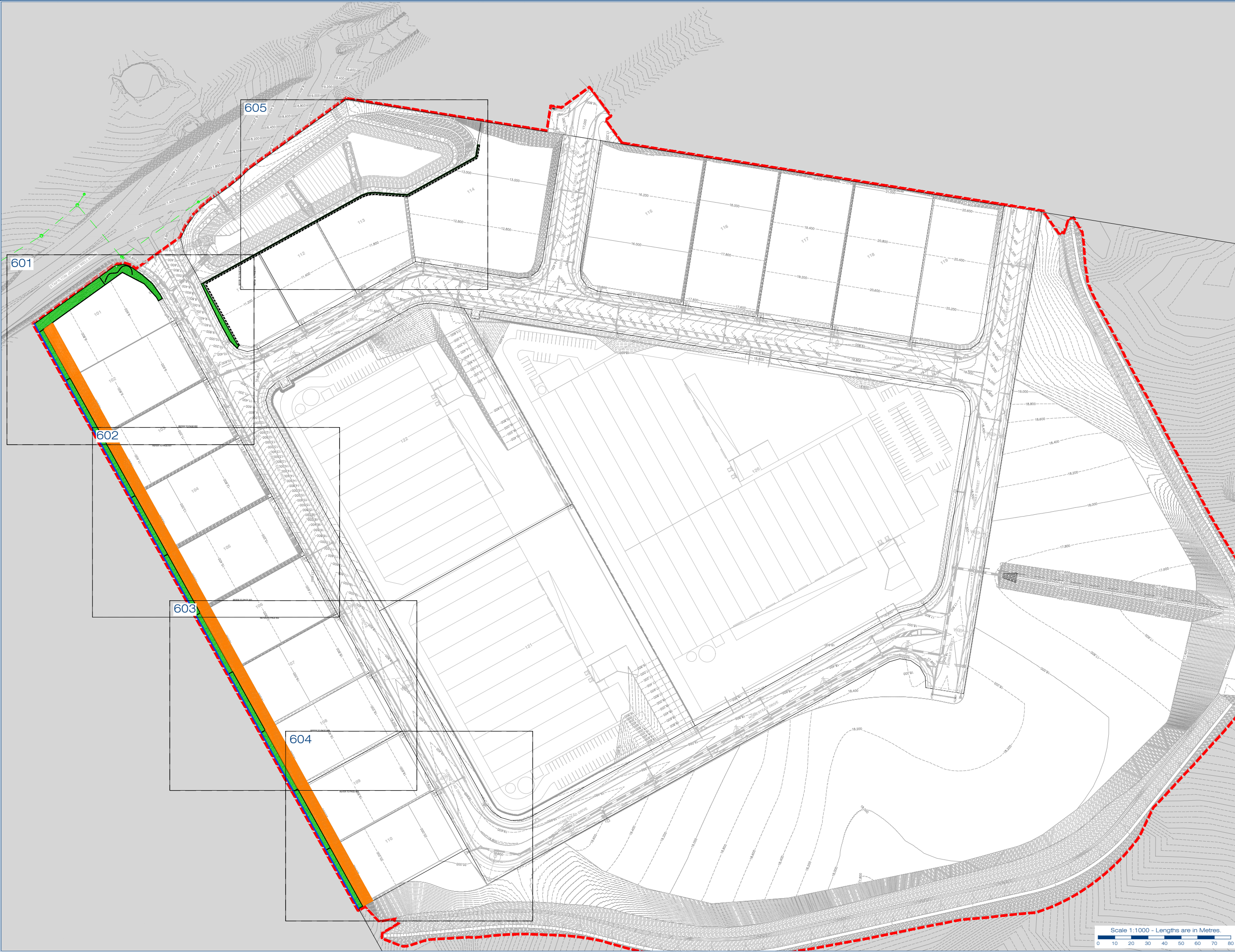
Drawing No: Rev. N

505 A

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Scale 1:200 - Lengths are in Metres





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Client:

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(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 1 PRIVATE LANDSCAPE

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON,
82 CHRISTENSEN ROAD,
STAPYLTON AND 31
YELLOWWOOD ROAD,
STAPYLTON

Notes:

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Drawing Title:

LANDSCAPE SHRUBS &
GROUND COVERS PLANTING
PLAN
GENERAL ARRANGEMENT PLAN

No.	Rev.	Date	Description	By	Appr.
1	1	26-06-20	FOR OWNER APPROVAL	J. Swanepoel	M. Gassman

Scale at A1: 1:1000

Designed: J. Swanepoel

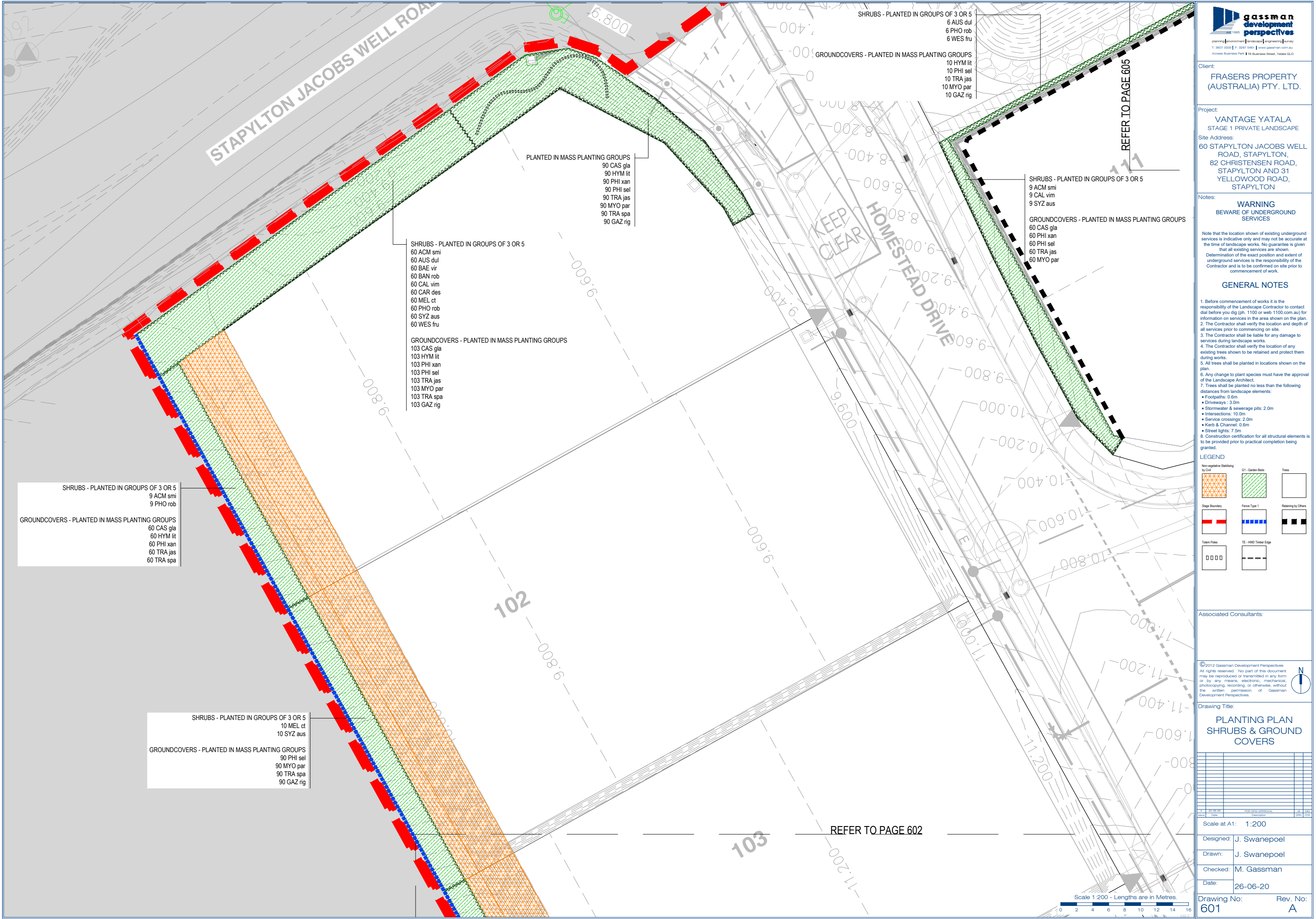
Drawn: J. Swanepoel

Checked: M. Gassman

Date: 26-06-20

Drawing No: 600

Rev. No: A



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Client:
FRASERS PROPERTY (AUSTRALIA) PTY. LTD.

Project:
**VANTAGE YATALA
STAGE 1 PRIVATE LANDSCAPE**

Site Address:
**60 STAPYLTON JACOBS WELL ROAD, STAPYLTON,
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LEGEND

Non-vegetative Stabilising by Civil	G1 - Garden Beds	Trees
Stage Boundary	Fence Type 1	Retaining by Others
Totem Poles	TE - HMD Timber Edge	

Associated Consultants:

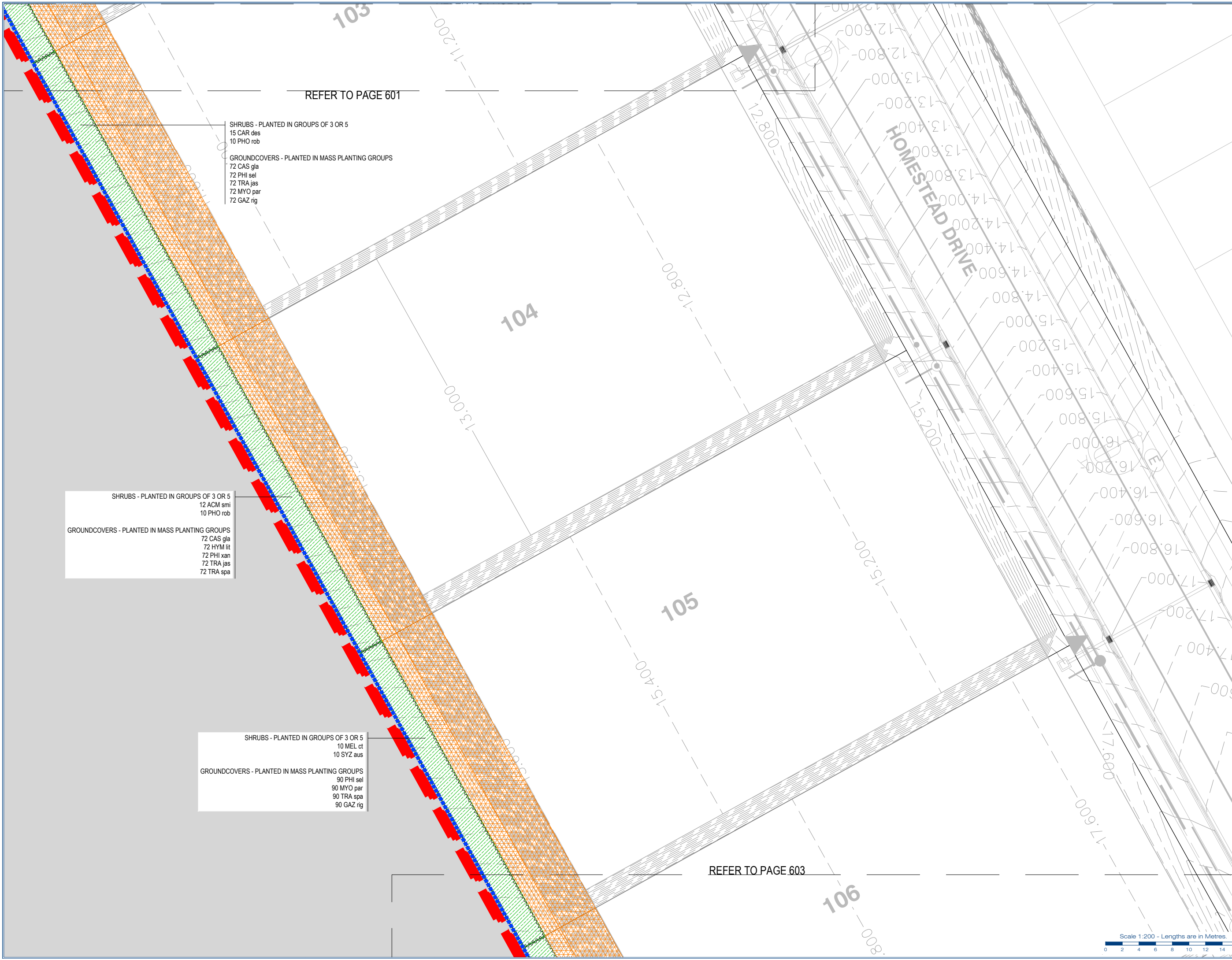
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Drawing Title:
**PLANTING PLAN
SHRUBS & GROUND
COVERS**

No.	Rev.	Date	Description	By	Appr.
1	1	26-06-20	Issue	J. Swanepoel	M. Gassman

Scale at A1: 1:200

Designed:	J. Swanepoel
Drawn:	J. Swanepoel
Checked:	M. Gassman
Date:	26-06-20
Drawing No:	601
Rev. No:	A



Scale 1:200 - Lengths are in Metres.



SHRUBS - PLANTED IN GROUPS OF 3 OR 5
12 ACM smi
10 PHO rob

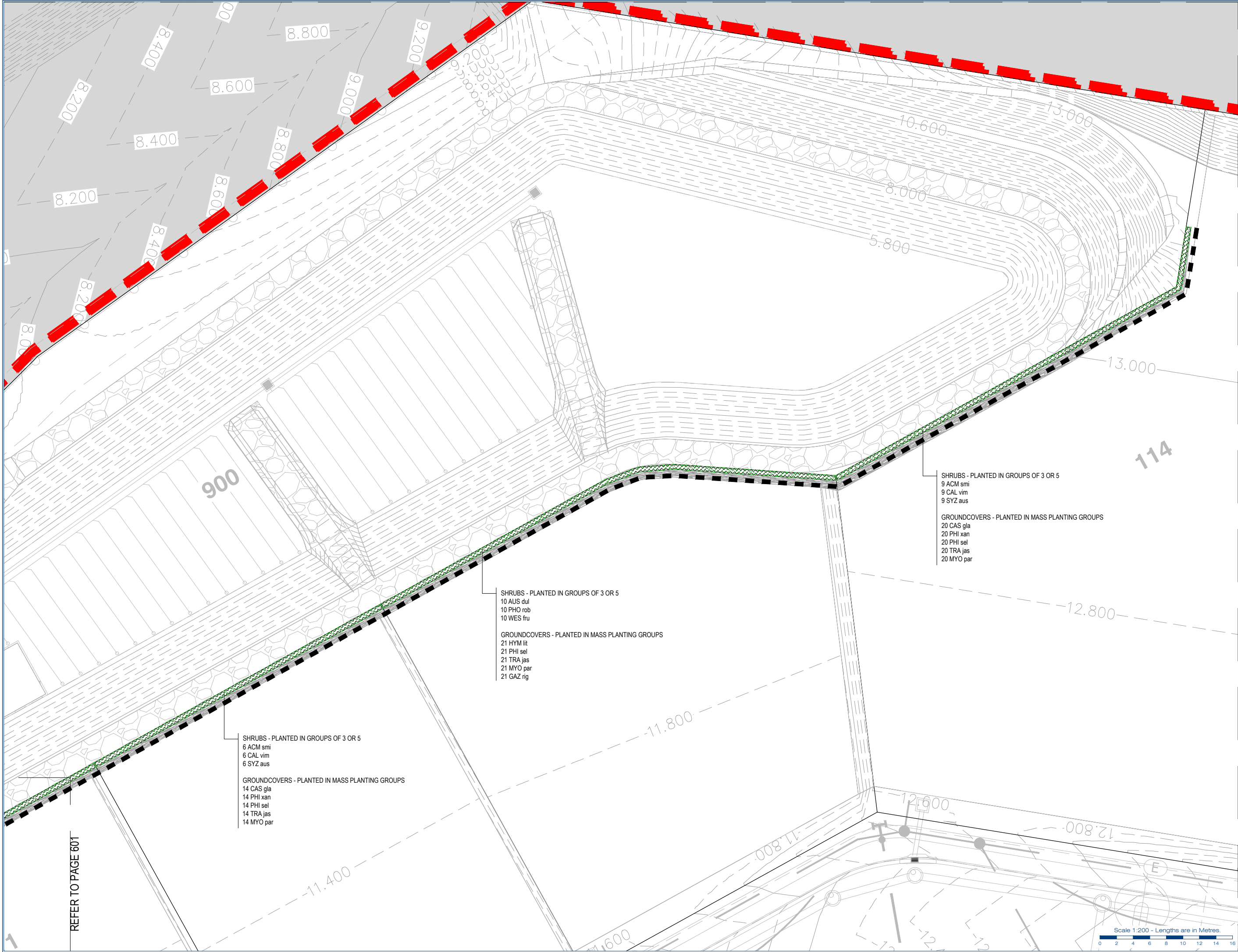
GROUNDCOVERS - PLANTED IN MASS PLANTING GROUPS
72 CAS gla
72 HYM lit
72 PHI xan
72 TRA jas
72 TRA spa

HOMESTEAD DRIVE

110

Scale 1:200 - Lengths are in Metres





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Client:
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Project:
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Site Address:
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Non-vegetative Stabilising by Civil	G1 - Garden Beds	Trees
Stage Boundary	Fence Type 1	Retaining by Others
Token Poles	TE - HMD Timber Edge	

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Drawing Title:
**PLANTING PLAN
SHRUBS & GROUND
COVERS**

No.	Date	Description	By	Scale
1	26-06-20	FOR OWNER APPROVAL	J. Swanepoel	1:200

Scale at A1: 1:200

Designed:	J. Swanepoel
Drawn:	J. Swanepoel
Checked:	M. Gassman
Date:	26-06-20

Drawing No: 605
Rev. No: A

