

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

*THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR*

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD

ISSUED FOR CONSTRUCTION

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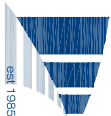
VANTAGE YATALA

STAGE 2 PUBLIC WORKS (Streetscape) 60 STAPYLTON JACOBS WELL ROAD, 82 CHRISTENSEN ROAD AND 31 YELLOWWOOD ROAD, STAPYLTON

LOCALITY PLAN

PRINCIPAL

FRASERS PROPERTY (AUSTRALIA) PTY LTD
LEVEL 3, 1C HOMEBUSH BAY DRIVE, RHODES, NSW 2138



g a s s m a n
development
perspectives

76 BUSINESS STREET, YATALA

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5941-L-OW-2-PUB-PP07	Planting Plan

DRAWING TITLE LOCALITY PLAN

Author	11.08.2021	For Construction	JLS	AKS
Drawn		Checked	CHK	

Scale at A1:

Designed: JLS

Drafted: JLS

Approved: MG

RPEQ: 16939

Signed: 

Date: 13.08.2021

Drawing No: 5941-L-OW-2-PUB-CP01

Rev. No: A

LANDSCAPE SPECIFICATION

GENERAL

ALL WORKS TO BE IN ACCORDANCE WITH CITY OF GOLD COAST COUNCIL - LANDSCAPE DEVELOPMENT MANUAL AND CITY OF GOLD COAST COUNCIL APPROVAL CONDITIONS

SERVICES

VERIFY LOCATION OF SERVICES ON SITE PRIOR TO COMMENCEMENT OF LANDSCAPE WORKS. REFER TO CIVIL DRAWINGS AND DETAILS FOR SERVICE ALIGNMENTS. ENSURE THE PROTECTION OF CONDUITS UNDERGROUND INFRASTRUCTURE DURING THE CONSTRUCTION PHASE OF THE DEVELOPMENT. MEASURES MUST BE PUT IN PLACE TO PHYSICALLY PROTECT AND RESTRICT ACCESS OF PERMANENT EXISTING SERVICES INFRASTRUCTURE TO ENSURE PROTECTION FROM EXCESSIVE DRAINING LOADS. IF IN DOUBT AS TO THE LOCATION OF OR TYPE OF SERVICE REFER TO CIVIL WORKS SUPERVISOR.

FINISHED LEVELS AND GRADES

ALL KERBS, GRADES, LEVELS, SERVICE ALIGNMENTS AND DRAINAGE ARE TO CIVIL ENGINEERS DRAWINGS.

TURF

TURFING: INSTALL A GRADE WINTER GREEN COUCH, AS INDICATED ON LANDSCAPE PLANS OR EQUAL, APPROVED. ROLL ON COMPLETION AND TOP-DRESS AS NECESSARY TO PROVIDE AN EVEN FREE DRAINING SURFACE. WATER IMMEDIATELY AFTER INSTALLATION UNTIL THE TOPSOIL IS MOISTENED TO ITS FULL DEPTH.

GENERAL: SPREAD 100MM IMPORTED TOP SOIL AND CULTIVATE TO A DEPTH OF 100MM, WHERE REQUIRED. REMOVE STONES EXCEEDING 50MM, AND ANY OTHER DELETERIOUS MATERIAL BROUGHT TO THE SURFACE DURING CULTIVATION, INCLUDING STICKS, WEEDS, AND ROOTS OF PLANT MATERIAL, TO BE REMOVED.

GARDEN

SPREAD 300MM IMPORTED TOP SOIL AND CULTIVATE TO A DEPTH OF 150MM, WHERE REQUIRED. REMOVE STONES EXCEEDING 50MM, AND ANY OTHER DELETERIOUS MATERIAL BROUGHT TO THE SURFACE DURING CULTIVATION, INCLUDING STICKS, WEEDS, AND ROOTS OF PLANT MATERIAL.

FERTILISER

FERTILISER TYPES			
Location	Chemical Type	Type of Application	NPK Analysis
Turfing - Establishment (Controlled Release Nitrogen product)	Inorganic	Granular (to manufacturers recommendation)	21:1
Turfing - Maintenance (Controlled Release Nitrogen product)	Inorganic	Granular (to manufacturers recommendation)	24:29
Tree Planting (Controlled Release Fertiliser)	Organic or Inorganic	Granular, below rootball (to manufacturers recommendation)	N 15 to 25 P 3 to 9 K 5 to 18
Planting Beds (Controlled Release Fertiliser)	Organic or Inorganic	Granular, below rootball (to manufacturers recommendation)	N 18 to 25 P 3 to 7 K 9 to 18

PLANT MATERIAL

THE CONTRACTOR IS TO ALLOW FOR ALL PLANT MATERIAL TO BE INSPECTED BY THE LANDSCAPE ARCHITECT AT A SINGLE NURSERY PRIOR TO DELIVERY TO SITE. AT THIS TIME ANY PLANTS CONSIDERED NOT SUITABLE OR NOT MEETING THE SCHEDULE WILL BE REJECTED AND REPLACED AT NO CHARGE TO THE CLIENT. 48 HRS NOTICE IS REQUIRED FOR NURSERY INSPECTIONS. GENERALLY ALL SHRUBS/TREES ETC, SIZES NOTED ON PLANS AND IN SCHEDULES ARE OVERALL INSTALLATION HEIGHTS.

GENERAL

THE CONTRACTOR IS TO ENSURE THAT PLANT MATERIAL IS WELL ESTABLISHED, FREE FROM DISEASE AND PESTS, OF GOOD FORM CONSISTENT WITH THE SPECIES OR VARIETY SPECIED, HAVE A LARGE HEALTHY ROOT SYSTEM, WITH NO EVIDENCE OF ROOT CURL, RESTRICTION OR DAMAGE. ANY PRUNING SCARS SHALL BE CLEAN CUT TO LEAVE LITTLE OR NO PROTRUSION FROM TRUNK OR BRANCH. ALL TREES WITH AN EVASIVE ROOT SYSTEM ADJACENT FOOTPATHS AND KERBS ARE TO HAVE ROOT CONTROL BARRIER INSTALLED. ROOT CONTROL FOOTPATHS AND ROOT BARRIER OR SIMILAR, MINIMUM DEPTH OF 600MM AND INSTALLED TO HARDENING OFF. ALL PLANT STOCK SHALL BE HARDENED OFF IN OPEN AREAS TO RECEIVE A MINIMUM OF 75% FULL SUN 6 WEEKS PRIOR TO DELIVERY TO SITE. WATERING AND FERTILISING PROCEDURES SHALL BE REDUCED FOR A SIMILAR PERIOD TO AID THE HARDENING OFF PROCESS.

TREES

ENSURE THAT TRUNKS AND BRANCHES OF ALL PLANTS ARE FREE OF DIEBACK, CAVITIES, SUNBLURN AND SECRETIONS. TRUNKS AND BRANCHES ARE TO BE EVENLY TAPERED AND TEXTURED. TYPICAL OF THE SPECIES. PLANT MATERIAL IS TO BE MATURE ENOUGH TO SUPPORT ITSELF. BRANCHES SHOULD BE EVENLY DISTRIBUTED TO EXHIBIT A WELL FORMED CANOPY THAT OCCUPIES A MINIMUM ONE THIRD OF THE OVERALL PLANT HEIGHT AT TIME OF PLANTING. FOLIAGE SHOULD BE EVENLY DISTRIBUTED ACROSS THE CROWN ON PROPORTION TO THE BRANCHING STRUCTURE AND BE OF A TRUE COLOUR AND FORM TYPICAL OF THE SPECIES.

STREET TREES

SUPPLY AND INSTALL STREET TREES IN ACCORDANCE WITH CITY OF GOLD COAST COUNCIL STREET TREE PLACEMENT GUIDELINES. TREES ARE TO BE INSTALLED IN LOCATIONS SHOWN ON PLANS. ALL TREES TO BE PLANTED WITHIN 48HRS OF DELIVERY TO SITE.

STAKING

USE NEW UNPAINTED 2400MM HIGH, 50MM X 50MM STRAIGHT HARDWOOD EMBEDDED 600MM INTO THE SOIL. STAKE ALL TREES SUPPLIED IN 25L CONTAINERS AND GREATER, WITH HARDWOOD STAKES. POSITION TWO STAKES EQUIDISTANT FROM THE PLANT CENTRE AND IN LINE WITH THE PREVAILING WIND DIRECTIONS. SECURE THE TREE WITH SUITABLE LENGTHS OF NON-ABRASIVE, UV RESISTANT WEBBING FROM BOTH SIDES AROUND THE TRUNK, SECURE WEBBING TO THE STAKE TO PREVENT SLIPPING AND POSITION STAKES WITHIN GARDEN BED.

TUBE STOCK

SUPPLY AND INSTALL TUBE STOCK AS DETAILED.

JUTE MAT

INSTALL JUTE MESH PINNED OVER SUGAR CANE MULCH TO STORM WATER DETENTION BASIN BATTERS, INSTALLATION AS PER MANUFACTURER'S SPECIFICATION.

MULCH

GARDEN BED TYPE 1: ON GRADE MASS PLANTED GARDEN BEDS, INSTALL TEA TREE MULCH TO ALL AREAS, AS NOTED ON THE LANDSCAPE PLANS. MULCH DEPTH: 100MM STREET BEDS, 150MM FREE DRAIN, 200MM UNDERPASS, 300MM DETENTION BASIN, 400MM STORM BASIN. MULCH SHALL BE FINISH MULCH 30-50MM BELOW ALL ADJACENT SURFACES AS DETAILED.

GARDEN EDGING

GARDEN EDGE TYPE 1: 150x50mm HWD TIMBER EDGE RESTPAINT, AS DETAILED TO LOCATIONS AS NOTED ON PLANS. COLOUR: CN OIL. TREATMENT: 5mm ARRIS ALL EXPOSED EDGES.

ESTABLISHMENT & MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF ALL LANDSCAPE COMPONENTS, INCLUDING THE 12 MONTH MAINTENANCE PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRACTICAL MAINTENANCE OF ALL LANDSCAPE COMPONENTS, INCLUDING THE 12 MONTH MAINTENANCE PERIOD. PRACTICAL MAINTENANCE SHALL BE LIMITED TO WATERING, WEEDING, TREE AND SHRUB REPLACEMENT AS REQUIRED, CHECKING STAKES AND GUYS PRUNING, TOPPING UP MULCHED AREAS, PEST AND DISEASE CONTROL, FERTILISING AND MOWING.

NOT WITHSTANDING THE 12 MONTH MAINTENANCE PERIOD, THAT PERIOD WILL NOT BE DEEMED TO BE COMPLETE UNTIL SUCH TIME AS ALL PLANT AND TURF MATERIALS ARE HEALTHY, GROWING, AND ALL DEFECTS HAVE BEEN RECTIFIED.

ALL LANDSCAPE AREAS THAT ARE TO BE DEDICATED TO COUNCIL, MUST BE MAINTAINED TO THE SATISFACTION OF COUNCIL, AND IN ACCORDANCE WITH ALL PREVIOUS CONDITIONS, COMMENCING AT INSTALLATION.

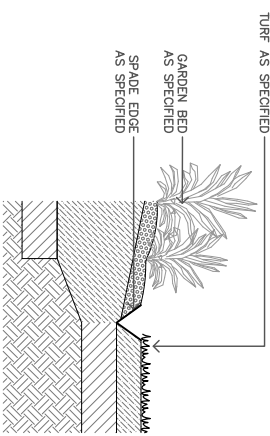
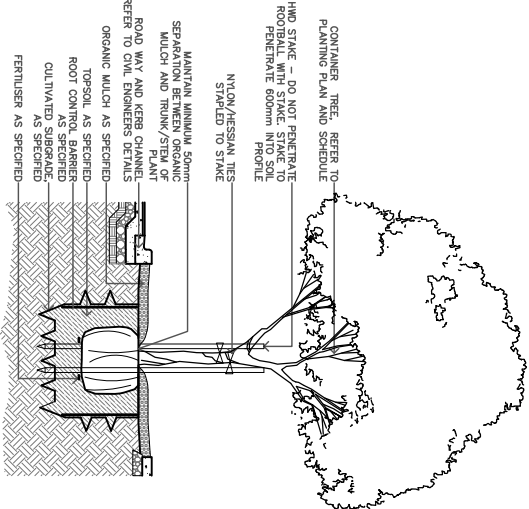
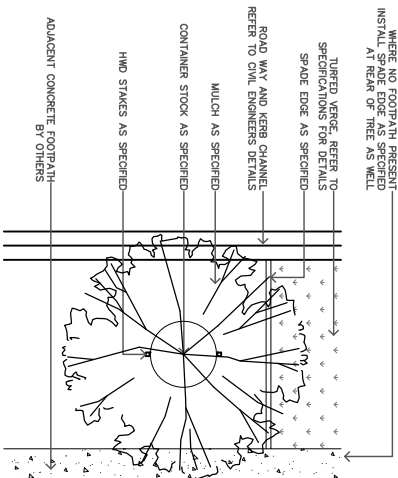
WHEN THE ON MAINTENANCE PERIOD IS COMPLETE AS PER THE APPROVED LANDSCAPE PLANS THE CONTRACTOR WILL CONTACT COUNCIL, ASSESSING OFFICER FOR FINAL COMPLIANCE INSPECTION.

DISCREPANCIES

IF DURING THE COURSE OF TENDERING OR CONSTRUCTION THE CONTRACTOR BECOMES AWARE OF DISCREPANCIES BETWEEN CONTRACT DOCUMENTS THEY SHOULD SEEK CLARIFICATION. ALL ITEMS NOTED ON PLANS/DETAILS/SPECIFICATIONS WILL BE DEEMED INCLUDED IN THE CONTRACT PRICE UNLESS OTHERWISE AGREED IN WRITING.

IF IN DOUBT-ASK.

PLANTING SCHEDULE				
CODE	BOTANICAL NAME	COMMON NAME	MIN HEIGHT AND SPREAD	POT SIZE QTY
ELALUM	Elaeagnus eumundi	Burdingong	200mm x 800mm	200L 38
ELABET	Elaeagnus reticulata	Bushberry ash	200mm x 800mm	200L 40
WATLID	Waterhousea floribunda	Weeping Lillypilly	200mm x 1200mm	200L 20
LOPBOX	Lophosieton confertus	Brush box	200mm x 1200mm	200L 8



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RPD:
Lot: 501
Plan: SP285994
Local Authority: CITY OF GOLD COAST
Level Datum: AHD

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DRAWING TITLE
SPECIFICATIONS, DETAIL DRAWINGS
AND PLANTING SCHEDULE

Rev	Date	For Construction	JLS	MD
1	11.08.2021	Description	DRN	CHK

Scale at A1: N/A

Designed: JLS

Drafted: JLS

Approved: MG

RPEC: 16939

Signed:

Date: 13.08.2021

Drawing No: 5941-L-OW-2-PUB-S01 Rev. No: A

Client:



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DRAWING TITLE
LANDSCAPE FINISHES
GENERAL ARRANGEMENT PLAN

Rev	Date	For Construction Description	JLS	MG
1	11.08.2021			

Scale at A1:

Designed:

JLS

Drafted:

JLS

Approved:

MG

RPEQ:

16939

Signed:

Date:

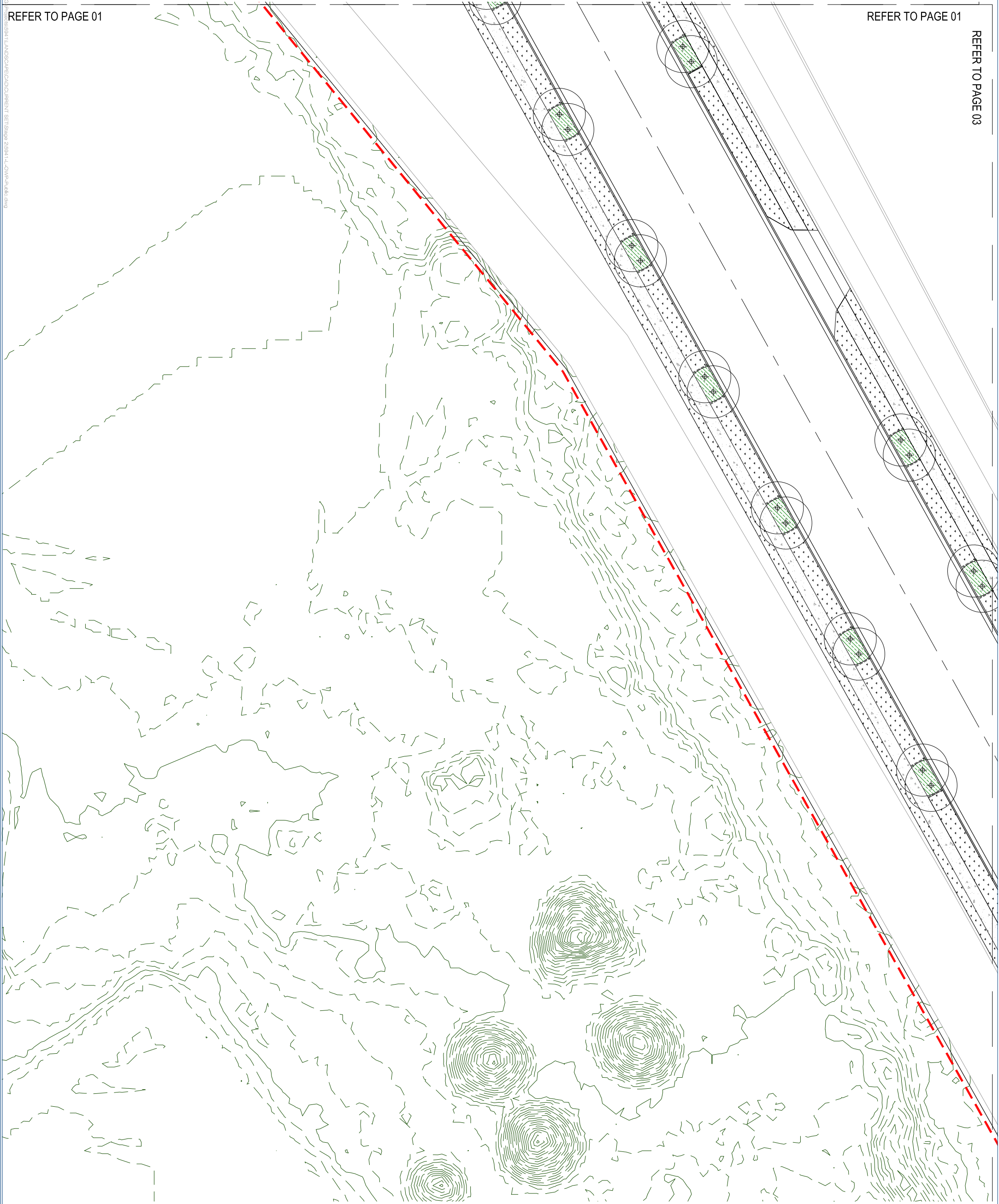
13.08.2021

Drawing No:

Rev. No:

5941-L-OW-2-PUB-CP02

A



Client:



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(AUSTRALIA) PTY. LTD.

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STAGE 2

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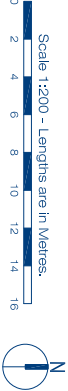
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LEGEND

- T1 - Tuff
- G1 - Green Beds
- Trees
- P1 - Concrete Pile
- Town Poles
- SE - Spine Edge
- Stage Boundary



DRAWING TITLE
SURFACE TREATMENT PLAN

Rev	Date	Description	JLS	MDG
A	11.08.2021	For Construction	JLS	MDG

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

RPEC: 16939

Signed:

Date: 13.08.2021

Drawing No: 5941-L-OW-2-PUB-STP02 Rev. No: A

Client:



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(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

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LEGEND

T1 - Turf

G1 - Grass Buds

Trees

P1 - Concrete Pav

Token Poles

SE - Slope Edge

Slope Boundary

Scale 1:200 - Lengths are in Metres.

DRAWING TITLE
SURFACE TREATMENT PLAN

A1	11.08.2021	For Construction	JLS	MG	
Issue	Date	Description	Drawn	Check	

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

RPEC: 16939

Signed:

Date: 13.08.2021



REFER TO PAGE 05

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

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LEGEND

- T1 - Turf
- G1 - Garden Beds
- Trees
- P1 - Concrete Path
- Town Poles
- SE - Stone Edge
- Stage Boundary



DRAWING TITLE
SURFACE TREATMENT PLAN

Rev	Date	Description	JLS	MG
A	11.08.2021	For Construction	JLS	MG

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

RPEC: 16939

Signed:

Date: 13.08.2021

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Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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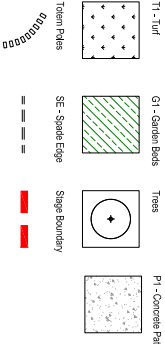
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LEGEND



DRAWING TITLE
PLANTING PLAN

A	11.08.2021	For Construction	JLS	MG	
Issue	Date	Description	Drawn	Check	

Scale at A1: 1:200

Designed:

JLS

Drafted:

JLS

Approved:

MG

RPEC:

16939

Signed:

Date:

13.08.2021

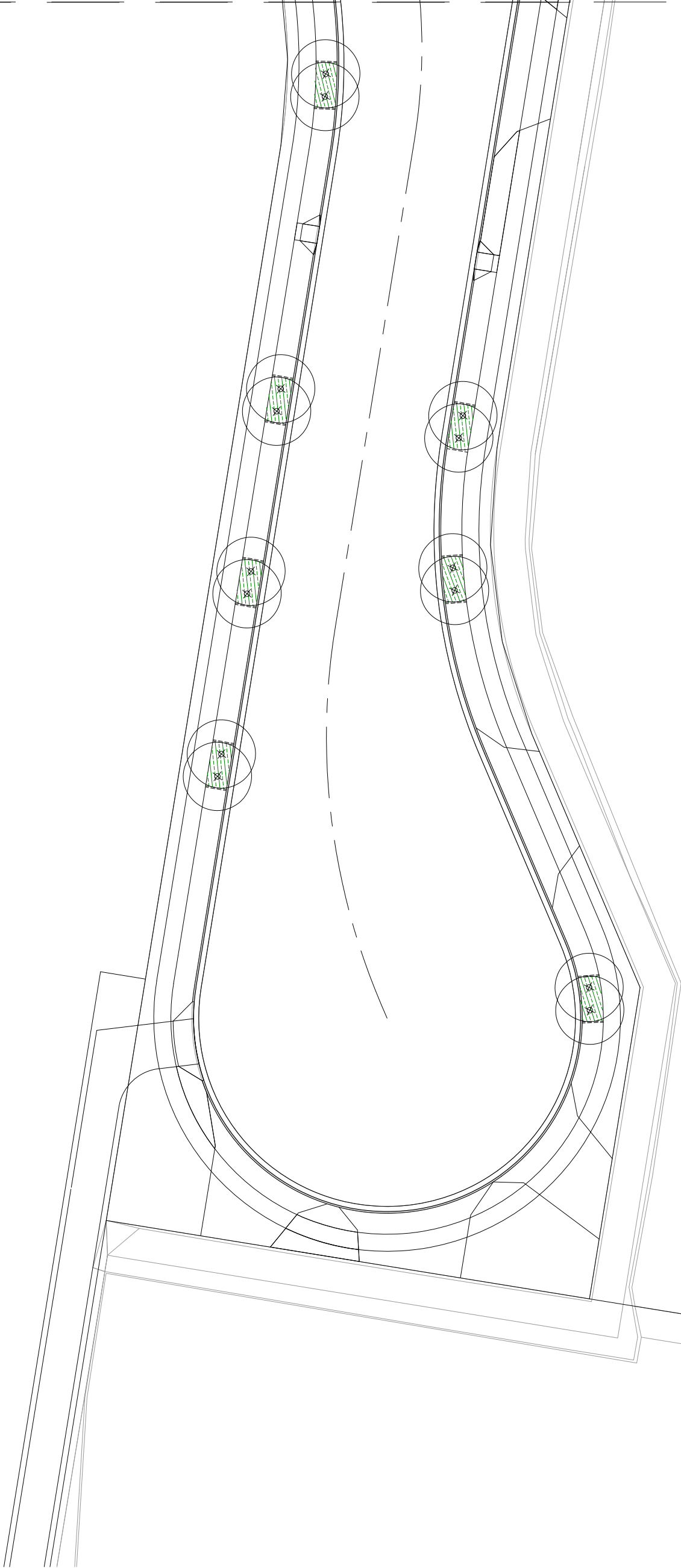
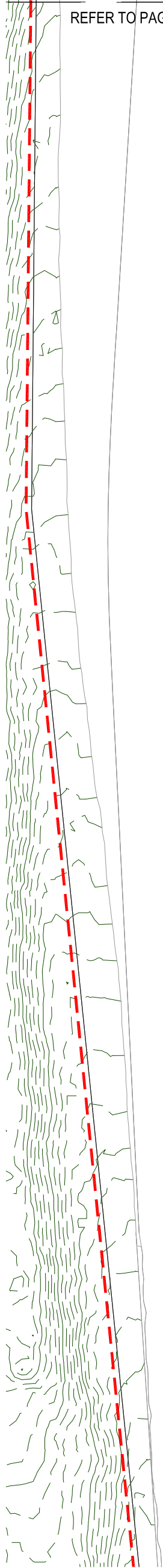
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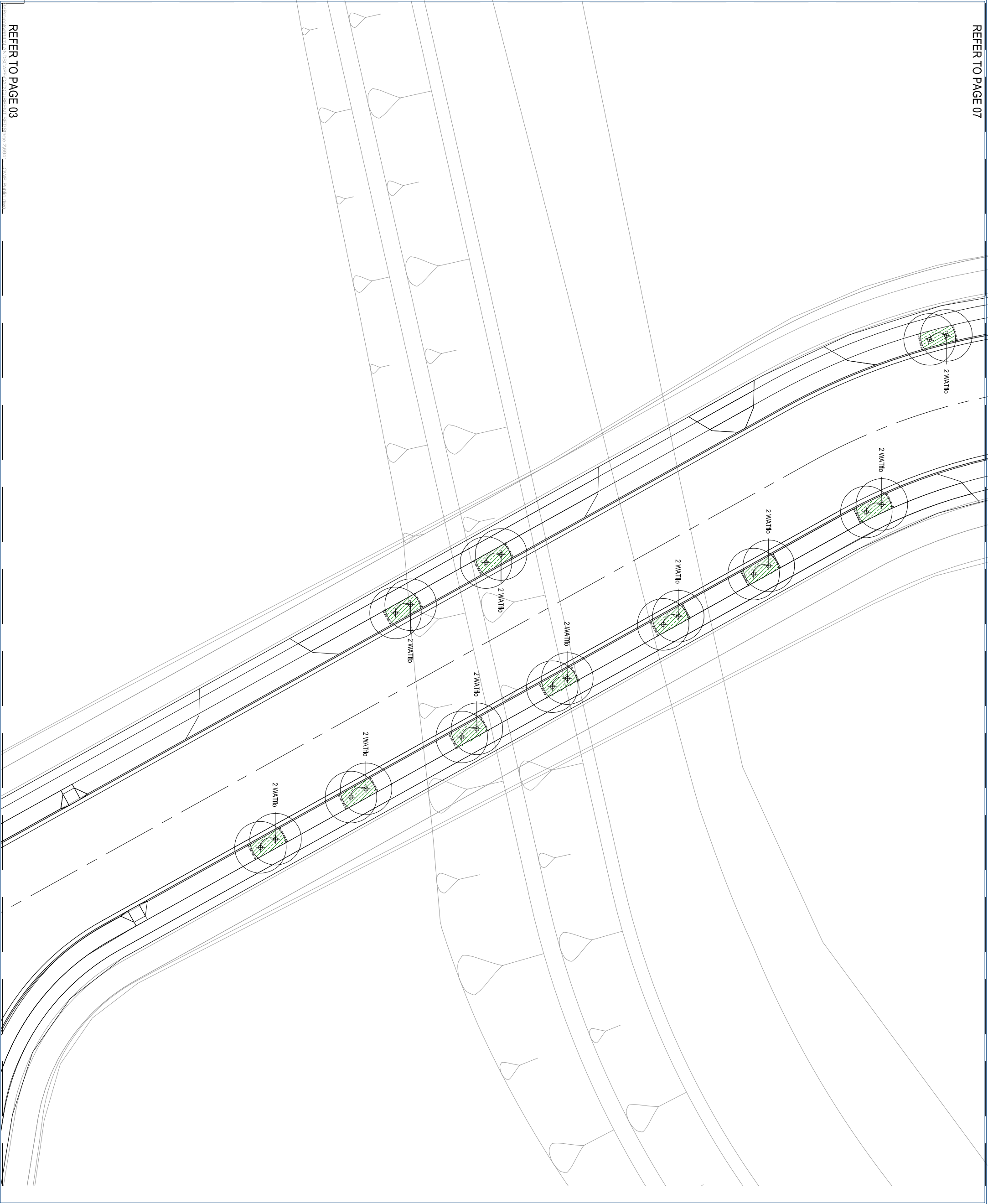
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Rev. No:

A

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LEGEND

T1 - Turf



G1 - Granite Bels



Trees



P1 - Coconut Palm



Town Poles



SE - Stone Edge

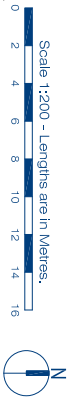


Slope Boundary



Watercourse





DRAWING TITLE

PLANTING PLAN

A1		11.08.2021	For Construction	JLS	MS
Issue	Date	Description	Drawn	Check	

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

RPEC: 16939

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LEGEND

T1 - Turf

G1 - Garden Beds

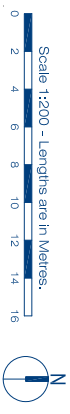
Tress

P1 - Decoree Plan

Town Plans

SE - Spout Edge

Slope Boundary



DRAWING TITLE

SURFACE TREATMENT PLAN

Issue	Date	For Construction	Description	JLS	LOG
				DRN	CRK

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

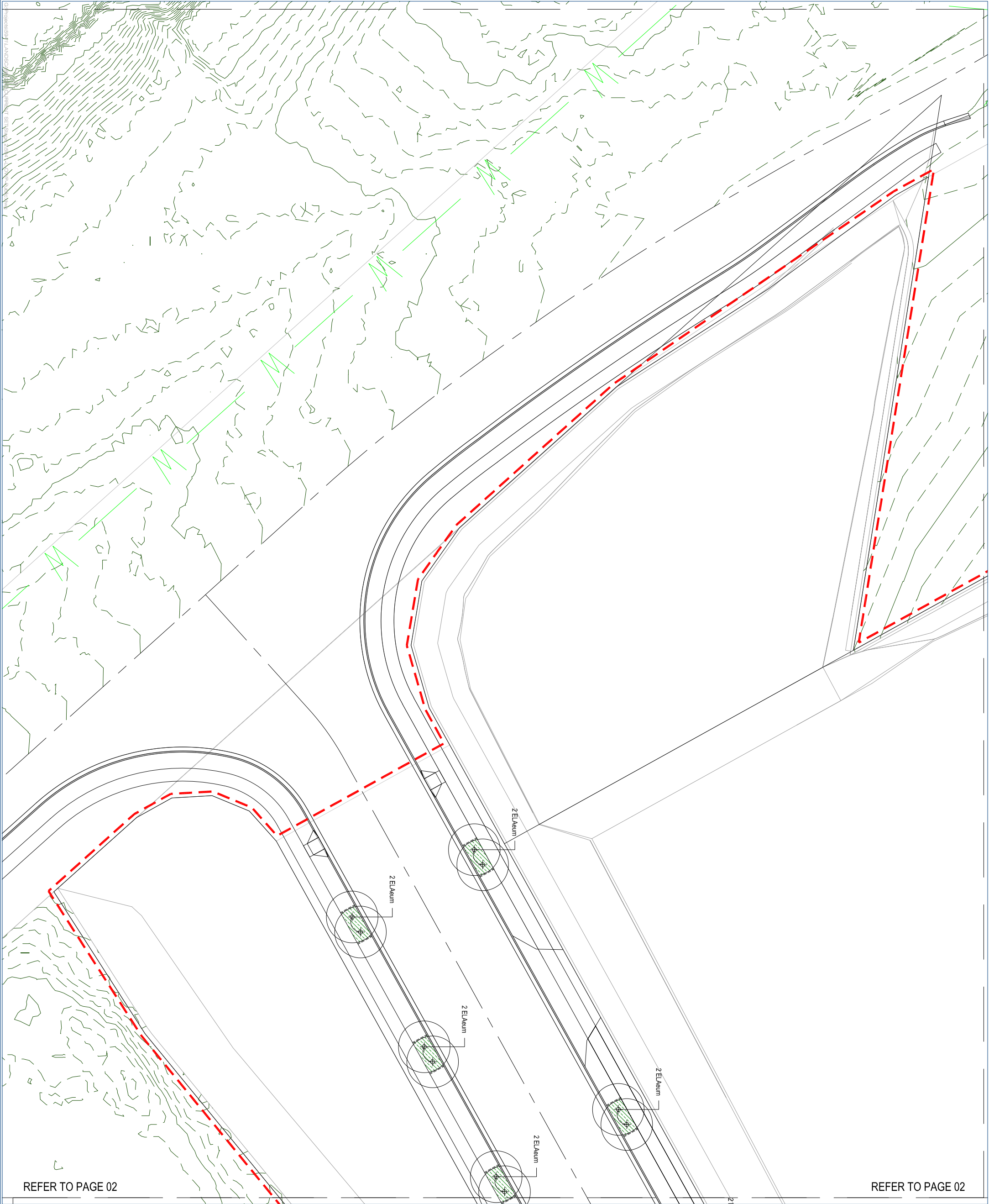
RPEQ: 16939

Signed: 

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Rev. No: A

REFER TO PAGE 06



REFER TO PAGE 02

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- T1 - Turf
- G1 - Grass Bole
- Trees
- P1 - Concrete Path
- Town Plots
- SE - Slope Edge
- Slope Boundary



DRAWING TITLE PLANTING PLAN

Issue	Date	For Construction	Description	JLS	MG	DRN	CHK
A	11.08.2021						

Scale at A1:

1:200

Designed:

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Drafted:

JLS

Approved:

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RPEC:

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Signed:

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Drawing No: 5941-L-OW-2-PUB-PP01 Rev. No: A



Client:

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

STAGE 2

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BE PRINTED IN COLOUR

Level 1

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Development Perspectives

T1-Turf

Totem Poles



PLANTING PLAN

Issue	Date
-------	------

1:200

10

==S

MG

1693

Michelle

13.08.2021

REV. NO.:

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

*THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR*

RPD:

Lot:

Plan:

Local Authority:

Level Datum:

501
SP295894
CITY OF GOLD COAST
COUNCIL
AHD

ISSUED FOR CONSTRUCTION

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

LEGEND

T1 - Turf

G1 - Green Bleed

Trees

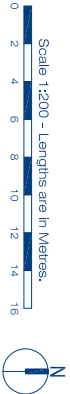
P1 - Concrete Path

Town Plots

SE - Slope Edge

Stage Boundary

delimited



DRAWING TITLE
PLANTING PLAN

A1	11.08.2021	For Construction	JLS	MG	
Issue	Date	Description	Drawn	Check	

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

RPEC: 16939

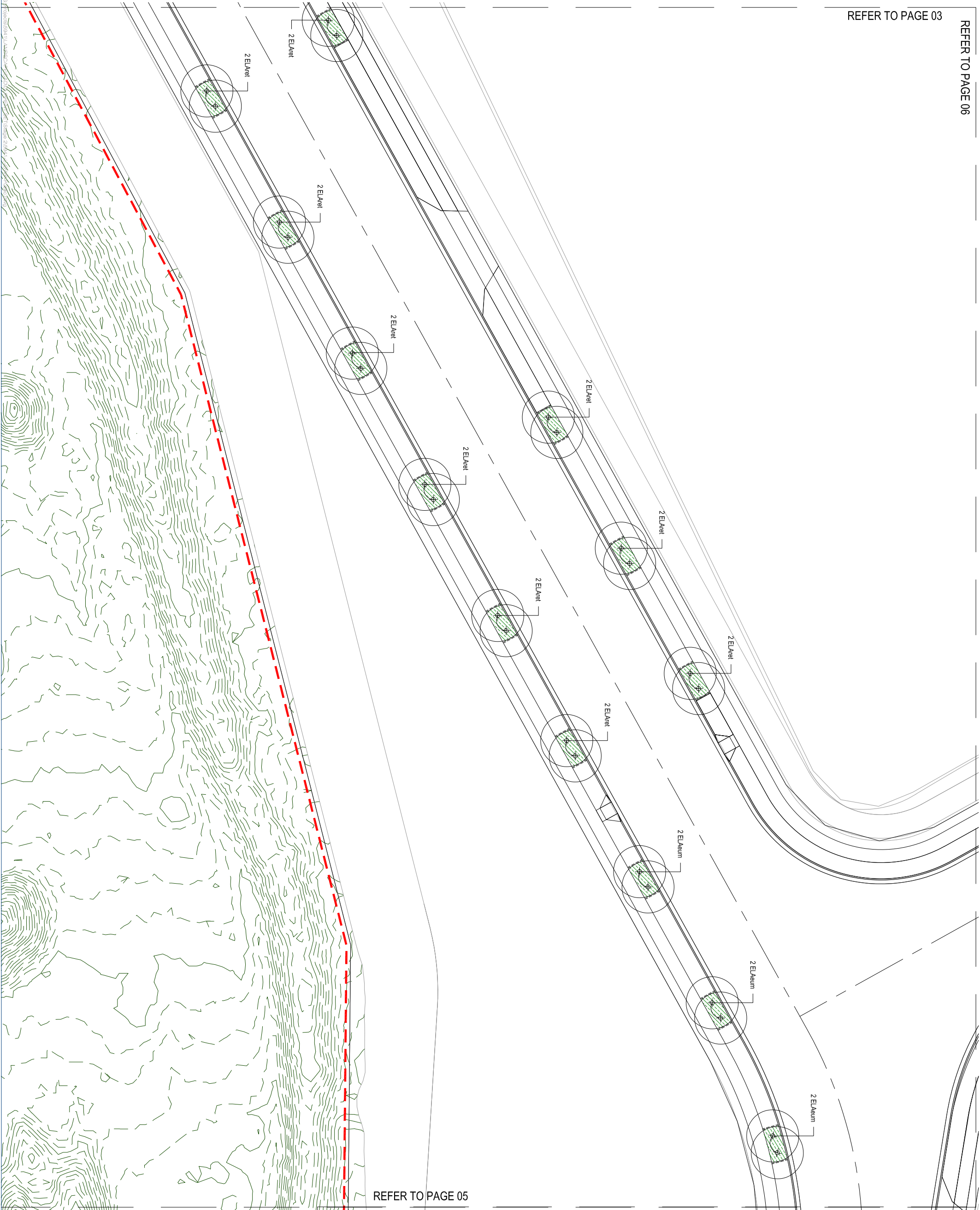
Signed: 

Date: 13.08.2021

Drawing No: 5941-L-OW-2-PUB-PP03 Rev. No: A

REFER TO PAGE 02

REFER TO PAGE 04



REFER TO PAGE 05

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295894
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

LEGEND

T1 - Turf

G1 - Green Beds

Trees

P1 - Concrete Path

Town Plots

SE - Stone Edge

Stage Boundary



DRAWING TITLE
PLANTING PLAN

A		11.08.2021	For Construction	JLS	MDG
Issue	Date	Description	Drawn	Check	

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

RPEC: 16939

Signed:

Date: 13.08.2021

Drawing No: 5941-L-OW-2-PUB-PP04
Rev. No: A

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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RPD:

Lot: 501
Plan: SP285994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

LEGEND

T1 - Turf

G1 - Garden Beds

Trees

P1 - Coconut Palm

Town Poles

SE - Stone Edge

Stage Boundary

Scale 1:200 - Lengths are in Metres.

0 2 4 6 8 10 12 14 16

DRAWING TITLE
PLANTING PLAN

Author	11.08.2021	For Construction	JLS	MG	
Drawn		Description	CHK	CHK	

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

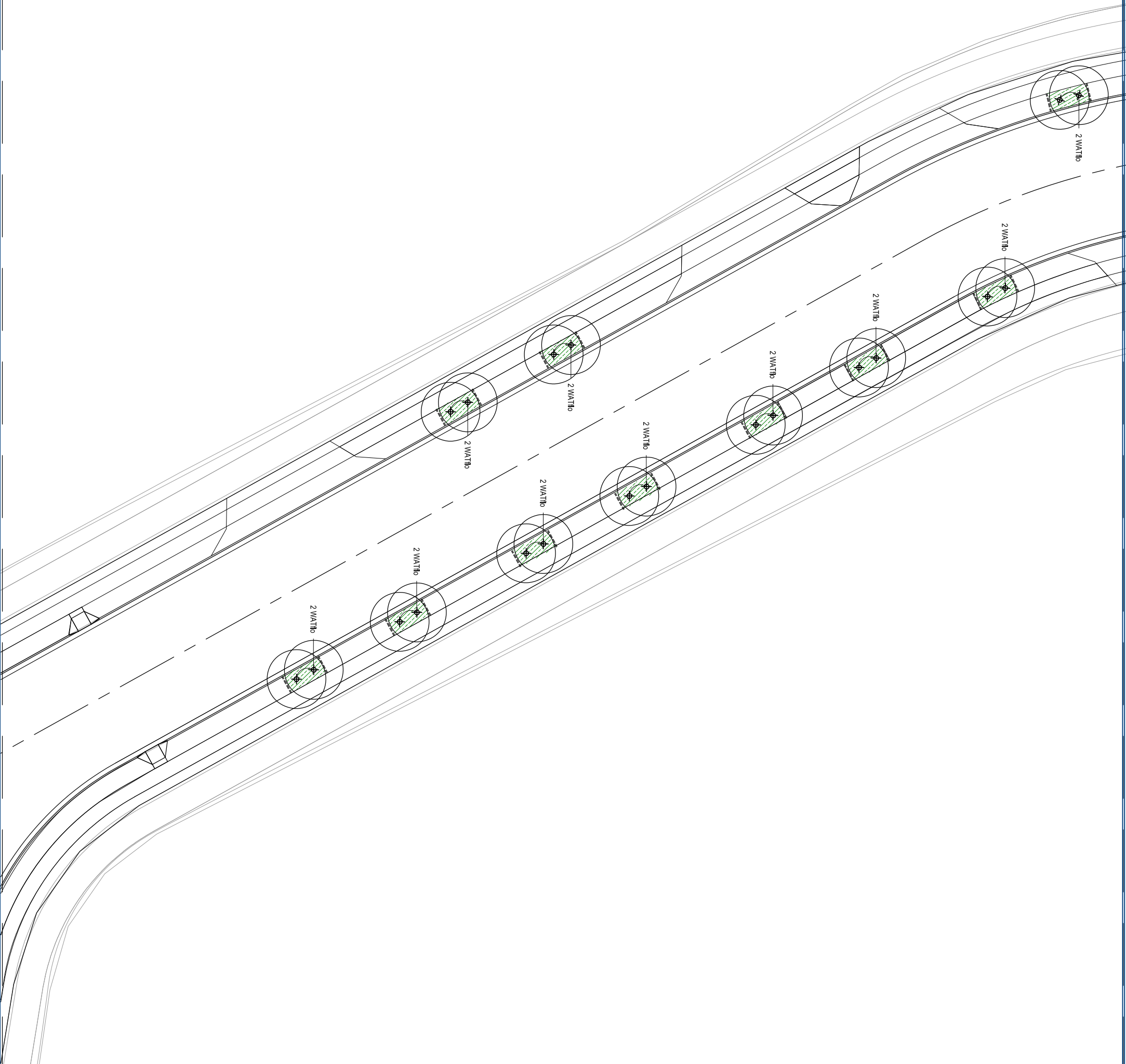
RPEQ: 16939

Signed:

Date: 13.08.2021

Drawing No: 5941-L-OW-2-PUB-PP05
Rev. No: A

REFER TO PAGE 204



Client:

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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RPD:

Lot: 501

Local Authority: CITY OF GOLD COAST

Level Datum: AHD

AHI

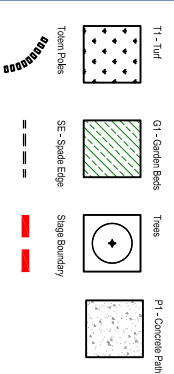
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LEGEND



DRAWING TITLE

PLANTING PLAN

A	11.08.2021	For Construction	JLS	MQ
Issue	Date	Description	DPN	Chk

Scale at A1: 1:200

Designed:	II S
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Drafted:	11/5
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Approved:	MG
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RPEQ:	16930
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Signed:	
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Date:	13 08 2021
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Drawing No: Rev. No:

5947-L-OW-2-PUB-PP06 A

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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RPD:

Lot: 501
Plan: SP295894
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COUNCIL
Level Datum: AHD

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

LEGEND

Turf

Grass Blade

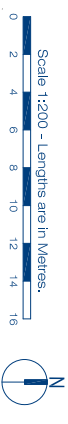
Trees

P1-Covered Path

Toen Piles

SE-Slope Edge

Slope Boundary



DRAWING TITLE
PLANTING PLAN

Issue	Date	For Construction	Description	JLS	MD
				DRN	CHK

Scale at A1: 1:200

Designed: JLS

Drafted: JLS

Approved: MG

RPECQ: 16939

Signed: 

Date: 13.08.2021

Drawing No: 5941-L-OW-2-PUB-PP07 Rev. No: A