

Date: 19 October 2021
Contact: Ruwangi SAMARASEKERA
Location: City Development
Telephone: 07 5582 8866
Your reference:
Our reference: COM/2021/229

Frasers Property Australia Pty Ltd
C/- Gassman Development Perspectives
PO BOX 392
BEENLEIGH QLD 4207

Dear Sir/Madam

Information Request

I refer to the development application lodged by:
Frasers Property Australia Pty Ltd

in relation to development of land/premises described as:
Lot 501 SP295994 – 60 Stapylton Jacobs Well Road, STAPYLTON QLD 4207

Council of the City of Gold Coast (Council) officers have reviewed the development application and supporting information and determined that further information is required to properly assess the application.

Pursuant to sections 13.2 and 13.3 of the Development Assessment Rules under the *Planning Act 2016*, the applicant may respond to this information request by giving to the assessing authority:

- 1 all of the information requested below; or
- 2 part of the information requested below; or
- 3 part of the information requested below together with a notice advising the assessing authority that it must proceed with the assessment of the application; or
- 4 a notice stating that none of the information requested below will be provided; or
- 5 a notice stating that none of the information requested below will be provided together with a notice advising the assessing authority that it must proceed with the assessment of the application.

You are advised that pursuant to section 13.1 of the Development Assessment Rules, the period for the applicant to respond to this information request is three (3) months of the date of this letter.

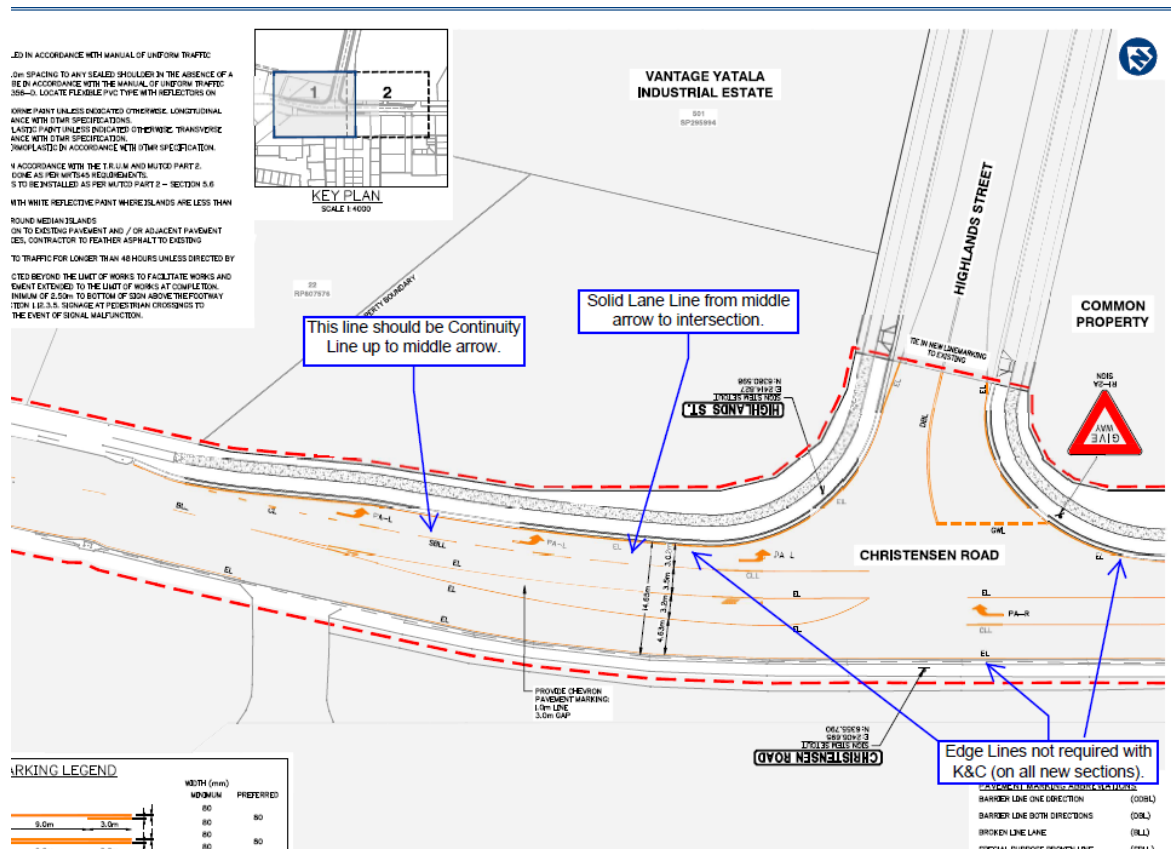
If no response is provided or only part of the information is provided to this request within the three (3) month period, Council will continue its assessment of the application based on the information submitted.

It would be in the applicant's best interest to address all of the information requested.
Please note that the provision of sufficient information to properly assess an application is a requirement for a favourable decision.

INFORMATION REQUEST

1. Linemarking and Signage

Please amend the drawing to comply with Transport and Traffic Branch comments.



2. External road works and VXO upgrades

- Please amend the external road work design drawings to comply with condition 18 of DA approval and approved Traffic engineering design (refer to below snip).

18 Existing roads / intersections

- Obtain an operational works approval for the design and upgrade of Christensen Road fronting stage 2 marked on the drawings listed below prior to a request is made to Council to approve the plan of subdivision at no cost to Council:

Drawing Title	Author	Date	Drawing No.	Ver
Proposed Staged	Gassman	31/03/2021	5941 P STAGE	-

Community Title Scheme Reconfiguration of Land Lots 201 to 207, Common Property, Drainage Reserve (Lot 901) & New Road	development perspectives		2 001 A	
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and include in particular:

- Pavement construction (including surfacing) to an Industrial Collector Street classification is required from the new kerb and channel (k&c) to the centreline of the road. The new kerb and channel is to be on an alignment 14 metres from the existing k&c on the opposite side of Christensen Road, to achieve a 14m wide carriageway comprising 2 x 3.5m travel lanes and 2 x 3.5m parking lanes.
- Note that a transition from the existing 12m carriageway width adjacent lot 22 on RP807576 to the 14m carriageway width can occur over the 1st 10m.
- Pavement depth must comply with an Industrial Collector Street classification.

b Construct and maintain the road identified above at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Plan Policy SC6.11 – Land development guidelines.

- b. The proposed VXOs upgrade must narrow down to comply with approved traffic engineering design (refer to below snip). Gradients and set out dimensions must comply with Standard Drawing IPWEAQ RS051. Please provide long sections and set-out dimensions of the VXOs for assessment and approval.

