

OUR REF: 5941
YOUR REF: COM/2021/229

16th November 2021

The Chief Executive Officer
Gold Coast City Council
PO Box 5042
GOLD COAST MAIL CENTRE QLD 9729

Attention: Ruwangi Samarasekera:

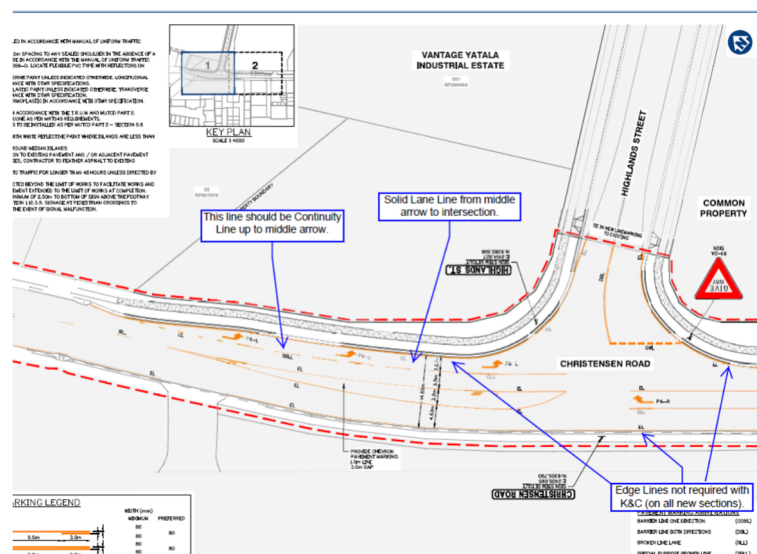
Dear Ruwangi,

**RE: RESPONSE TO INFORMATION REQUEST FOR COM/2021/229
60 STAPYLTON JACOBS WELL ROAD, STAPYLTON QLD 4207
(LOT 501 SP295994)**

We act on behalf of the Applicant, Frasers Property Australia Pty Ltd, and provide the following response to Council's Information Request dated 19th October 2021. Given the nature of the response, the Applicant considers this to be a full response to the information request.

1. Line marking and Signage

Please amend the drawing to comply with Transport and Traffic Branch comments.



GDP Response:

Please find attached to this response the amended engineering drawings addressing Transport and Traffic Branch's comments.

2. External road works and VXO upgrades

a. Please amend the external road work design drawings to comply with condition 18 of DA approval and approved Traffic engineering design (refer to below snip)

18

Existing roads / intersections

a

Obtain an operational works approval for the design and upgrade of Christensen Road fronting stage 2 marked on the drawings listed below prior to a request is made to Council to approve the plan of subdivision at no cost to Council:

Drawing Title	Author	Date	Drawing No.	Ver
Proposed Staged	Gassman	31/03/2021	5941 P STAGE	-
Community Title Scheme Reconfiguration of Land Lots 201 to 207, Common Property, Drainage Reserve (Lot 901) & New Road	development perspectives		2 001 A	

and include in particular:

i

Pavement construction (including surfacing) to an Industrial Collector Street classification is required from the new kerb and channel (k&c) to the centreline of the road. The new kerb and channel is to be on an alignment 14 metres from the existing k&c on the opposite side of Christensen Road, to achieve a 14m wide carriageway comprising 2 x 3.5m travel lanes and 2 x3.5m parking lanes.

ii

Note that a transition from the existing 12m carriageway width adjacent lot 22 on RP807576 to the 14m carriageway width can occur over the 1st 10m.

iii

Pavement depth must comply with an Industrial Collector Street classification.

b

Construct and maintain the road identified above at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Plan Policy SC6.11 – Land development guidelines.

GDP Response:

Please find attached to this response the amended engineering drawings addressing Transport and Traffic Branch's comments. It is noted that the originally submitted design complied with these requirements though a width marker was set to the lip of kerb as opposed to invert which was providing a narrower measurement in the auxiliary left lane than that was actually designed.

b. The proposed VXOs upgrade must narrow down to comply with approved traffic engineering design (refer to below snip). Gradients and set out dimensions must comply with Standard Drawing IPWEAQ RS051. Please provide long sections and set-out dimensions of the VXOs for assessment and approval.

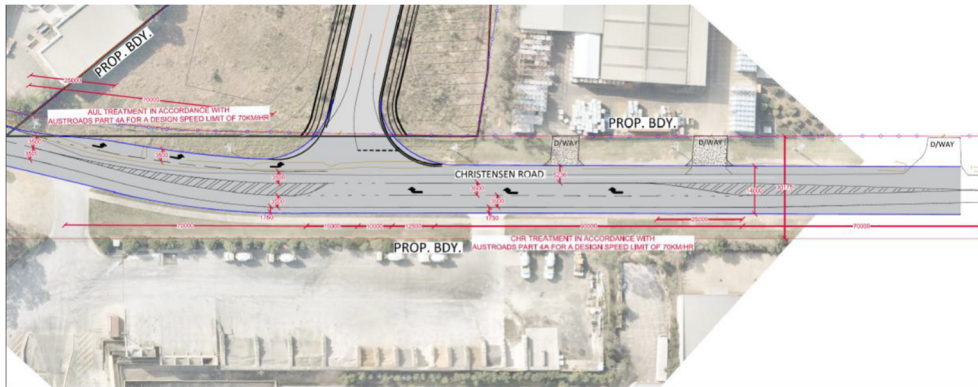
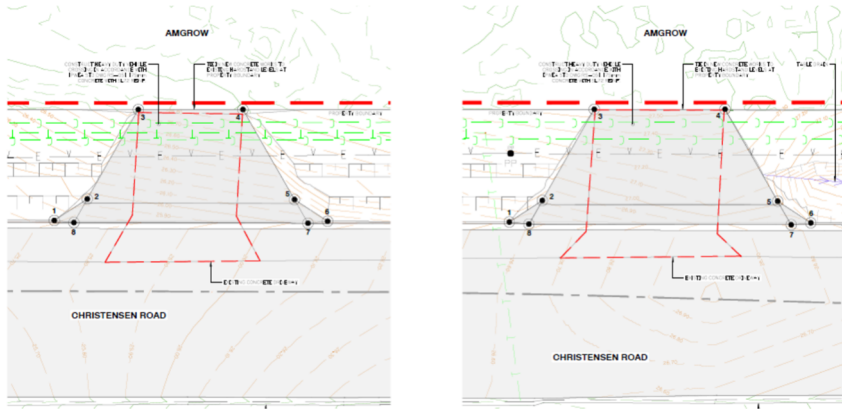


FIGURE 5.1 – CONCEPT DESIGN OF THE PROPOSED SITE ACCESS / CHRISTENSEN ROAD INTERSECTION

GDP Response:

Please find attached to this response the amended engineering drawings addressing Transport and Traffic Branch's comments including the addition of long sections to the Driveway Setout Details plan (drawing no. 480 Rev B).

We feel that the above information satisfactorily responds and addresses all the matters raised as part of the Information Request and we look forward to a timely and favourable determination of the application.

If you require any further information or have any queries, please contact the undersigned.

Yours faithfully,

GASSMAN DEVELOPMENT PERSPECTIVES

MITCHELL GASSMAN
CIVIL PROJECT ENGINEER
R.P.E.Q. 16939

Attachments:

As listed above