

EXTERNAL INTERSECTION CIVIL WORKS

CHRISTENSEN ROAD & HIGHLANDS STREET

FOR VANTAGE YATALA STAGE 2



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

DRAWING INDEX		
DRAWING No.	REV No.	DRAWING TITLE
594I ENG EXTINT2 001	B	DRAWING INDEX AND LOCALITY PLAN
594I ENG EXTINT2 002	A	GENERAL NOTES
594I ENG EXTINT2 003	A	LEGEND
594I ENG EXTINT2 004	B	KEY PLAN LAYOUT
594I ENG EXTINT2 010	A	EXISTING SURFACE LAYOUT PLAN SHEET 1 OF 2
594I ENG EXTINT2 011	A	EXISTING SURFACE LAYOUT PLAN SHEET 2 OF 2
594I ENG EXTINT2 020	A	DEMOLITION AND PROTECTION LAYOUT PLAN SHEET 1 OF 2
594I ENG EXTINT2 021	B	DEMOLITION AND PROTECTION LAYOUT PLAN SHEET 2 OF 2
594I ENG EXTINT2 050	A	SEDIMENT AND EROSION CONTROL PLAN SHEET 1 OF 2
594I ENG EXTINT2 051	B	SEDIMENT AND EROSION CONTROL PLAN SHEET 2 OF 2
594I ENG EXTINT2 052	A	SEDIMENT AND EROSION TYPICAL SECTIONS AND DETAILS
594I ENG EXTINT2 120	B	EARTHWORKS CUT AND FILL PLAN SHEET 1 OF 2
594I ENG EXTINT2 121	B	EARTHWORKS CUT AND FILL PLAN SHEET 2 OF 2
594I ENG EXTINT2 400	A	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 1 OF 2
594I ENG EXTINT2 401	B	ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 2 OF 2
594I ENG EXTINT2 410	A	TYPICAL SECTIONS AND DETAILS SHEET 1 OF 2
594I ENG EXTINT2 411	A	TYPICAL SECTIONS AND DETAILS SHEET 2 OF 2
594I ENG EXTINT2 420	B	CONTROL LINE LAYOUT PLAN
594I ENG EXTINT2 421	A	CONTROL LINE SETOUT TABLES
594I ENG EXTINT2 430	A	CHRISTENSEN ROAD LONGITUDINAL SECTION
594I ENG EXTINT2 431	A	HIGHLANDS STREET LONGITUDINAL SECTION
594I ENG EXTINT2 450	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 1 OF 13
594I ENG EXTINT2 451	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 2 OF 13
594I ENG EXTINT2 452	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 3 OF 13
594I ENG EXTINT2 453	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 4 OF 13
594I ENG EXTINT2 454	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 5 OF 13
594I ENG EXTINT2 455	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 6 OF 13
594I ENG EXTINT2 456	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 7 OF 13
594I ENG EXTINT2 457	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 8 OF 13
594I ENG EXTINT2 458	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 9 OF 13
594I ENG EXTINT2 459	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 10 OF 13
594I ENG EXTINT2 460	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 11 OF 13
594I ENG EXTINT2 461	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 12 OF 13
594I ENG EXTINT2 462	A	CHRISTENSEN ROAD CROSS SECTIONS SHEET 13 OF 13
594I ENG EXTINT2 480	B	DRIVEWAY SETOUT DETAILS
594I ENG EXTINT2 490	B	CHRISTENSEN ROAD & HIGHLANDS STREET INTERSECTION DETAILS
594I ENG EXTINT2 500	B	STORMWATER DRAINAGE CATCHMENT PLAN
594I ENG EXTINT2 510	B	STORMWATER DRAINAGE LONGITUDINAL SECTIONS
594I ENG EXTINT2 511	B	TABLE DRAIN SETOUT PLAN
594I ENG EXTINT2 550	A	STORMWATER DRAINAGE CALCULATION TABLES
594I ENG EXTINT2 800	B	LINEMARKING AND SIGNAGE PLAN SHEET 1 OF 2
594I ENG EXTINT2 801	B	LINEMARKING AND SIGNAGE PLAN SHEET 2 OF 2
594I ENG EXTINT2 900	B	A-DOUBLE SWEEP PATH ANALYSIS SHEET 1 OF 4
594I ENG EXTINT2 901	B	A-DOUBLE SWEEP PATH ANALYSIS SHEET 2 OF 4
594I ENG EXTINT2 902	B	A-DOUBLE SWEEP PATH ANALYSIS SHEET 3 OF 4
594I ENG EXTINT2 903	B	A-DOUBLE SWEEP PATH ANALYSIS SHEET 4 OF 4

STANDARD DRAWINGS			
DRAWING No.	REV.	ASSOCIATION	DRAWING TITLE
DS-010	F	IPWEA	ACCESS CHAMBER – STORMWATER ACCESS CHAMBER DETAILS – 1050 TO 2100 DIA
DS-015	C	IPWEA	ACCESS CHAMBER – MANHOLE FRAME – ROADWAY AND NON ROADWAY – 1050 TO 2100 DIA
DS-018	C	IPWEA	ACCESS CHAMBER – MANHOLE RISER DETAILS
DS-019	C	IPWEA	ACCESS CHAMBER – MANHOLE ROVER (ROADWAY)
DS-020	C	IPWEA	ACCESS CHAMBER – MANHOLE ROVER (NON ROADWAY)
DS-021	C	IPWEA	ACCESS CHAMBER – MANHOLE COVER CONCRETE INFILL (PEDESTRIAN TRAFFIC) 1050 TO 2100 DIA
DS-030	F	IPWEA	EXCAVATION, BEDDING & BACKFILL – RIGID & FLEXIBLE DRAINAGE PIPES
DS-031	D	IPWEA	EXCAVATION, BEDDING & BACKFILL PRECAST – BOX CULVERTS
DS-040	E	IPWEA	SEDIMENT CONTROL – SEDIMENT CONTROL DEVICES – SEDIMENT FENCE, ENTRY/EXIT SEDIMENT TRAP
DS-041	E	IPWEA	SEDIMENT CONTROL – SEDIMENT CONTROL DEVICES – KERB AND FIELD INLET, CHECK DAMS & STRAW BALES
DS-061	B	IPWEA	DRAINAGE PITS – KERB INLET – PRECAST LINTEL DETAILS
DS-062	D	IPWEA	DRAINAGE PITS – KERB INLET – GRATE AND FRAME
DS-063	C	IPWEA	DRAINAGE PITS – KERB INLET – LIP IN LINE – GENERAL ARRANGEMENT
DS-065	I	IPWEA	PATHWAYS – CONCRETE PATHWAY CONSTRUCTION DETAILS
RS-051	H	IPWEA	VEHICLE CROSSINGS HEAVY DUTY
RS-080	F	IPWEA	KERB AND CHANNEL – PROFILES AND DIMENSIONS – INCLUDING EDGE RESTRAINTS, MEDIAN & CHANNEL
RS-130	F	IPWEA	ROAD FURNITURE – STREET NAME SIGN AND LOCATION (FINGERBOARD)
RS-131	G	IPWEA	ROAD FURNITURE – TRAFFIC SIGN INSTALLATION DETAILS
RS-140	F	IPWEA	SUBSOIL DRAINS – DETAILS AND LOCATION
RS-142	F	IPWEA	SUBSOIL DRAINS – ACCESS POINTS
02-003	2	CoGC	TYPICAL CROSS SECTIONS – COLLECTOR STREETS – PLAN 2 OF 2
02-005	I	CoGC	PUBLIC UTILITY PLANT CORRIDOR ALLOCATIONS IN PUBLIC ROAD VERGES
02-601	I	CoGC	NEW ROADS – SERVICE CONDUIT CROSSINGS
02-602	I	CoGC	ROAD CROSSING – TRENCH RESTORATION – FLEXIBLE PAVEMENTS
03-008	I	CoGC	FIELD INLET AND INTER-ALLOTMENT DRAINAGE PIT
03-101	I	CoGC	STORMWATER ACCESS CHAMBER 1050 DIA TO 1500 DIA
03-102	I	CoGC	STORMWATER ACCESS CHAMBER 1050 DIA TO 1500 DIA ROOF SLABS
03-201	I	CoGC	EXCAVATION AND BEDDING OF CONCRETE STORMWATER PIPES



LOCALITY PLAN
SCALE 1:4000 (A1)



CLIENT

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

SITE ADDRESS

ROAD RESERVE FRONTING
60 STAPYLTON JACOBS WELL ROAD
STAPYLTON
LOT 501 SP295994

DWG No. 594I ENG EXTINT2 001 – REV B

SEPTEMBER 2021

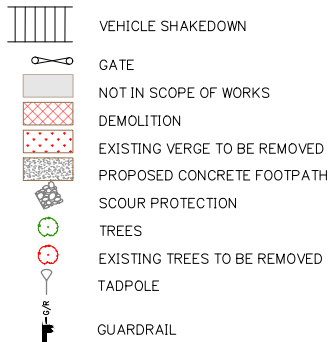
	OVERLAND FLOW PATH / SWALE
	CATCH DRAIN (NOT LINED)
	DIVERSION CHANNEL
	TABLE DRAIN
	STREAM INVERT
	CATCH DRAIN (CONCRETE LINED)
	SUBSOIL DRAINAGE
	SAWCUT
	SEDIMENT FENCE
	CHAINWIRE FENCE
	WOODEN FENCE
	BRIFEN WIRE SAFETY BARRIER
	GUARDRAIL (STANDARD)
	RETAINING WALL (PILED)
	RETAINING WALL (WITH FOOTINGS)
	RETAINING WALL
	ROCKBLOCK RETAINING WALL
	TOP OF BATTER / BERM
	NOISE WALL
	EDGE OF VEGETATION
	PROPERTY LINE
	PROPERTY LINE WITH FENCE
	PROPOSED KERB, FOOTPATH
	CONTROL LINE / CENTER OF ROAD
	RAILWAY (MAJOR)
	RAILWAY (MINOR)
	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE WITH FENCE
	EXISTING KERB, FOOTPATH
	EXISTING EDGE OF BITUMEN
	EXISTING RAILWAY (MAJOR)
	EXISTING RAILWAY (MINOR)
	LIMIT OF WORKS
	LIMIT OF SITE
	CATCHMENT BOUNDARY
	EXISTING CONTOURS
	DESIGN CONTOURS

RM	RM	RM	PROPOSED RISING MAIN
S	S	S	PROPOSED SEWER
SW	SW	SW	PROPOSED STORMWATER
SW	SW	SW	PROPOSED ROOFWATER
SS	SS	SS	PROPOSED ROOFWATER
SS	SS	SS	PROPOSED SUBSOIL
W	W	W	PROPOSED WATER
W	W	W	PROPOSED RECYCLED WATER
OIL	OIL	OIL	PROPOSED OIL
F	F	F	PROPOSED FUEL
G	G	G	PROPOSED GAS
P	P	P	PROPOSED PIPELINE
HV	HV	HV	PROPOSED HIGH VOLTAGE ELECTRICITY
E	E	E	PROPOSED UNDERGROUND ELECTRICITY
E	E	E	PROPOSED OVERHEAD ELECTRICITY
L	L	L	PROPOSED LIGHTING
T	T	T	PROPOSED TELSTRA
C	C	C	PROPOSED COMMUNICATIONS
GE	GE	GE	PROPOSED GAS, ELECT
GT	GT	GT	PROPOSED GAS, TELSTRA
ET	ET	ET	PROPOSED ELECT, TELSTRA
GET	GET	GET	PROPOSED GAS, ELECTRICITY, TELSTRA
RM	RM	RM	EXISTING RISING MAIN
S	S	S	EXISTING SEWER
SW	SW	SW	EXISTING STORMWATER
SW	SW	SW	EXISTING ROOFWATER
SS	SS	SS	EXISTING SUBSOIL
W	W	W	EXISTING WATER
W	W	W	EXISTING RECYCLED WATER
OIL	OIL	OIL	EXISTING OIL
F	F	F	EXISTING FUEL
G	G	G	EXISTING GAS
P	P	P	EXISTING PIPELINE
HV	HV	HV	EXISTING HIGH VOLTAGE ELECTRICITY
E	E	E	EXISTING UNDERGROUND ELECTRICITY
E	E	E	EXISTING OVERHEAD ELECTRICITY
L	L	L	EXISTING LIGHTING
T	T	T	EXISTING TELSTRA
C	C	C	EXISTING COMMUNICATIONS
GE	GE	GE	EXISTING GAS, ELECT
GT	GT	GT	EXISTING GAS, TELSTRA
ET	ET	ET	EXISTING ELECT, TELSTRA
GET	GET	GET	EXISTING GAS, ELECTRICITY, TELSTRA

RM	✗	RM	✗	RM	✗	RM	✗	DEMOLISH RISING MAIN
S	✗	S	✗	S	✗	S	✗	DEMOLISH SEWER
SW	✗	SW	✗	SW	✗	SW	✗	DEMOLISH STORMWATER
SS	✗	SS	✗	SS	✗	SS	✗	DEMOLISH SUBSOIL
W	✗	W	✗	W	✗	W	✗	DEMOLISH WATER
OIL	✗	OIL	✗	OIL	✗	OIL	✗	DEMOLISH OIL
F	✗	F	✗	F	✗	F	✗	DEMOLISH FUEL
HV	✗	HV	✗	HV	✗	HV	✗	DEMOLISH HIGH VOLTAGE ELECTRICITY
E	✗	E	✗	E	✗	E	✗	DEMOLISH UNDERGROUND ELECTRICITY
E	✗	E	✗	E	✗	E	✗	DEMOLISH OVERHEAD ELECTRICITY
L	✗	L	✗	L	✗	L	✗	DEMOLISH LIGHTING
G	✗	G	✗	G	✗	G	✗	DEMOLISH GAS
P	✗	P	✗	P	✗	P	✗	DEMOLISH PIPELINE
T	✗	T	✗	T	✗	T	✗	DEMOLISH TELSTRA
C	✗	C	✗	C	✗	C	✗	DEMOLISH COMMUNICATIONS

BA(K)	BARRIER KERB (A)
BA(B)	BARRIER KERB (B)
BA(G)	BARRIER KERB (G)
MD(K)	MOUNTABLE KERB (D)
SMK(C)	SEMI MOUNTABLE KERB (C)
ER(E)	EDGE RESTRAINT (E)
KE(F)	KERB EDGE RESTRAINT (F)
RK&C(H)	ROLL TOP KERB & CHANNEL (H)
BA&C(J)	BARRIER KERB & CHANNEL (J)
ERH	KERB EDGE RESTRAINT (HIGH)
ERL	KERB EDGE RESTRAINT (LOW)
CS(K/L)	CHANNEL SECTON (K/L)
PMB	PRECAST MOTOR BED
DD	DISH DRAIN
K&G	KERB AND GUTTER
K&T	KERB AND TOE
KO	KERB ONLY
MK	MOUNTABLE KERB
RK	ROLL KERB
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED ROAD EDGE GUIDE POST
o BIN	EXISTING BIN
o PB	POST BOX
	TELEPHONE BOX
	TELSTRA PIT
o MP	TELSTRA MARKER POST
• WM	WATER METER
• V	WATER VALVE
• F.H	FIRE HYDRANT
o TAP	WATER TAP
	WATER HYDRANT
	WATER TEE
	WATER REDUCER
	WATER ENDCAP
	WATER CONNECTION
	WATER CROSSING
	WATER DICL
	SEWER MANHOLE
	SEWER LOWERING END
	SEWER BEND
	SEWER MAINTENANCE SHAFT
	SEWER 'T' END
	SEWER SLUICE VALVE

	SEWER PIT
	SEWER PUMP STATION
	TEMPORARY SEWER PUMP STATION
	SEWER / STORMWATER PIT NO./LINE
	SETOUT POINT
	OFFSET PIT WITH GRATE
	IN LINE PIT WITH GRATE
	JUNCTION PIT
	LETTERBOX PIT
	GRATED INLET PIT
	MANHOLE
	GULLY PIT (LIP INLINE) ROLL TOP KERB – GRADE
	GULLY PIT (LIP INLINE) BARRIER KERB – SAG
	GULLY PIT (LIP INLINE) BARRIER KERB – GRADE
	GULLY PIT (LIP INLINE) ROLL TOP KERB – SAG
	GULLY PIT (KERB INLINE) – GRADE
	GULLY PIT (KERB INLINE) – SAG
	INFILTRATION TRENCH
	HEADWALL
	GROSS POLLUTANT TRAP
	STORMWATER CHAMBER
	SUBSOIL DRAIN AND CLEANOUT – KERB SHOULDER
	SUBSOIL OUTLET
	BUND
	POWER POLE
	POWER POLE WITH LIGHT
	LIGHT POLE
	STAY POLE
	LIGHT POLE WITH EXTENSION
	ELECTRICAL INSPECTION BOX
	ELECTRICAL POLE
	ELECTRICAL TURRET
	TRAFFIC SIGNAL
	MAIN ROADS PIT
	TANGENT POINT
	KERB RETURN NO.
	PRAM RAMP
	GRAVEL ROCK CHECK DAM
	MESH & GRAVEL INLET FILTER
	STORMWATER INLET FILTER
	DIRECTION OF OVERLAND FLOW



		WIDTH (mm)	
		MINIMUM	PREFERRED
ONE DIRECTION		80	80
BOTH DIRECTIONS		80	80
BROKEN LINE LANE		100	100
EDGE LINE		150	150
CONTINUOUS LINE		100	100
CONTINUITY LINE		200	200
TURN LINE		100	100
STOP LINE		300	300
GIVE WAY LINE		300	300
CROSSWALK LINE		200	200
SPECIAL PURPOSE BROKEN LINE		200	80

BARRIER LINE ONE DIRECTION	(ODBL)
BARRIER LINE BOTH DIRECTIONS	(DBL)
BROKEN LINE LANE	(BLL)
SPECIAL PURPOSE BROKEN LINE	(SBLL)
CONTINUOUS LANE LINE	(CLL)
EDGE LINE	(EL)
CONTINUITY LINE	(CL)
TURN LINE	(TL)
STOP LINE	(SL)
GIVE WAY LINE	(GWL)
EXCLUSIVE LEFT TURN ARROW	(PA-L)
EXCLUSIVE RIGHT TURN ARROW	(PA-R)
COMBINED STRAIGHT AHEAD AND LEFT TURN ARROW	(PA-SAL)
COMBINED STRAIGHT AHEAD AND RIGHT TURN ARROW	(PA-SAR)
BICYCLE LANE SYMBOL FOR ON-ROAD USE	(PS-2)
MERGE RIGHT ARROW	(PA-MR)
PEDESTRIAN CROSSWALK LINE	(PCW)

-2.0	to	-1.9	m	
-1.9	to	-1.8	m	
-1.8	to	-1.7	m	
-1.7	to	-1.6	m	
-1.6	to	-1.5	m	
-1.5	to	-1.4	m	
-1.4	to	-1.3	m	
-1.3	to	-1.2	m	
-1.2	to	-1.1	m	
-1.1	to	-1.0	m	
-1.0	to	-0.9	m	
-0.9	to	-0.8	m	
-0.8	to	-0.7	m	
-0.7	to	-0.6	m	
-0.6	to	-0.5	m	
-0.5	to	-0.4	m	
-0.4	to	-0.3	m	
-0.3	to	-0.2	m	
-0.2	to	-0.1	m	
-0.1	to	0.0	m	
0.0	to	0.1	m	
0.1	to	0.2	m	
0.2	to	0.3	m	
0.3	to	0.4	m	
0.4	to	0.5	m	
0.5	to	0.6	m	



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	501
Plan:	SP295994
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

LEGEND

[illegible]

NOT APPLICABLE

Scale at A1: NTS

Designed:	IG
-----------	----

Drafted:	LAB
----------	-----

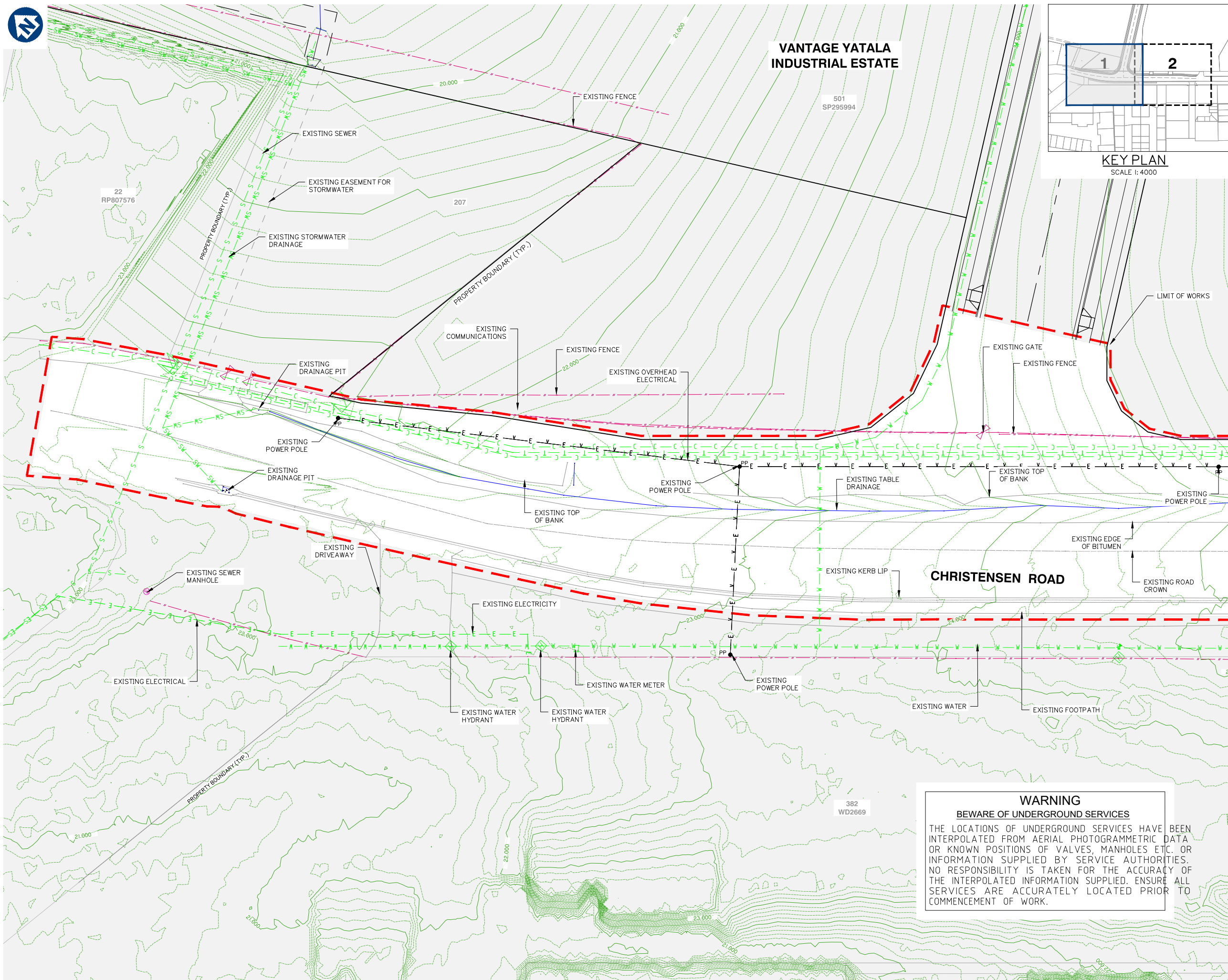
Approved:	MG
-----------	----

RPEQ:	1693
-------	------

Signed:

Drawing No:	Rev. No:
5941 ENG EXTINT2 003	A





Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

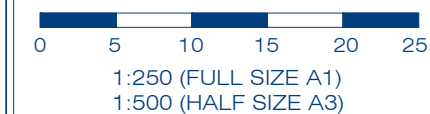
©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be
reproduced or transmitted in any form or by any means,
electronic, mechanical, photocopying, recording, or
otherwise, without the written permission of Gassman
Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

EXISTING SURFACE LAYOUT
PLAN SHEET 1 OF 2

Issue	Date	Original Issue Description	LAB DRN	MG CHK
A	14-09-2021	ORIGINAL ISSUE		



Scale at A1: 1:250

Designed: IG

Drafted: LAB

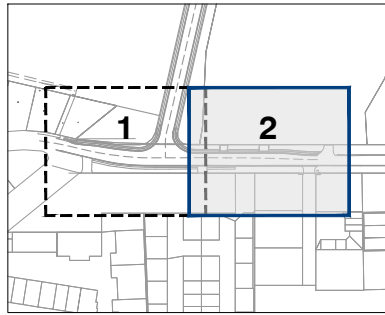
Approved: MG

RPEQ: 16939

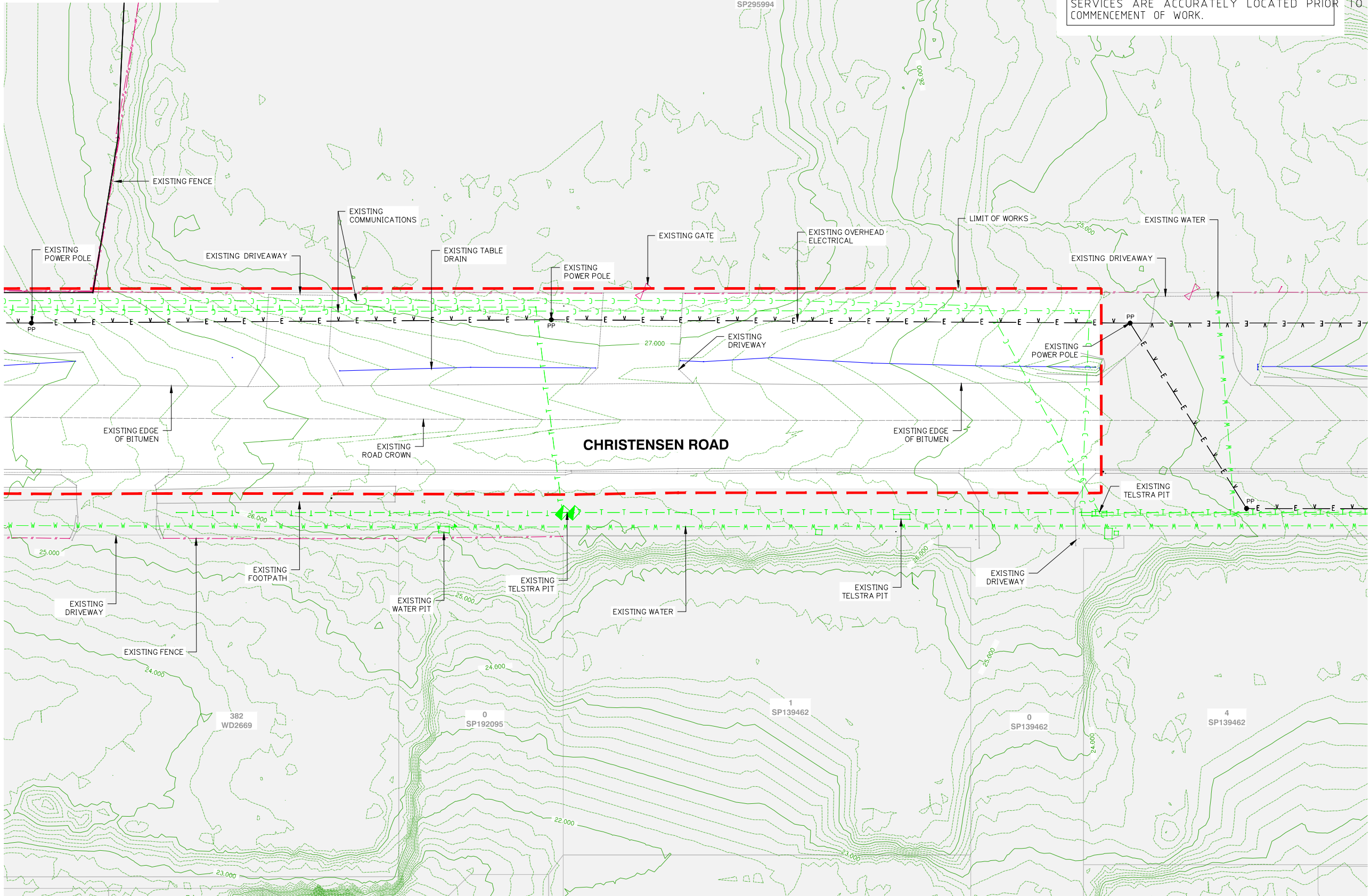
Signed:

Date: 14-09-2021

Drawing No: 5941 ENG EXTINT2 010
Rev. No: A



KEY PLAN
SCALE 1:4000



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES HAVE BEEN INTERPOLATED FROM AERIAL PHOTOGRAMMETRIC DATA OR KNOWN POSITIONS OF VALVES, MANHOLES ETC. OR INFORMATION SUPPLIED BY SERVICE AUTHORITIES. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF THE INTERPOLATED INFORMATION SUPPLIED. ENSURE ALL SERVICES ARE ACCURATELY LOCATED PRIOR TO COMMENCEMENT OF WORK.



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 176 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

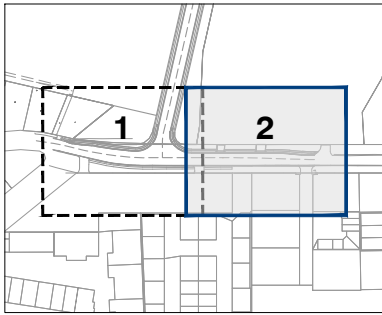
EXISTING SURFACE LAYOUT
PLAN SHEET 2 OF 2

Issue	Date	Original Issue Description	LAB DRN	MG CHK
A	14-09-2021			

0 5 10 15 20 25
1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

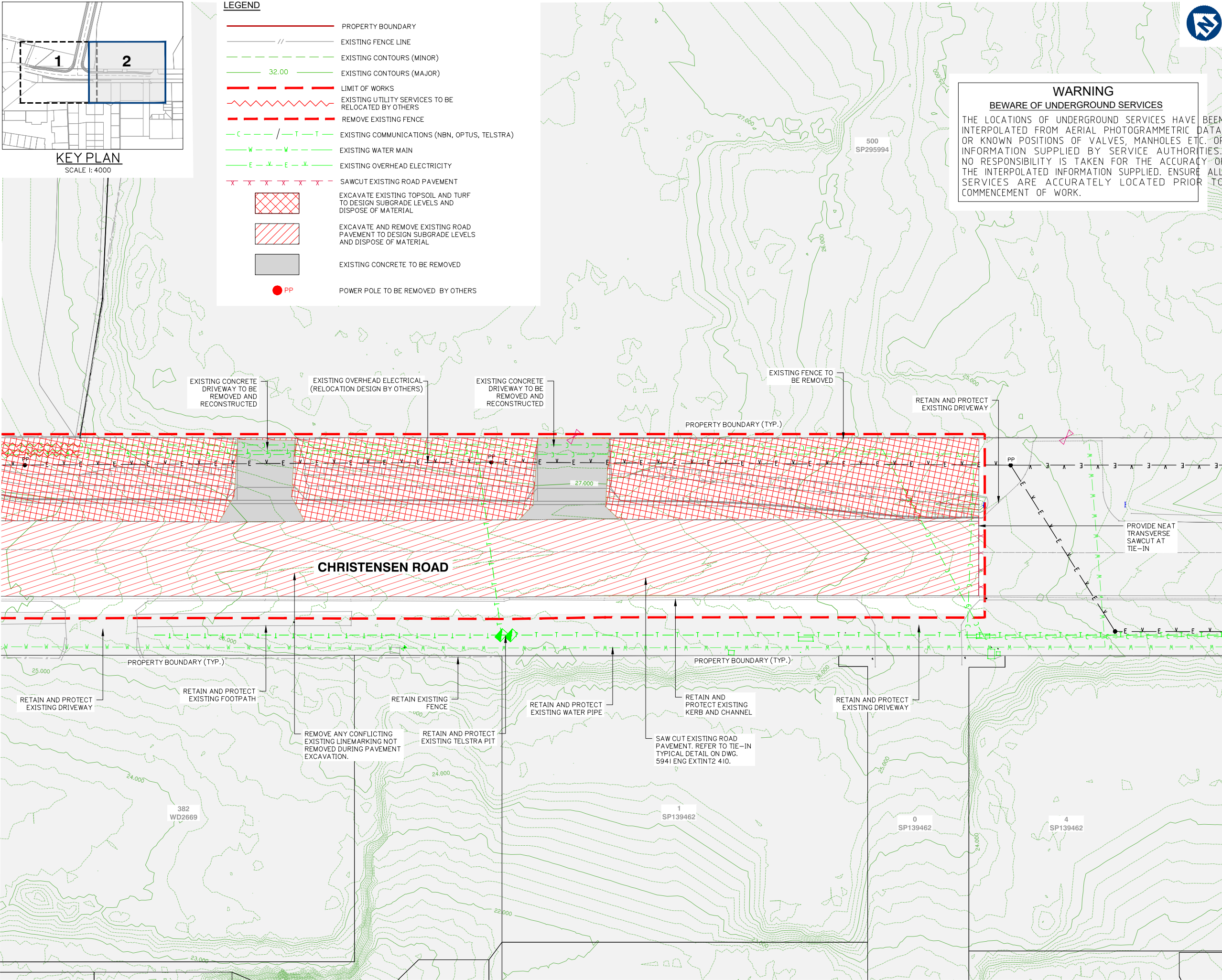
Scale at A1:	1:250
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 011
Rev. No: A

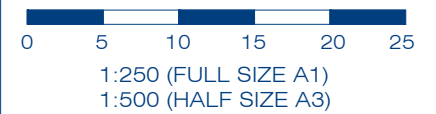


KEY PLAN
SCALE 1: 4000

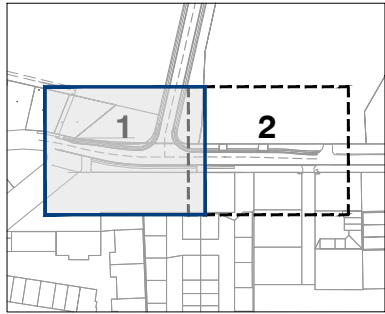
- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING FENCE LINE
 - EXISTING CONTOURS (MINOR)
 - EXISTING CONTOURS (MAJOR)
 - LIMIT OF WORKS
 - EXISTING UTILITY SERVICES TO BE RELOCATED BY OTHERS
 - REMOVE EXISTING FENCE
 - EXISTING COMMUNICATIONS (NBN, OPTUS, TELSTRA)
 - EXISTING WATER MAIN
 - EXISTING OVERHEAD ELECTRICITY
 - SAWCUT EXISTING ROAD PAVEMENT
 - EXCAVATE EXISTING TOPSOIL AND TURF TO DESIGN SUBGRADE LEVELS AND DISPOSE OF MATERIAL
 - EXCAVATE AND REMOVE EXISTING ROAD PAVEMENT TO DESIGN SUBGRADE LEVELS AND DISPOSE OF MATERIAL
 - EXISTING CONCRETE TO BE REMOVED
 - POWER POLE TO BE REMOVED BY OTHERS



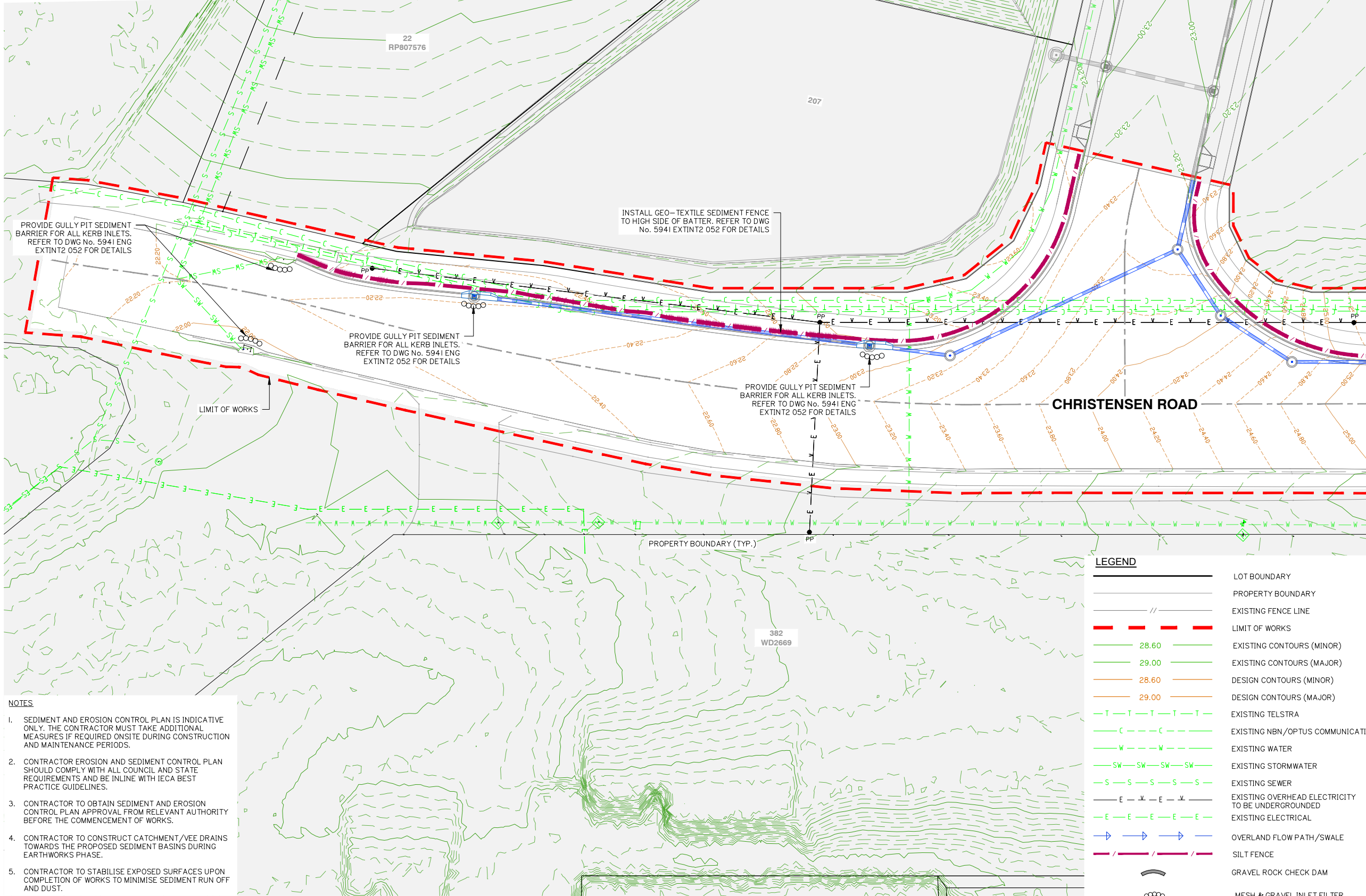
Issue	Date	Description	DRN	CHK
B	12-11-2021	DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG



Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021



KEY PLAN
SCALE 1: 4000



- NOTES**
1. SEDIMENT AND EROSION CONTROL PLAN IS INDICATIVE ONLY. THE CONTRACTOR MUST TAKE ADDITIONAL MEASURES IF REQUIRED ONSITE DURING CONSTRUCTION AND MAINTENANCE PERIODS.
 2. CONTRACTOR EROSION AND SEDIMENT CONTROL PLAN SHOULD COMPLY WITH ALL COUNCIL AND STATE REQUIREMENTS AND BE IN LINE WITH IECA BEST PRACTICE GUIDELINES.
 3. CONTRACTOR TO OBTAIN SEDIMENT AND EROSION CONTROL PLAN APPROVAL FROM RELEVANT AUTHORITY BEFORE THE COMMENCEMENT OF WORKS.
 4. CONTRACTOR TO CONSTRUCT CATCHMENT/VEE DRAINS TOWARDS THE PROPOSED SEDIMENT BASINS DURING EARTHWORKS PHASE.
 5. CONTRACTOR TO STABILISE EXPOSED SURFACES UPON COMPLETION OF WORKS TO MINIMISE SEDIMENT RUN OFF AND DUST.

LEGEND	
	LOT BOUNDARY
	PROPERTY BOUNDARY
	EXISTING FENCE LINE
	LIMIT OF WORKS
	EXISTING CONTOURS (MINOR)
	EXISTING CONTOURS (MAJOR)
	DESIGN CONTOURS (MINOR)
	DESIGN CONTOURS (MAJOR)
	EXISTING TELSTRA
	EXISTING NBN/OPTUS COMMUNICATIONS
	EXISTING WATER
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING OVERHEAD ELECTRICITY TO BE UNDERGROUNDED
	EXISTING ELECTRICAL
	OVERLAND FLOW PATH/SWALE
	SILT FENCE
	GRAVEL ROCK CHECK DAM
	MESH & GRAVEL INLET FILTER

SEDIMENT AND EROSION CONTROL PLAN SHEET 1 OF 2

Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
SEDIMENT AND EROSION
CONTROL PLAN SHEET 1 OF 2

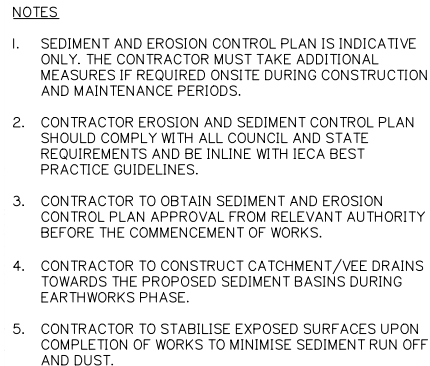
Issue	Date	Original Issue Description	LAB DRN	MG CHK
A	14-09-2021			

0 5 10 15 20 25
1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 050
Rev. No: A



g:\Projects\5941\engineering\Acad\external intersection stage 2\Current\5941 ENG EXTINT2 050-052.dwg



Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

SEDIMENT AND EROSION
CONTROL PLAN SHEET 2 OF 2

B	12-11-2021	DRIVEWAYS UPDATED		JH	MQ
A	14-09-2021	ORIGINAL ISSUE		LAB	MG
Issue	Date	Description		DRN	CHK

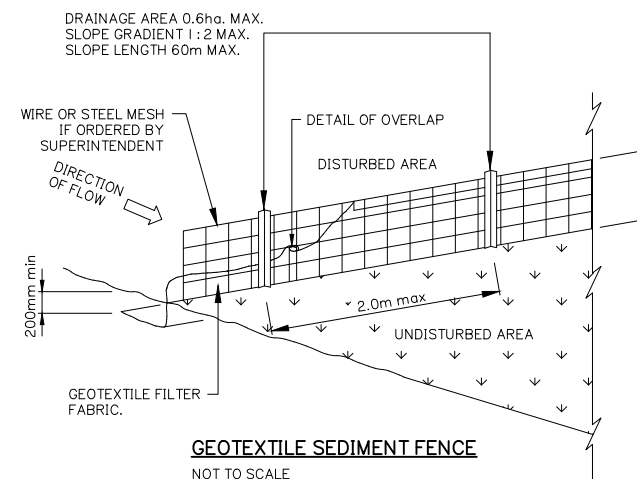


1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1:	1:250
--------------	-------

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 051	B



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
SEDIMENT AND EROSION
TYPICAL SECTIONS AND
DETAILS

		</		

NOT APPLICABLE

Scale at A1: NTS

Designed:	IG
-----------	----

Drafted:	LAB
----------	-----

Approved:	MG
-----------	----

RPEQ:	16939
-------	-------

Signed:	
---------	---

Date:	14-09-2021
-------	------------

Drawing No:	Rev. No:
5941 ENG EXTINT2 052	A

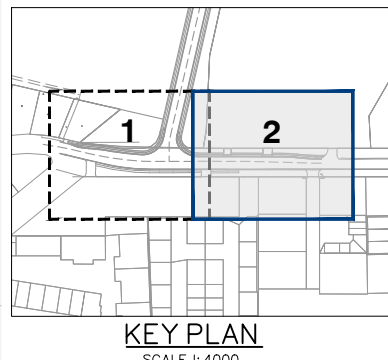
-
- AMGROW
- 500
SP295994
- EXISTING COMMUNICATIONS AND
TELSTRA CONDUITS TO BE
RELOCATED BY OTHERS PRIOR TO
COMMENCEMENT OF EARTHWORKS
- CHRISTENSEN ROAD
- 382
WD2669
- 0
SP192095
- 1
SP139462
- 4
SP139462

-2.0	to	-1.9	m	
-1.9	to	-1.8	m	
-1.8	to	-1.7	m	
-1.7	to	-1.6	m	
-1.6	to	-1.5	m	
-1.5	to	-1.4	m	
-1.4	to	-1.3	m	
-1.3	to	-1.2	m	
-1.2	to	-1.1	m	
-1.1	to	-1.0	m	

-1.0	to	-0.9	m	
-0.9	to	-0.8	m	
-0.8	to	-0.7	m	
-0.7	to	-0.6	m	
-0.6	to	-0.5	m	
-0.5	to	-0.4	m	
-0.4	to	-0.3	m	
-0.3	to	-0.2	m	
-0.2	to	-0.1	m	
-0.1	to	0.0	m	

0.0	to	0.1	m	
0.1	to	0.2	m	
0.2	to	0.3	m	
0.3	to	0.4	m	
0.4	to	0.5	m	
0.5	to	0.6	m	

BULK EARTHWORKS SUMMARY	
CUT	- 1,794m ³
FILL	32m ³
TOTAL	- 1,762 m ³
EXCESS OF CUT OVER FILL	1,762 m ³



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL

Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

EARTHWORKS CUT AND
FILL PLAN SHEET 2 OF 2

B	12-11-2021	DRIVEWAYS UPDATED	JH	MC
A	14-09-2021	ORIGINAL ISSUE	LAB	MC
Issue	Date	Description	DRN	CH



1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
-----------	----

Drafted:	LAB
----------	-----

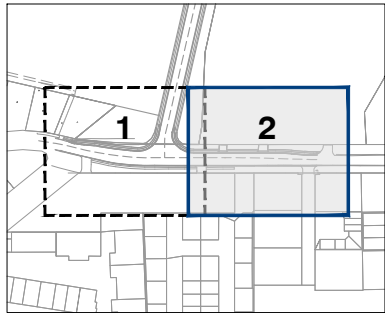
Approved:	MG
-----------	----

RPEQ:	16939
-------	-------

Signed:	
---------	---

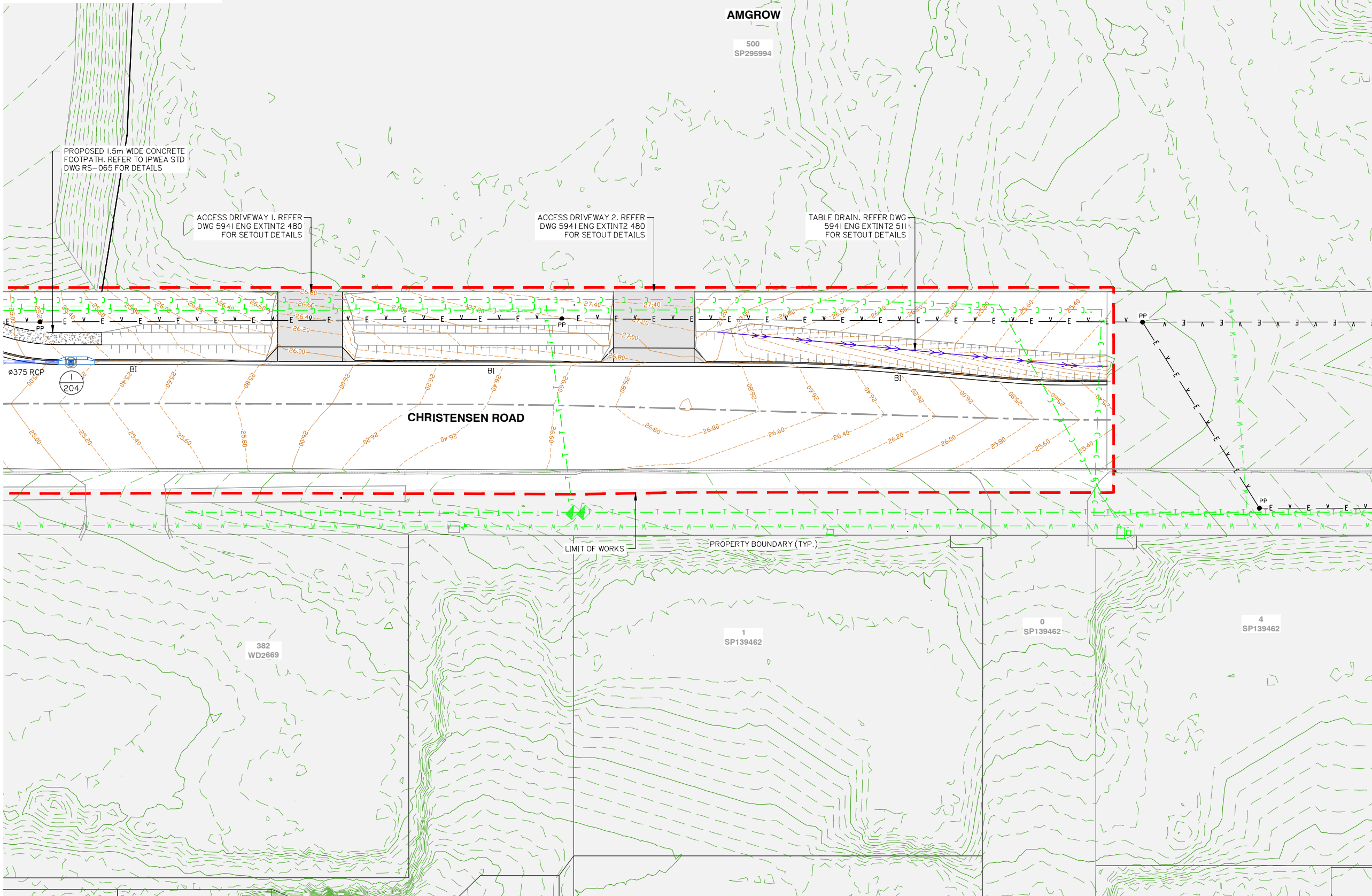
Date:	14-09-2021
-------	------------

Drawing No:	Rev. No:
5941 ENG EXTINT2 121	B



KEY PLAN

NOTE:
REFER TO DWG. NO. 5941 ENG
EXTINT2 510 FOR STORMWATER
STRUCTURE DETAILS AND LEVELS



Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

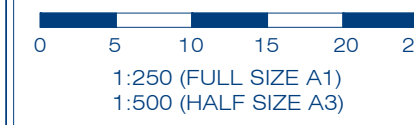
ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be
reproduced or transmitted in any form or by any means,
electronic, mechanical, photocopying, recording, or
otherwise, without the written permission of Gassman
Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

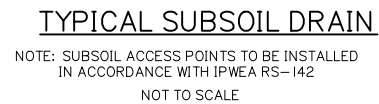
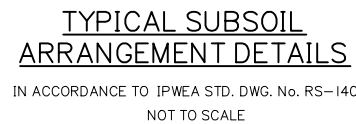
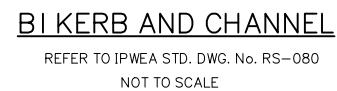
DRAWING TITLE
ROADWORKS AND
DRAINAGE LAYOUT PLAN
SHEET 2 OF 2

Issue	Date	Description	DRN	CHK
B	12-11-2021	DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG



Scale at A1:	1:250
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 401
Rev. No: B



CIRCULAR PRECAST DRAINWAY CONVERTOR SLABS ARE AVAILABLE IN SIZES LISTED BELOW:

1200 ID (1650 OD) x 150mm THICK – 1000mm HOLE
1350 ID (1830 OD) x 150mm THICK – 1000mm HOLE
1500 ID (1970 OD) x 175mm THICK – 1000mm HOLE
1650 ID (2100 OD) x 225mm THICK – 1000mm HOLE
1800 ID (2300 OD) x 225mm THICK – 1000mm HOLE
2000 ID (2450 OD) x 250mm THICK – 1000mm HOLE



DETAIL – SETOUT POINTS FOR IPWEA GULLIES,
MANHOLES, FIELD INLETS AND HEADWALLS

N.T.S.

DETAIL – SETOUT POINTS FOR IPWEA GULLIES,
MANHOLES, FIELD INLETS AND HEADWALLS

Client:



**FRASERS
PROPERTY**

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	501
Plan:	SP295994
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

TYPICAL SECTIONS AND
DETAILS SHEET 1 OF 2

A	14-09-2021	ORIGINAL ISSUE	LAB	MG
Issue	Date	Description	DRN	CHK

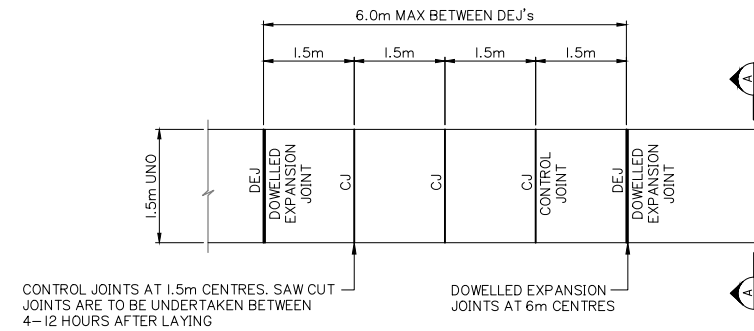
SCALE IN METRES

NOT APPLICABLE

Scale at A1: NTS

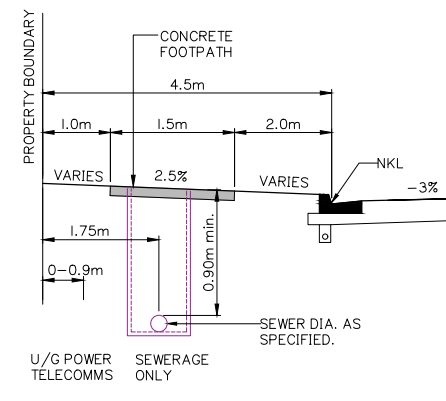
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 410	A



TYPICAL CROSS SECTION – INDUSTRIAL / COMMERCIAL
COLLECTOR AND ACCESS STREETS (23.0m)
HIGHLANDS STREET & CHRISTENSEN ROAD.

REFER ALSO CoGC STD DWG 05-02-2004 FOR DETAILS



TYPICAL SERVICES IN VERGE
SEWER RETICULATION ONLY
SCALE: N.T.S

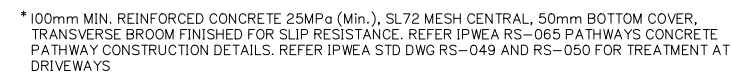
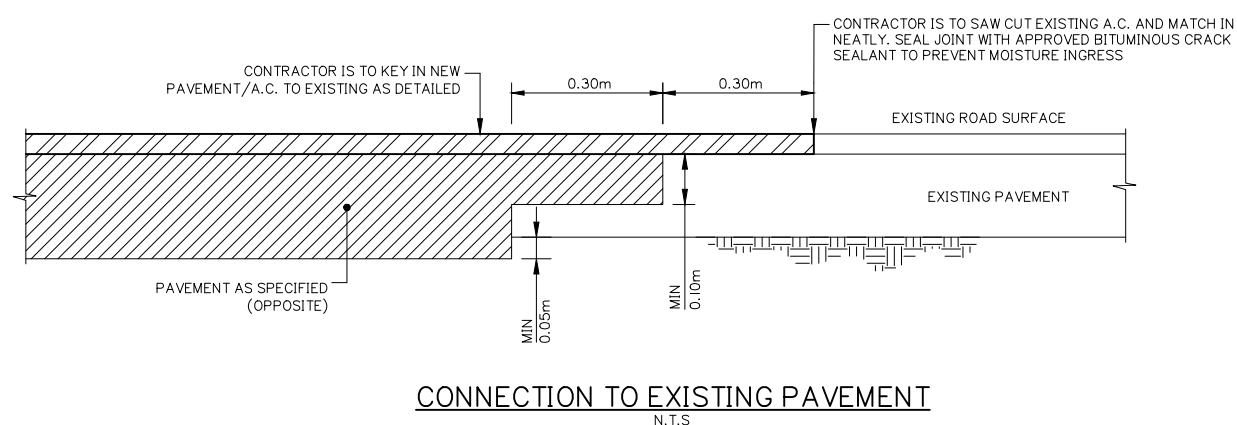


Diagram illustrating a typical cross-section of a concrete sidewalk. The sidewalk is 4.5m wide, divided into sections of 1.0m, 1.5m, and 2.0m. The middle section has a 2.5% slope. The sidewalk is adjacent to a property boundary on the left and a road on the right. The road has a -3% slope. The sidewalk is labeled "CONCRETE FOOTPATH". The road is labeled "NKL". The property boundary is labeled "PROPERTY BOUNDARY". The road is labeled "D.I.C.L. WATER MAIN DIA. AS SPECIFIED." and "U/G POWER TELECOMMS WATER ONLY". The road is labeled "0-0.9m".

TYPICAL SERVICES IN VERGE
POTABLE WATER RETICULATION ONLY
SCALE: N.T.S

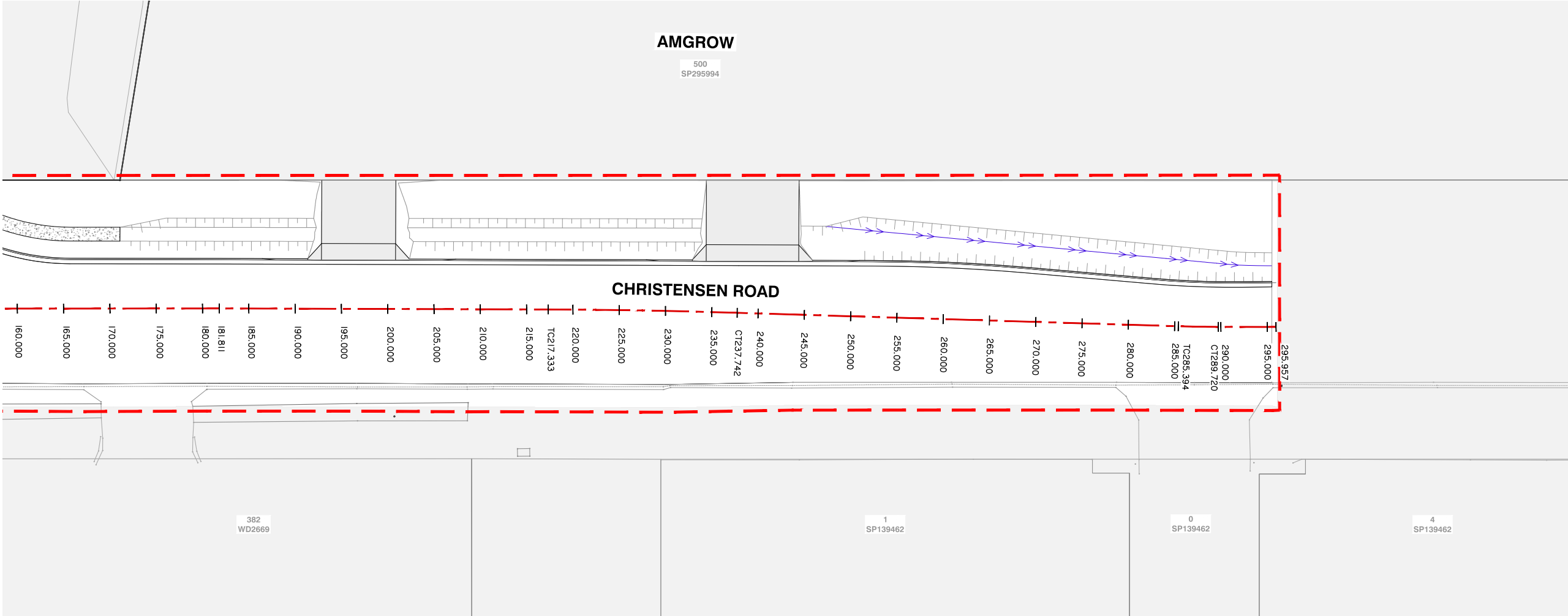
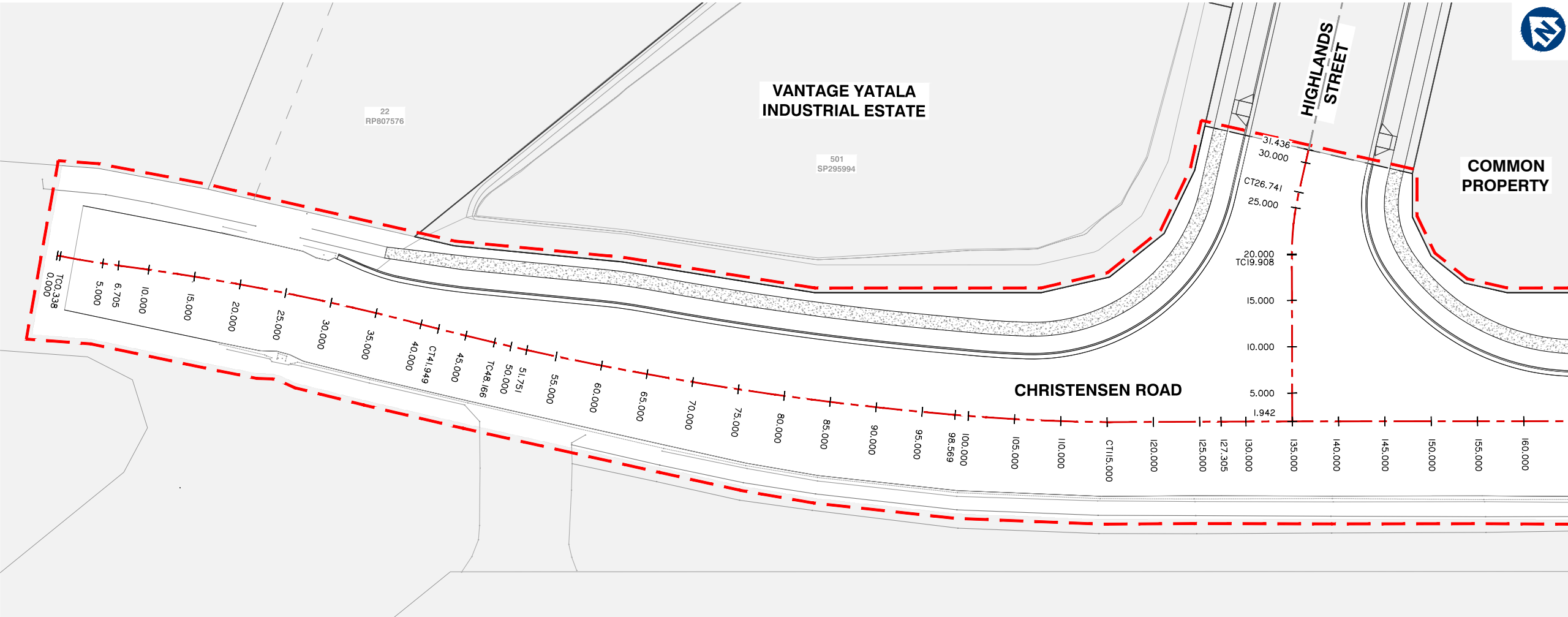


CONNECTION TO EXISTING PAVEMENT
N.T.S

TYPICAL DETAIL
SHOWING LONGITUDINAL CONSTRUCTION DETAIL FOR
CONNECTION TO EXISTING PAVEMENT / A.C.

NOT APPLICABLE

Drawing No:	Rev. No:
5941 ENG EXTINT2 411	A



CONTROL LINE LAYOUT PLAN



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 176 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

CONTROL LINE
LAYOUT PLAN

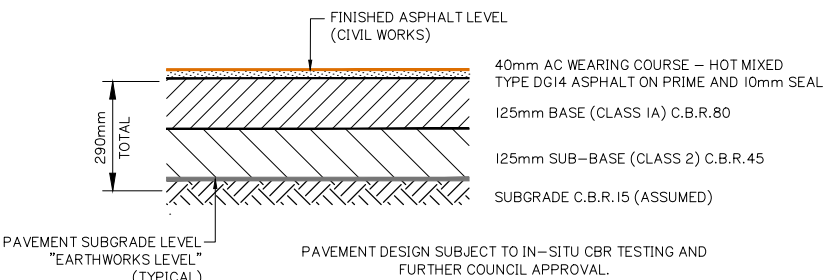
Issue	Date	Description	JH	MG	LAB	MG	DRN	CHK
B	12-11-2021	DRIVEWAYS UPDATED						
A	14-09-2021	ORIGINAL ISSUE						

0 10 20 30 40 50
1:500 (FULL SIZE A1)
1:1000 (HALF SIZE A3)

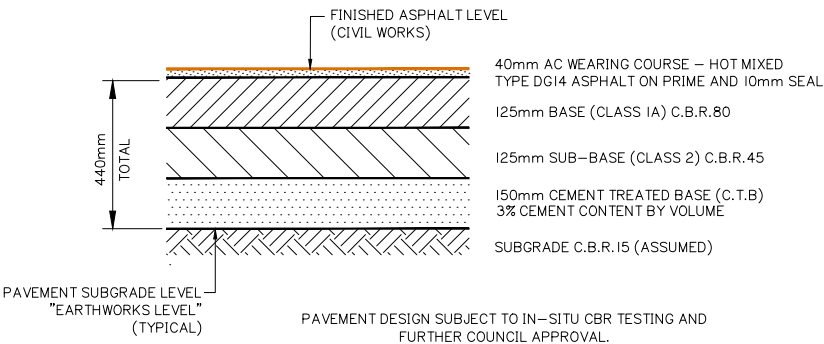
Scale at A1: 1:250

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 420 Rev. No: B



NOMINAL ROAD PAVEMENT DETAIL – IN FILL AREAS
INDUSTRIAL COLLECTOR STREET N.T.S



NOMINAL ROAD PAVEMENT DETAIL – IN CUT AREAS
INDUSTRIAL COLLECTOR STREET N.T.S



Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	501
Plan:	SP295994
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
HIGHLANDS STREET
LONGITUDINAL
SECTION

[illegible]

Scale 1:250 - Lengths are in Metres.

HOZ: 

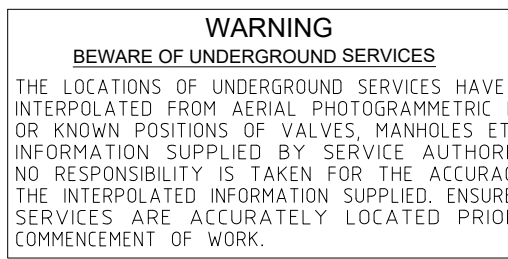
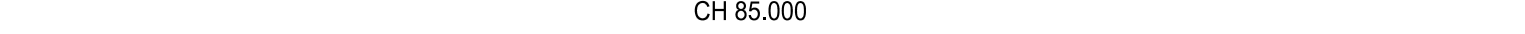
Scale 1:25 - Lengths are in Metres.

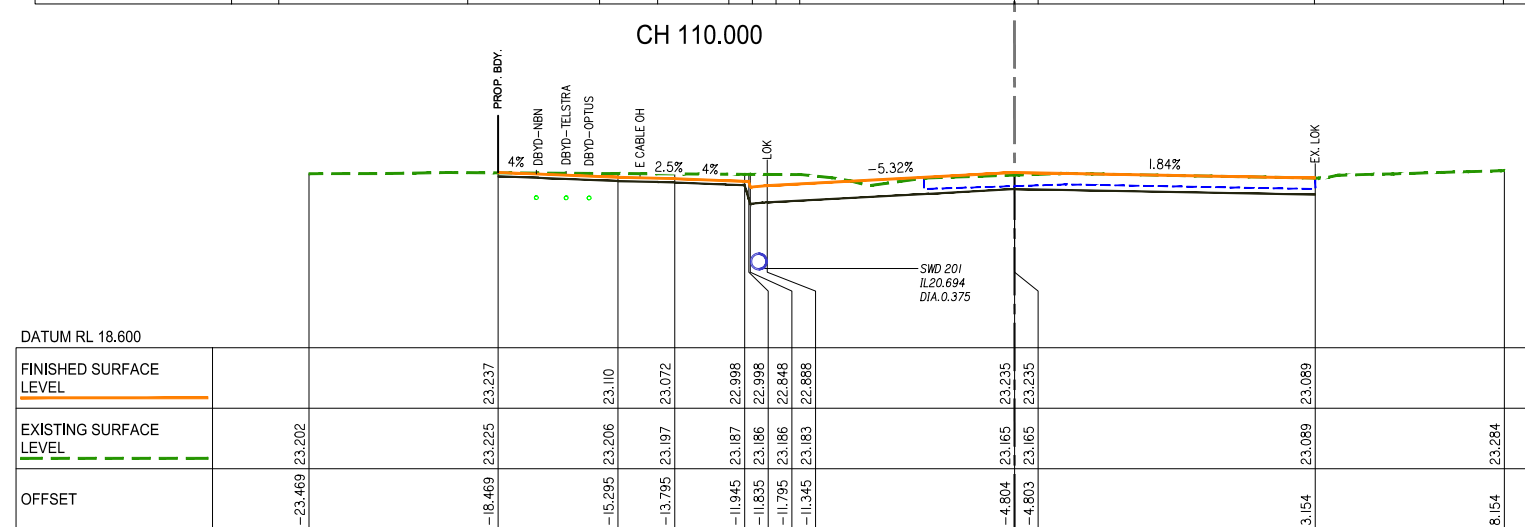
VERT: 

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

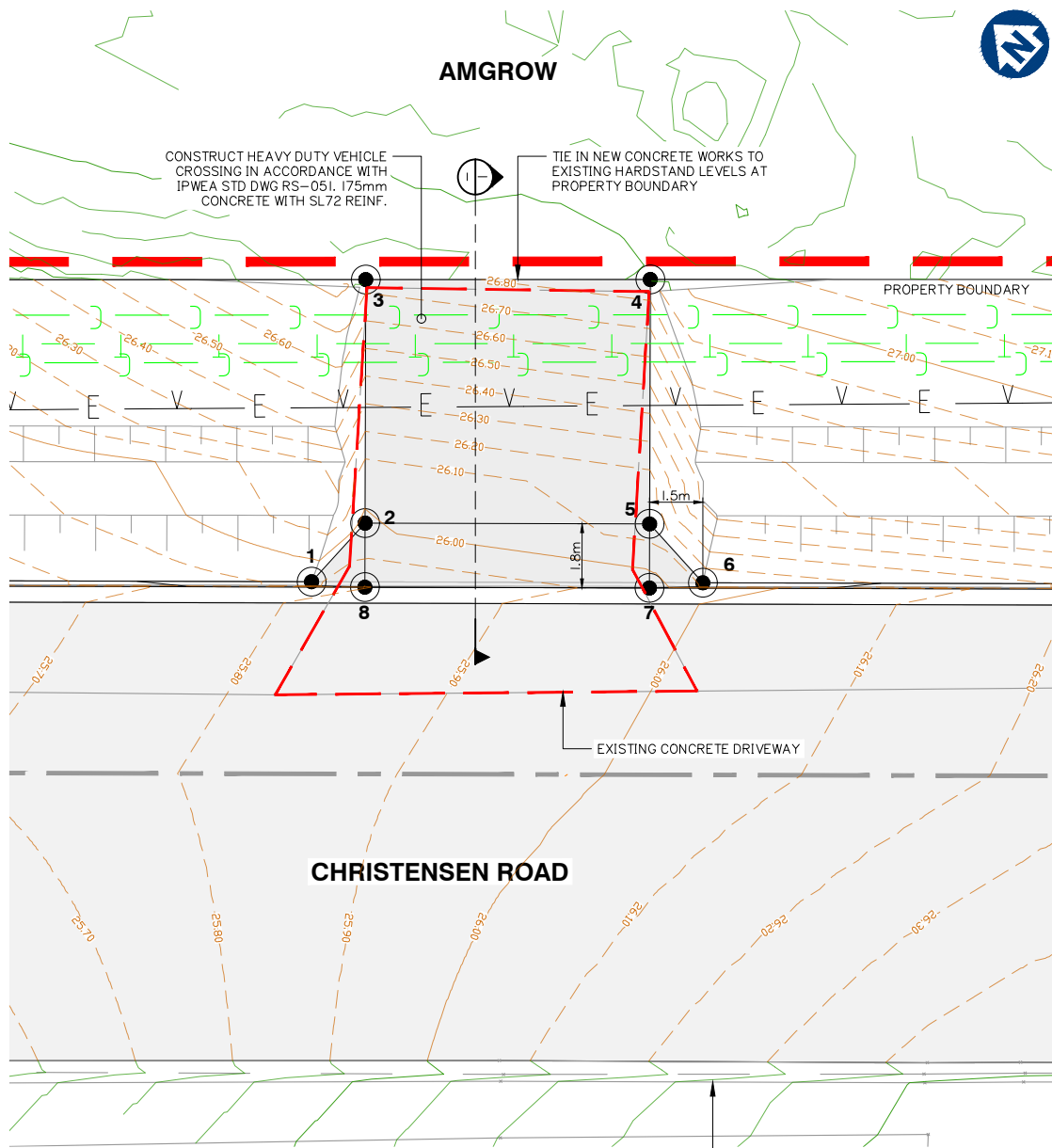
Drawing No:	Rev. No:
5941 ENG EXTINT2 431	A





g:\Projects\594\engineering\Acad\externalintersection-stage2\Current\594\ENG EXTN\72 450.dwg

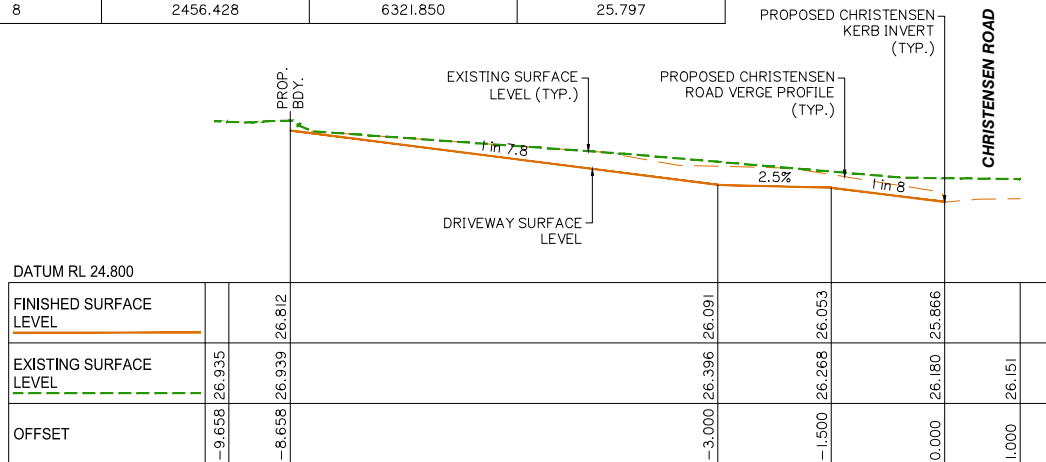
Drawing No:	Rev. No:
5941 ENG EXTINT2 454	A



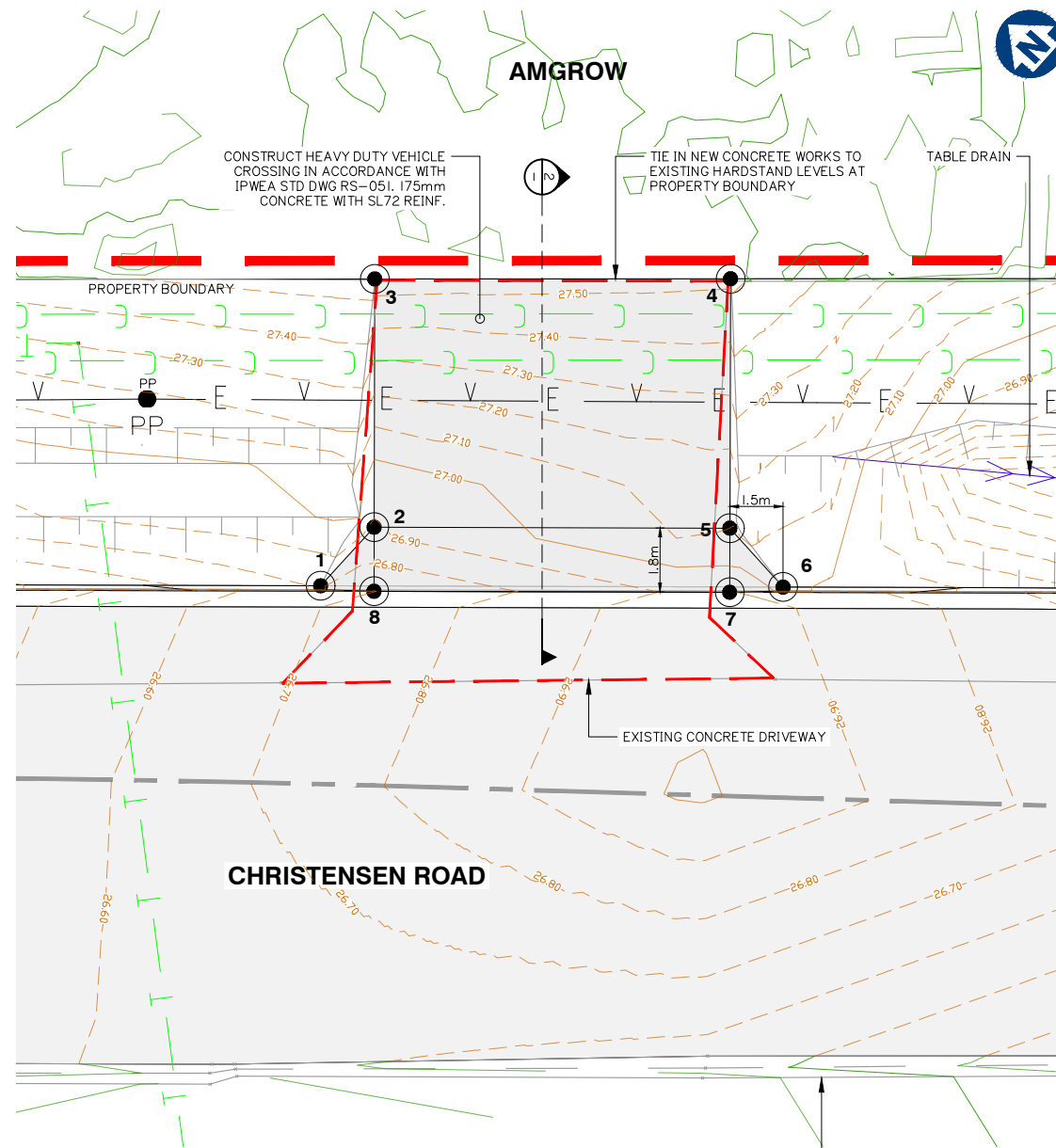
DRIVEWAY 1 – PLAN

RETAIN AND PROTECT
EXISTING KERB AND CHANNEL

SETOUT TABLE – DRIVEWAY 1			
POINT I.D.	EASTING	NORTHING	FSL RL (m, AHD)
1	2455.541	6323.069	25.923
2	2457.771	6323.048	25.990
3	2462.880	6327.603	26.749 (ex)
4	2468.223	6321.649	26.874 (ex)
5	2463.095	6317.077	26.132
6	2462.862	6314.859	26.112
7	2461.752	6315.879	25.935
8	2456.428	6321.850	25.797



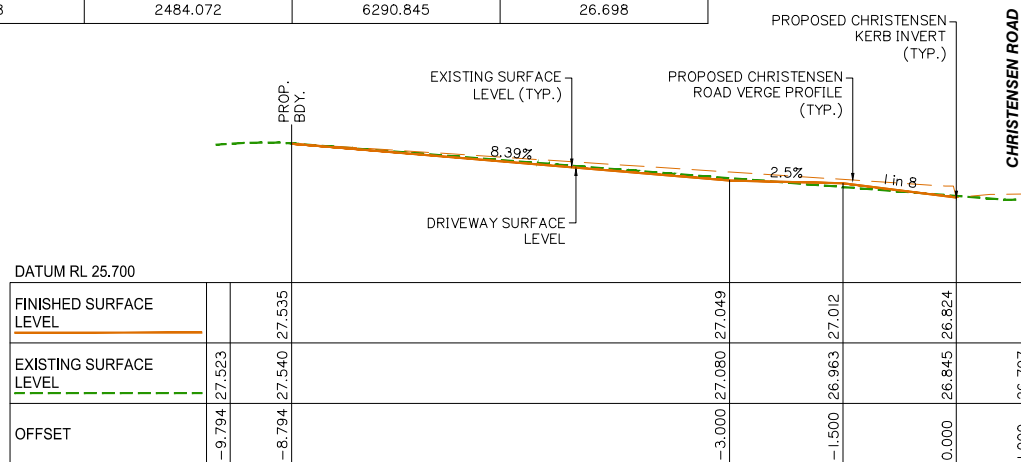
DRIVEWAY 1



DRIVEWAY 2 – PLAN

RETAIN AND PROTECT
EXISTING KERB AND CHANNEL

SETOUT TABLE – DRIVEWAY 2			
POINT I.D.	EASTING	NORTHING	FSL RL (m, AHD)
1	2483.185	6292.066	26.810
2	2485.416	6292.043	26.893
3	2490.624	6296.687	27.551 (ex)
4	2497.303	6289.245	27.519 (ex)
5	2492.071	6284.580	27.100
6	2491.838	6282.362	27.019
7	2490.727	6283.382	26.906
8	2484.072	6290.845	26.698



DRIVEWAY 2

DRIVEWAY SETOUT DETAILS

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

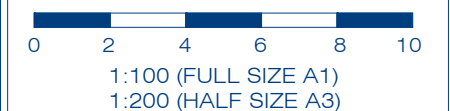
©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be
reproduced or transmitted in any form or by any means,
electronic, mechanical, photocopying, recording, or
otherwise, without the written permission of Gassman
Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

DRIVEWAY SETOUT DETAILS

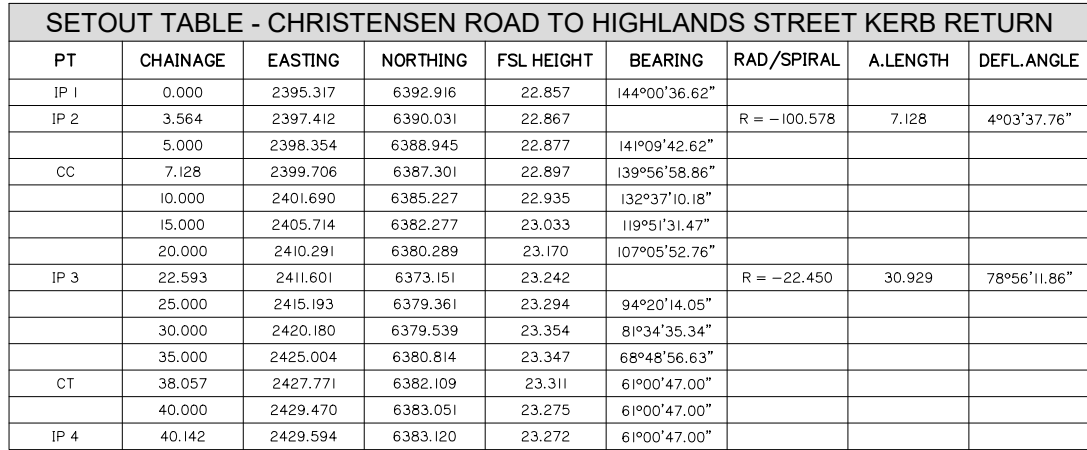
Issue	Date	Description	LAB	MG	DRN	CHK
B	12-11-2021	DRIVEWAYS UPDATED	JH	MG		
A	14-09-2021	ORIGINAL ISSUE				



Scale at A1: 1:100

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG OPW1 480
Rev. No: B



est. 1985

gassman

development

perspectives

planning | environment | landscape | engineering | survey

T: 3807 3333 | F: 3287 5461 | www.gassman.com.au

Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:

FRASERS

PROPERTY

FRASERS PROPERTY

(AUSTRALIA) PTY. LTD.

Project:

VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:

Plan:

Local Authority:

Level Datum:

Meridian:

Contour Interval:

PSM:

RL:

501

SP295994

CITY OF GOLD COAST
COUNCIL

AHD

-

-

-

-

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives

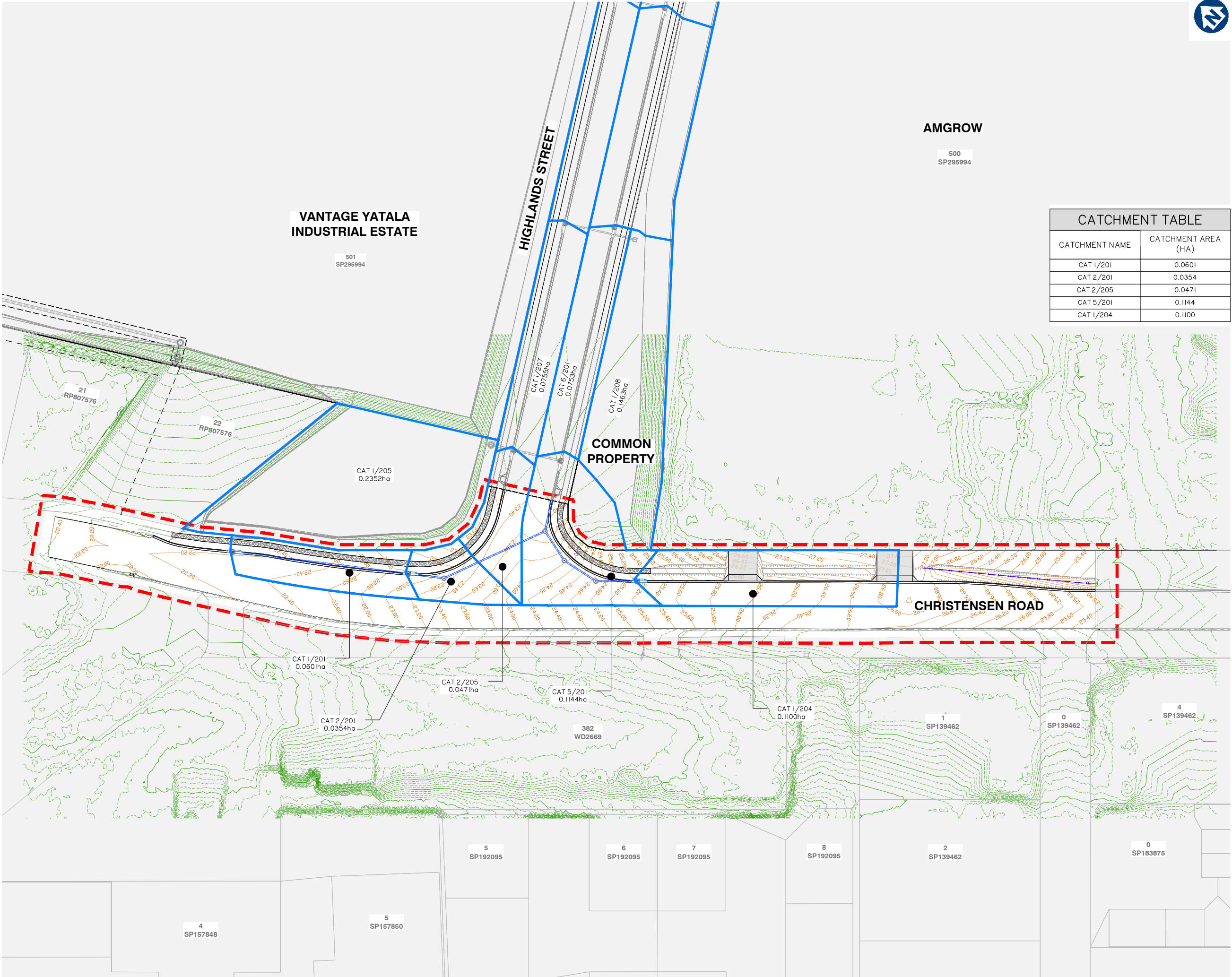
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

CHRISTENSEN ROAD &
HIGHLANDS STREET
INTERSECTION DETAILS

		</			



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be
reproduced or transmitted in any form or by any means,
electronic, mechanical, photocopying, recording, or
otherwise, without the written permission of Gassman
Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

STORMWATER DRAINAGE
CATCHMENT PLAN

B	12-11-2021	DRIVEWAYS UPDATED	JH	MG	
A	14-09-2021	ORIGINAL ISSUE	LAB	MG	
Issue	Date	Description	DRN	CHK	

0 10 20 30 40 50
1:500 (FULL SIZE A1)
1:1000 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG OPW1 500 Rev. No: B

STORMWATER DRAINAGE LONGITUDINAL SECTIONS



Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL

Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

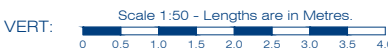
ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

STORMWATER DRAINAGE LONGITUDINAL SECTIONS

[illegible]

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 510	B



Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	501
Plan:	SP295994
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

STORMWATER DRAINAGE CALCULATION TABLES

NOT APPLICABLE

Scale at A1:	NTS
--------------	-----

Designed:	IG
-----------	----

Drafted:	LAB
----------	-----

Approved:	MG
-----------	----

RPEQ:	1693
-------	------

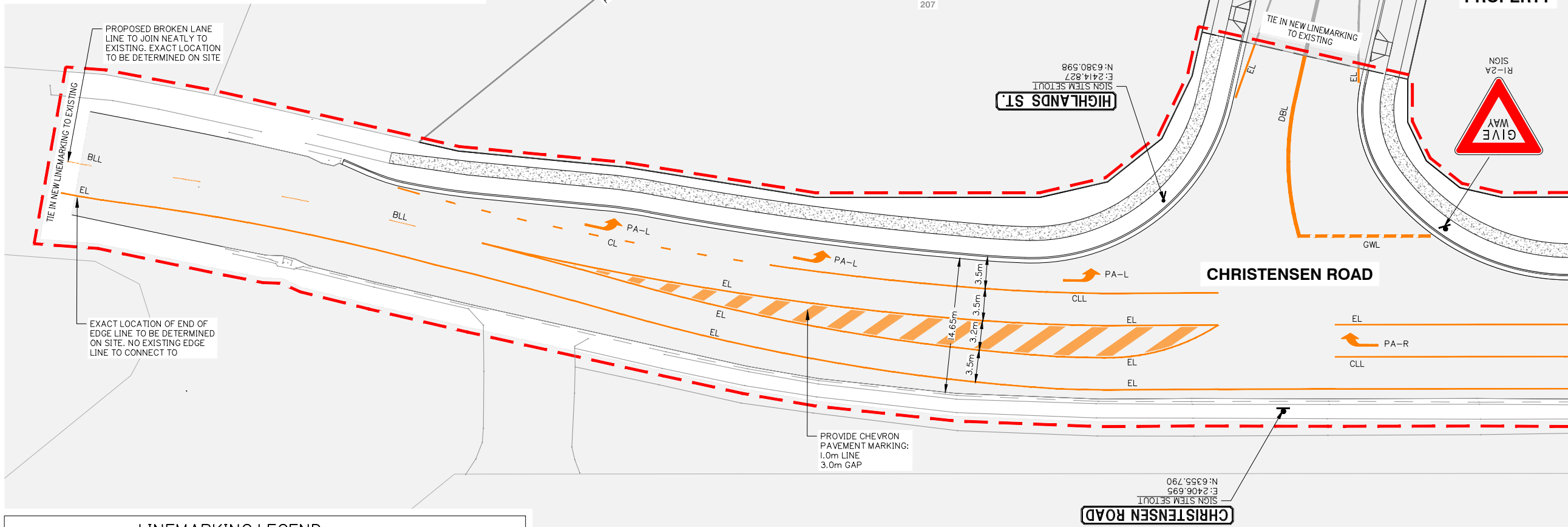
Signed:	
---------	---

Date:	14-0
-------	------

Drawing No:	Rev. No:
5941 ENG EXTINT2 550	A

[illegible]

1. SIGNS AND LINE MARKING TO BE INSTALLED IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. INSTALL ROAD EDGE GUIDE POSTS AT 10.0m SPACING TO ANY SEALED SHOULDER IN THE ABSENCE OF A KERB OR GUARDRAIL. INSTALLATION TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND DTMR STD DWG 1356-D. LOCATE FLEXIBLE PVC TYPE WITH REFLECTORS ON EDGE OF SEALED SHOULDER.
3. ALL LONGITUDINAL LINES TO BE WATERBORNE PAINT UNLESS INDICATED OTHERWISE. LONGITUDINAL LINES ARE TO BE INSTALLED IN ACCORDANCE WITH DTMR SPECIFICATIONS.
4. ALL TRANSVERSE LINES TO BE THERMOPLASTIC PAINT UNLESS INDICATED OTHERWISE. TRANSVERSE LINES ARE TO BE INSTALLED IN ACCORDANCE WITH DTMR SPECIFICATION.
5. PAVEMENT MARKING ARROWS TO BE THERMOPLASTIC IN ACCORDANCE WITH DTMR SPECIFICATION.
6. ALL SIGN MATERIAL TO BE CLASS I.
7. ALL LINEMARKING AND SIGNAGE TO BE IN ACCORDANCE WITH THE T.R.U.M AND MUTCD PART 2.
8. EXISTING LINEMARKING REMOVAL TO BE DONE AS PER MRTS45 REQUIREMENTS.
9. RAISED REFLECTIVE PAVEMENT MARKERS TO BE INSTALLED AS PER MUTCD PART 2 – SECTION 5.6 REQUIREMENTS.
10. PAINT THE KERB OF SPLITTER ISLANDS WITH WHITE REFLECTIVE PAINT WHERE ISLANDS ARE LESS THAN 1.8m WIDE.
11. PAINT FULL 100mm WIDE WHITE LINES AROUND MEDIAN ISLANDS
12. PAVEMENT TIE-IN TO SMOOTH TRANSITION TO EXISTING PAVEMENT AND / OR ADJACENT PAVEMENT TYPE. ON TRANSVERSE LEVEL DIFFERENCES, CONTRACTOR TO FEATHER ASPHALT TO EXISTING SURFACE.
13. ALL PROFILING SHALL NOT BE EXPOSED TO TRAFFIC FOR LONGER THAN 48 HOURS UNLESS DIRECTED BY THE SUPERINTENDENT.
14. TEMPORARY RAMPS SHALL BE CONSTRUCTED BEYOND THE LIMIT OF WORKS TO FACILITATE WORKS AND BE REMOVED (BY MILLING) AND THE PAVEMENT EXTENDED TO THE LIMIT OF WORKS AT COMPLETION.
15. HEIGHTS OF SIGNAGE TO BE PLACED A MINIMUM OF 2.50m TO BOTTOM OF SIGN ABOVE THE FOOTWAY LEVEL IN ACCORDANCE WITH MUTCD SECTION 1.12.3.5. SIGNAGE AT PEDESTRIAN CROSSINGS TO MAINTAIN PED/VEHICLE SIGHT LINES IN THE EVENT OF SIGNAL MALFUNCTION.



LINEMARKING LEGEND

		WIDTH (mm)	
		MINIMUM	PREFERRED
ONE DIRECTION		80	80
BOTH DIRECTIONS		80	80
BROKEN LINE LANE		100	100
EDGE LINE		150	150
CONTINUOUS LINE		100	100
CONTINUITY LINE		200	200
TURN LINE		100	100
STOP LINE		300	300
GIVE WAY LINE		300	300
CROSSWALK LINE		200	200
SPECIAL PURPOSE BROKEN LINE		200	80

<u>PAVEMENT MARKING ABBREVIATIONS</u>	
BARRIER LINE ONE DIRECTION	(ODBL)
BARRIER LINE BOTH DIRECTIONS	(DBL)
BROKEN LINE LANE	(BLL)
SPECIAL PURPOSE BROKEN LINE	(SBLL)
CONTINUOUS LANE LINE	(CLL)
EDGE LINE	(EL)
CONTINUITY LINE	(CL)
TURN LINE	(TL)
STOP LINE	(SL)
GIVE WAY LINE	(GWL)
EXCLUSIVE LEFT TURN ARROW	(PA-L)
EXCLUSIVE RIGHT TURN ARROW	(PA-R)
COMBINED STRAIGHT AHEAD AND LEFT TURN ARROW	(PA-SAL)
COMBINED STRAIGHT AHEAD AND RIGHT TURN ARROW	(PA-SAR)
BICYCLE LANE SYMBOL FOR ON-ROAD USE	(PS-2)
MERGE RIGHT ARROW	(PA-MR)
PEDESTRIAN CROSSWALK LINE	(PCW)

Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address: 60 STAPYLTON ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	501
Plan:	SP295994
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

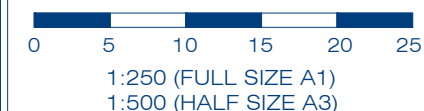
© 2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

LINEMARKING AND SIGNAGE
PLAN SHEET 1 OF 2

B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED		JH	MC
A	14-09-2021	ORIGINAL ISSUE		LAB	MC
Issue	Date	Description		DRN	CH

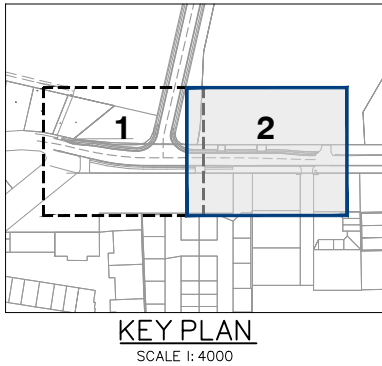
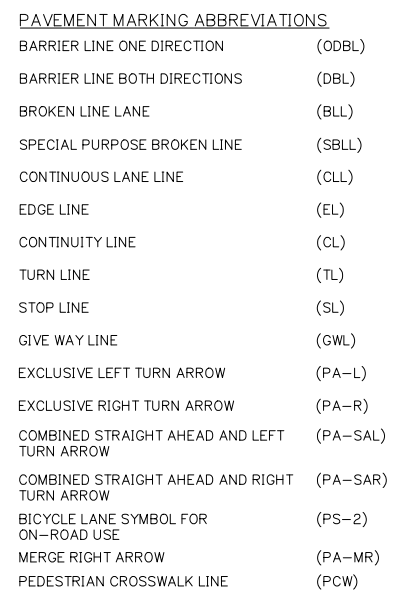


Scale at A1:	1:250
--------------	-------

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 800	B

1. SIGNS AND LINE MARKING TO BE INSTALLED IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. INSTALL ROAD EDGE GUIDE POSTS AT 10.0m SPACING TO ANY SEALED SHOULDER IN THE ABSENCE OF A KERB OR GUARDRAIL. INSTALLATION TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND DTMR STD DWG 1356-D. LOCATE FLEXIBLE PVC TYPE WITH REFLECTORS ON EDGE OF SEALED SHOULDER.
3. ALL LONGITUDINAL LINES TO BE WATERBORNE PAINT UNLESS INDICATED OTHERWISE. LONGITUDINAL LINES ARE TO BE INSTALLED IN ACCORDANCE WITH DTMR SPECIFICATIONS.
4. ALL TRANSVERSE LINES TO BE THERMOPLASTIC PAINT UNLESS INDICATED OTHERWISE. TRANSVERSE LINES ARE TO BE INSTALLED IN ACCORDANCE WITH DTMR SPECIFICATION.
5. PAVEMENT MARKING ARROWS TO BE THERMOPLASTIC IN ACCORDANCE WITH DTMR SPECIFICATION.
6. ALL SIGN MATERIAL TO BE CLASS 1.
7. ALL LINEMARKING AND SIGNAGE TO BE IN ACCORDANCE WITH THE T.R.U.M AND MUTCD PART 2.
8. EXISTING LINEMARKING REMOVAL TO BE DONE AS PER MRTS45 REQUIREMENTS.
9. RAISED REFLECTIVE PAVEMENT MARKERS TO BE INSTALLED AS PER MUTCD PART 2 – SECTION 5.6 REQUIREMENTS.
10. PAINT THE KERB OF SPLITTER ISLANDS WITH WHITE REFLECTIVE PAINT WHERE ISLANDS ARE LESS THAN 1.8m WIDE.
11. PAINT FULL 100mm WIDE WHITE LINES AROUND MEDIAN ISLANDS
12. PAVEMENT TIE-IN TO SMOOTH TRANSITION TO EXISTING PAVEMENT AND / OR ADJACENT PAVEMENT TYPE. ON TRANSVERSE LEVEL DIFFERENCES, CONTRACTOR TO FEATHER ASPHALT TO EXISTING SURFACE.
13. ALL PROFILING SHALL NOT BE EXPOSED TO TRAFFIC FOR LONGER THAN 48 HOURS UNLESS DIRECTED BY THE SUPERINTENDENT.
14. TEMPORARY RAMPS SHALL BE CONSTRUCTED BEYOND THE LIMIT OF WORKS TO FACILITATE WORKS AND BE REMOVED (BY MILLING) AND THE PAVEMENT EXTENDED TO THE LIMIT OF WORKS AT COMPLETION.
15. HEIGHTS OF SIGNAGE TO BE PLACED A MINIMUM OF 2.50m TO BOTTOM OF SIGN ABOVE THE FOOTWAY LEVEL IN ACCORDANCE WITH MUTCD SECTION 1.12.3.5. SIGNAGE AT PEDESTRIAN CROSSINGS TO MAINTAIN PED /VEHICLE SIGHT LINES IN THE EVENT OF SIGNAL MALFUNCTION.



501
SP295994

planning | environment | landscape | engineering | survey

T: 3807 3333 | F: 3287 5461 | www.gassman.com.au

Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

LINEMARKING AND SIGNAGE PLAN SHEET 2 OF 2

B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG	
A	14-09-2021	ORIGINAL ISSUE	LAS	MG	
Issue	Date	Description	DRN	CHK	



1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 801	B



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

A-DOUBLE SWEEP PATH ANALYSIS SHEET 1 OF 4

B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG	
A	14-09-2021	ORIGINAL ISSUE	LAB	MG	
Issue	Date	Description	DRN	CHK	

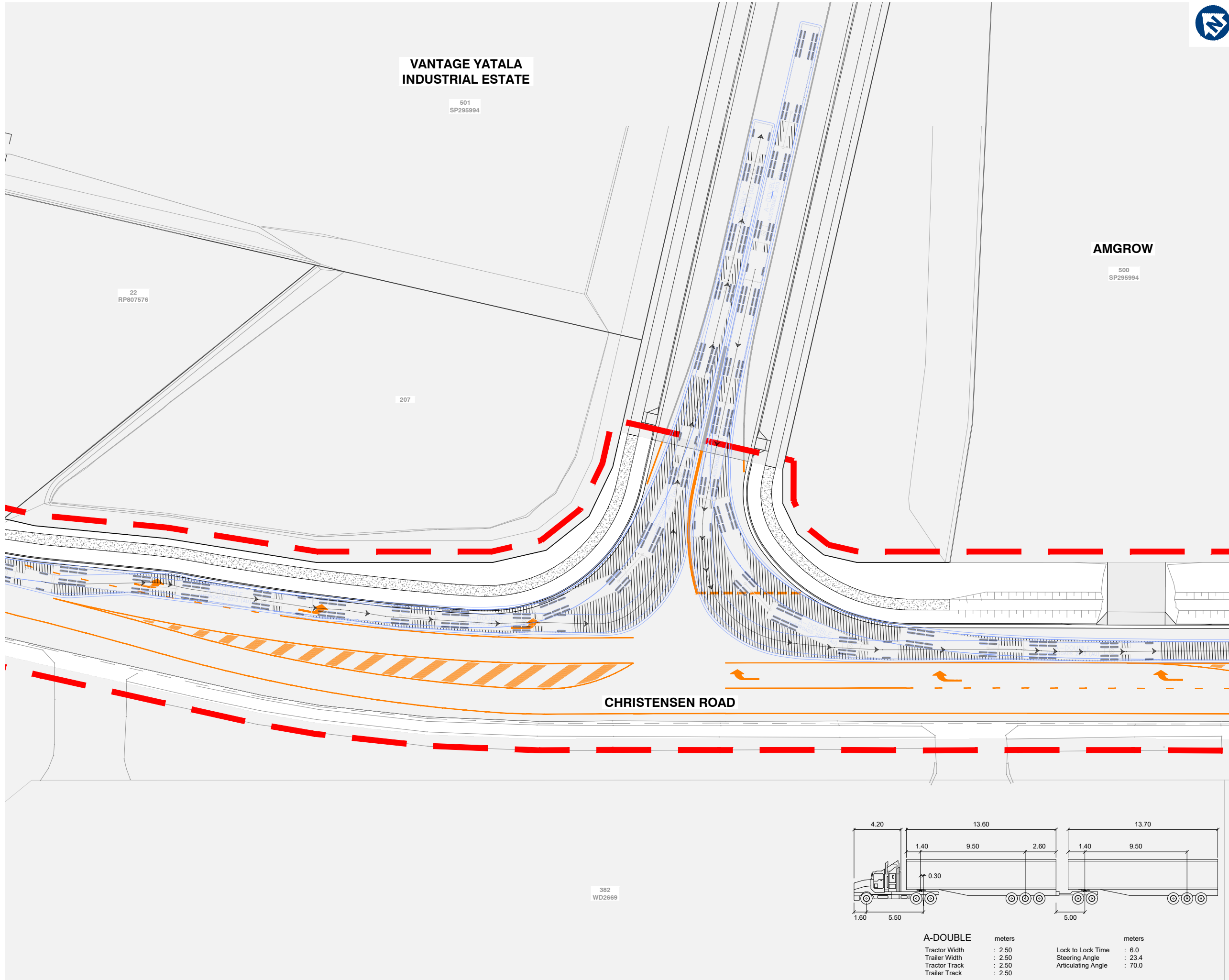


1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 900	B



Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be
reproduced or transmitted in any form or by any means,
electronic, mechanical, photocopying, recording, or
otherwise, without the written permission of Gassman
Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

A-DOUBLE SWEEP PATH
ANALYSIS SHEET 2 OF 4

Issue	Date	Description	DRN	CHK
B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

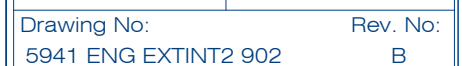
0 5 10 15 20 25

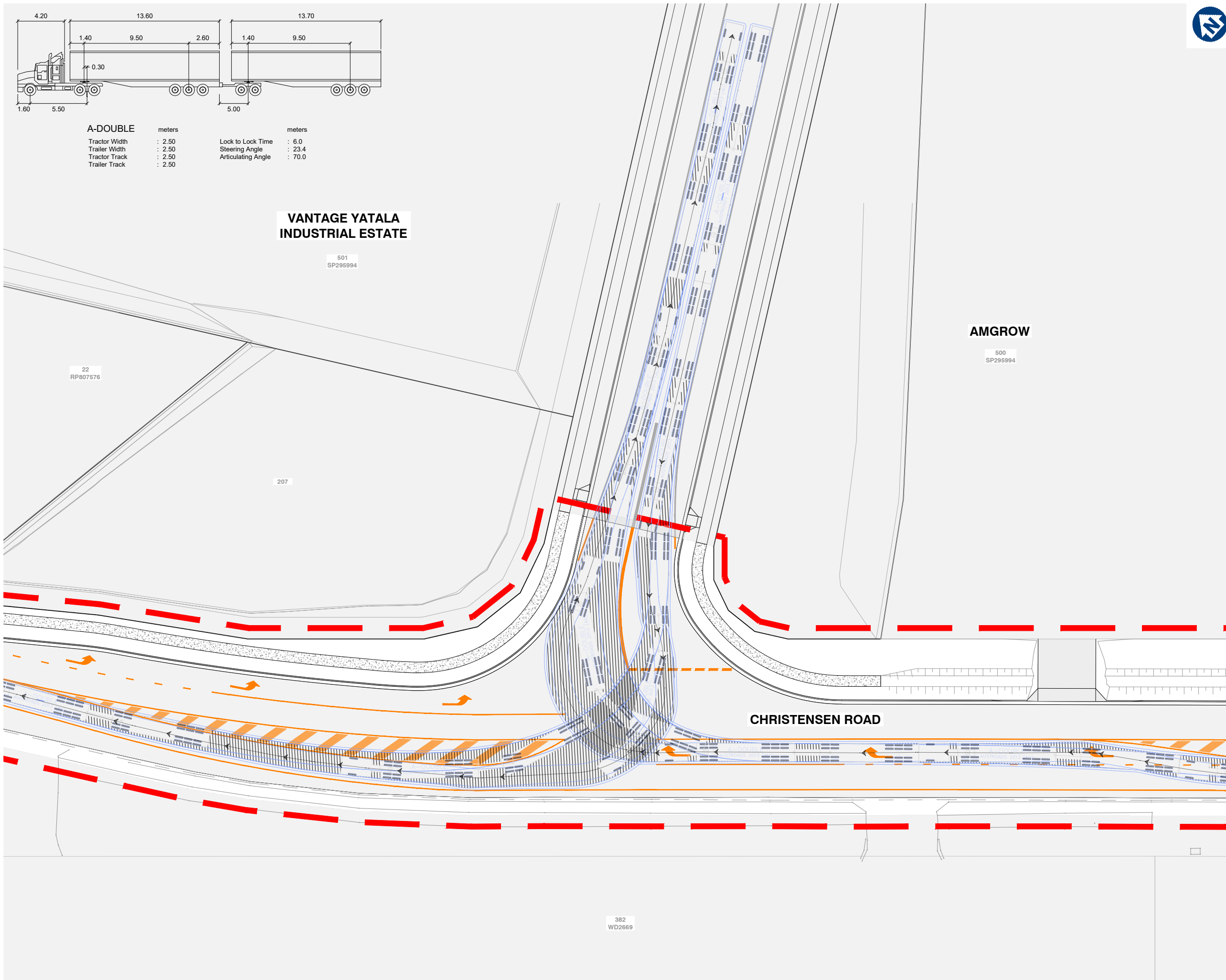
1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 901
Rev. No: B





planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

©2012 Gassman Development Perspectives
All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written permission of Gassman Development Perspectives.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

A-DOUBLE SWEEP PATH
ANALYSIS SHEET 4 OF 4

Issue	Date	Description	LAB	MG	DRN	CHK
B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG		
A	14-09-2021	ORIGINAL ISSUE	LAB	MG		



1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:500

Designed: IG

Drafted: LAB

Approved: MG

RPEQ: 16939

Signed:

Date: 14-09-2021

Drawing No: 5941 ENG EXTINT2 903
Rev. No: B