

EXTERNAL INTERSECTION CIVIL WORKS
CHRISTENSEN ROAD &
HIGHLANDS STREET
FOR
VANTAGE YATALA STAGE 2



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL
Application No: COM/2021/229
Dated: 17 January 2022
Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

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STANDARD DRAWINGS			
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DS-015	C	IPWEA	ACCESS CHAMBER – MANHOLE FRAME – ROADWAY AND NON ROADWAY – 1050 TO 2100 DIA
DS-018	C	IPWEA	ACCESS CHAMBER – MANHOLE RISER DETAILS
DS-019	C	IPWEA	ACCESS CHAMBER – MANHOLE ROVER (ROADWAY)
DS-020	C	IPWEA	ACCESS CHAMBER – MANHOLE ROVER (NON ROADWAY)
DS-021	C	IPWEA	ACCESS CHAMBER – MANHOLE COVER CONCRETE INFILL (PEDESTRIAN TRAFFIC) 1050 TO 2100 DIA
DS-030	F	IPWEA	EXCAVATION, BEDDING & BACKFILL – RIGID & FLEXIBLE DRAINAGE PIPES
DS-031	D	IPWEA	EXCAVATION, BEDDING & BACKFILL PRECAST – BOX CULVERTS
DS-040	E	IPWEA	SEDIMENT CONTROL – SEDIMENT CONTROL DEVICES – SEDIMENT FENCE, ENTRY/EXIT SEDIMENT TRAP
DS-041	E	IPWEA	SEDIMENT CONTROL – SEDIMENT CONTROL DEVICES – KERB AND FIELD INLET, CHECK DAMS & STRAW BALES
DS-061	B	IPWEA	DRAINAGE PITS – KERB INLET – PRECAST LINTEL DETAILS
DS-062	D	IPWEA	DRAINAGE PITS – KERB INLET – GRATE AND FRAME
DS-063	C	IPWEA	DRAINAGE PITS – KERB INLET – LIP IN LINE – GENERAL ARRANGEMENT
DS-065	I	IPWEA	PATHWAYS – CONCRETE PATHWAY CONSTRUCTION DETAILS
RS-051	H	IPWEA	VEHICLE CROSSINGS HEAVY DUTY
RS-080	F	IPWEA	KERB AND CHANNEL – PROFILES AND DIMENSIONS – INCLUDING EDGE RESTRAINTS, MEDIAN & CHANNEL
RS-130	F	IPWEA	ROAD FURNITURE – STREET NAME SIGN AND LOCATION (FINGERBOARD)
RS-131	G	IPWEA	ROAD FURNITURE – TRAFFIC SIGN INSTALLATION DETAILS
RS-140	F	IPWEA	SUBSOIL DRAINS – DETAILS AND LOCATION
RS-142	F	IPWEA	SUBSOIL DRAINS – ACCESS POINTS
02-003	2	CoGC	TYPICAL CROSS SECTIONS – COLLECTOR STREETS – PLAN 2 OF 2
02-005	I	CoGC	PUBLIC UTILITY PLANT CORRIDOR ALLOCATIONS IN PUBLIC ROAD VERGES
02-601	I	CoGC	NEW ROADS – SERVICE CONDUIT CROSSINGS
02-602	I	CoGC	ROAD CROSSING – TRENCH RESTORATION – FLEXIBLE PAVEMENTS
03-008	I	CoGC	FIELD INLET AND INTER-ALLOTMENT DRAINAGE PIT
03-101	I	CoGC	STORMWATER ACCESS CHAMBER 1050 DIA TO 1500 DIA
03-102	I	CoGC	STORMWATER ACCESS CHAMBER 1050 DIA TO 1500 DIA ROOF SLABS
03-201	I	CoGC	EXCAVATION AND BEDDING OF CONCRETE STORMWATER PIPES



LOCALITY PLAN
SCALE 1:4000 (A1)



CLIENT

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

SITE ADDRESS

ROAD RESERVE FRONTING
60 STAPYLTON JACOBS WELL ROAD
STAPYLTON
LOT 501 SP295994

DWG No. 594I ENG EXTINT2 001 – REV C

SEPTEMBER 2021

	OVERLAND FLOW PATH / SWALE
	CATCH DRAIN (NOT LINED)
	DIVERSION CHANNEL
	TABLE DRAIN
	STREAM INVERT
	CATCH DRAIN (CONCRETE LINED)
	SUBSOIL DRAINAGE
	SAWCUT
	SEDIMENT FENCE
	CHAINWIRE FENCE
	WOODEN FENCE
	BRIFEN WIRE SAFETY BARRIER
	GUARDRAIL (STANDARD)
	RETAINING WALL (PILED)
	RETAINING WALL (WITH FOOTINGS)
	RETAINING WALL
	ROCKBLOCK RETAINING WALL
	TOP OF BATTER / BERM
	NOISE WALL
	EDGE OF VEGETATION
	PROPERTY LINE
	PROPERTY LINE WITH FENCE
	PROPOSED KERB, FOOTPATH
	CONTROL LINE / CENTER OF ROAD
	RAILWAY (MAJOR)
	RAILWAY (MINOR)
	EXISTING PROPERTY LINE
	EXISTING PROPERTY LINE WITH FENCE
	EXISTING KERB, FOOTPATH
	EXISTING EDGE OF BITUMEN
	EXISTING RAILWAY (MAJOR)
	EXISTING RAILWAY (MINOR)
	LIMIT OF WORKS
	LIMIT OF SITE
	CATCHMENT BOUNDARY
	EXISTING CONTOURS
	DESIGN CONTOURS

RM	RM	RM		PROPOSED RISING MAIN
S	S	S	S	PROPOSED SEWER
SW	SW	SW	SW	PROPOSED STORMWATER
SS	SS	SS	SS	PROPOSED ROOFWATER
W	W	W	W	PROPOSED ROOFWATER
FW	FW	FW	FW	PROPOSED SUBSOIL
OIL	OIL	OIL	OIL	PROPOSED WATER
F	F	F	F	PROPOSED RECYCLED WATER
G	G	G	G	PROPOSED OIL
P	P	P	P	PROPOSED FUEL
HV	HV	HV	HV	PROPOSED GAS
E	E	E	E	PROPOSED PIPELINE
E	E	E	E	PROPOSED HIGH VOLTAGE ELECTRICITY
L	L	L	L	PROPOSED UNDERGROUND ELECTRICITY
T	T	T	T	PROPOSED OVERHEAD ELECTRICITY
C	C	C	C	PROPOSED LIGHTING
GE	GE	GE	GE	PROPOSED TELSTRA
GT	GT	GT	GT	PROPOSED COMMUNICATIONS
ET	ET	ET	ET	PROPOSED GAS, ELECT
GET	GET	GET	GET	PROPOSED GAS, TELSTRA
				PROPOSED ELECT, TELSTRA
				PROPOSED GAS, ELECTRICITY, TELSTRA
RM	RM	RM		EXISTING RISING MAIN
S	S	S	S	EXISTING SEWER
SW	SW	SW	SW	EXISTING STORMWATER
SS	SS	SS	SS	EXISTING ROOFWATER
W	W	W	W	EXISTING SUBSOIL
FW	FW	FW	FW	EXISTING WATER
OIL	OIL	OIL	OIL	EXISTING RECYCLED WATER
F	F	F	F	EXISTING OIL
G	G	G	G	EXISTING FUEL
P	P	P	P	EXISTING GAS
HV	HV	HV	HV	EXISTING PIPELINE
E	E	E	E	EXISTING HIGH VOLTAGE ELECTRICITY
E	E	E	E	EXISTING UNDERGROUND ELECTRICITY
L	L	L	L	EXISTING OVERHEAD ELECTRICITY
T	T	T	T	EXISTING LIGHTING
C	C	C	C	EXISTING TELSTRA
GE	GE	GE	GE	EXISTING COMMUNICATIONS
GT	GT	GT	GT	EXISTING GAS, ELECT
ET	ET	ET	ET	EXISTING GAS, TELSTRA
GET	GET	GET	GET	EXISTING ELECT, TELSTRA
				EXISTING GAS, ELECTRICITY, TELSTRA

RM	X	RM	X	RM	X	RM	X	DEMOLISH RISING MAIN
S	X	S	X	S	X	S	X	DEMOLISH SEWER
SW	X	SW	X	SW	X	SW	X	DEMOLISH STORMWATER
SS	X	SS	X	SS	X	SS	X	DEMOLISH SUBSOIL
W	X	W	X	W	X	W	X	DEMOLISH WATER
OIL	X	OIL	X	OIL	X	OIL	X	DEMOLISH OIL
F	X	F	X	F	X	F	X	DEMOLISH FUEL
HV	X	HV	X	HV	X	HV	X	DEMOLISH HIGH VOLTAGE ELECTRICITY
E	X	E	X	E	X	E	X	DEMOLISH UNDERGROUND ELECTRICITY
E	X	E	X	E	X	E	X	DEMOLISH OVERHEAD ELECTRICITY
L	X	L	X	L	X	L	X	DEMOLISH LIGHTING
G	X	G	X	G	X	G	X	DEMOLISH GAS
P	X	P	X	P	X	P	X	DEMOLISH PIPELINE
T	X	T	X	T	X	T	X	DEMOLISH TELSTRA
C	X	C	X	C	X	C	X	DEMOLISH COMMUNICATIONS

BA(K)	BARRIER KERB (A)
BA(B)	BARRIER KERB (B)
BA(G)	BARRIER KERB (G)
MD(K)	MOUNTABLE KERB (D)
SMK(C)	SEMI MOUNTABLE KERB (C)
ER(E)	EDGE RESTRAINT (E)
KE(F)	KERB EDGE RESTRAINT (F)
RK&C(H)	ROLL TOP KERB & CHANNEL (H)
BA&C(J)	BARRIER KERB & CHANNEL (J)
ERH	KERB EDGE RESTRAINT (HIGH)
ERL	KERB EDGE RESTRAINT (LOW)
CS(K/L)	CHANNEL SECTON (K/L)
PMB	PRECAST MOTOR BED
DD	DISH DRAIN
K&G	KERB AND GUTTER
K&T	KERB AND TOE
KO	KERB ONLY
MK	MOUNTABLE KERB
RK	ROLL KERB
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED ROAD EDGE GUIDE POST
o BIN	EXISTING BIN
o PB	POST BOX
	TELEPHONE BOX
	TELSTRA PIT
o MP	TELSTRA MARKER POST
• WM	WATER METER
• V	WATER VALVE
• F.H	FIRE HYDRANT
o TAP	WATER TAP
	WATER HYDRANT
	WATER TEE
	WATER REDUCER
	WATER ENDCAP
	WATER CONNECTION
	WATER CROSSING
	WATER DICL
	SEWER MANHOLE
	SEWER LOWERING END
	SEWER BEND
	SEWER MAINTENANCE SHAFT
	SEWER 'T' END
	SEWER SLUICE VALVE

	SEWER PIT
	SEWER PUMP STATION
	TEMPORARY SEWER PUMP STATION
	SEWER / STORMWATER PIT NO/LINE
	SETOUT POINT
	OFFSET PIT WITH GRATE
	IN LINE PIT WITH GRATE
	JUNCTION PIT
	LETTERBOX PIT
	GRATED INLET PIT
	MANHOLE
	GULLY PIT (LIP INLINE) ROLL TOP KERB – GRADE
	GULLY PIT (LIP INLINE) BARRIER KERB – SAG
	GULLY PIT (LIP INLINE) BARRIER KERB – GRADE
	GULLY PIT (LIP INLINE) ROLL TOP KERB – SAG
	GULLY PIT (LIP INLINE) ROLL TOP KERB – GRADE
	GULLY PIT (KERB INLINE) – SAG

	HEADWALL
	GROSS POLLUTANT TRAP
	STORMWATER CHAMBER
	SUBSOIL DRAIN AND CLEANOUT – KERB SHOULDER
	SUBSOIL OUTLET
	BUND
	POWER POLE
	POWER POLE WITH LIGHT
	LIGHT POLE
	STAY POLE
	LIGHT POLE WITH EXTENSION
	ELECTRICAL INSPECTION BOX
	ELECTRICAL POLE
	ELECTRICAL TURRET
	TRAFFIC SIGNAL
	MAIN ROADS PIT
	TANGENT POINT
	KERB RETURN NO.
	PRAM RAMP
	GRAVEL ROCK CHECK DAM
	MESH & GRAVEL INLET FILTER
	STORMWATER INLET FILTER
	DIRECTION OF OVERLAND FLOW

	GATE
	NOT IN SCOPE OF WORKS
	DEMOLITION
	EXISTING VERGE TO BE REMOVED
	PROPOSED CONCRETE FOOTPATH
	SCOUR PROTECTION
	TREES
	EXISTING TREES TO BE REMOVED
	TADPOLE
	GUARDRAIL

		WIDTH (mm)	
		MINIMUM	PREFERRED
ONE DIRECTION		80	80
BOTH DIRECTIONS		80	80
BROKEN LINE LANE		100	100
EDGE LINE		150	150
CONTINUOUS LINE		100	100
CONTINUITY LINE		200	200
TURN LINE		100	100
STOP LINE		300	300
GIVE WAY LINE		300	300
CROSSWALK LINE		200	200
SPECIAL PURPOSE BROKEN LINE		200	80

BARRIER LINE ONE DIRECTION	(ODBL)
BARRIER LINE BOTH DIRECTIONS	(DBL)
BROKEN LINE LANE	(BLL)
SPECIAL PURPOSE BROKEN LINE	(SBLL)
CONTINUOUS LANE LINE	(CLL)
EDGE LINE	(EL)
CONTINUITY LINE	(CL)
TURN LINE	(TL)
STOP LINE	(SL)
GIVE WAY LINE	(GWL)
EXCLUSIVE LEFT TURN ARROW	(PA-L)
EXCLUSIVE RIGHT TURN ARROW	(PA-R)
COMBINED STRAIGHT AHEAD AND LEFT TURN ARROW	(PA-SAL)
COMBINED STRAIGHT AHEAD AND RIGHT TURN ARROW	(PA-SAR)
BICYCLE LANE SYMBOL FOR ON-ROAD USE	(PS-2)
MERGE RIGHT ARROW	(PA-MR)
PEDESTRIAN CROSSWALK LINE	(PCW)

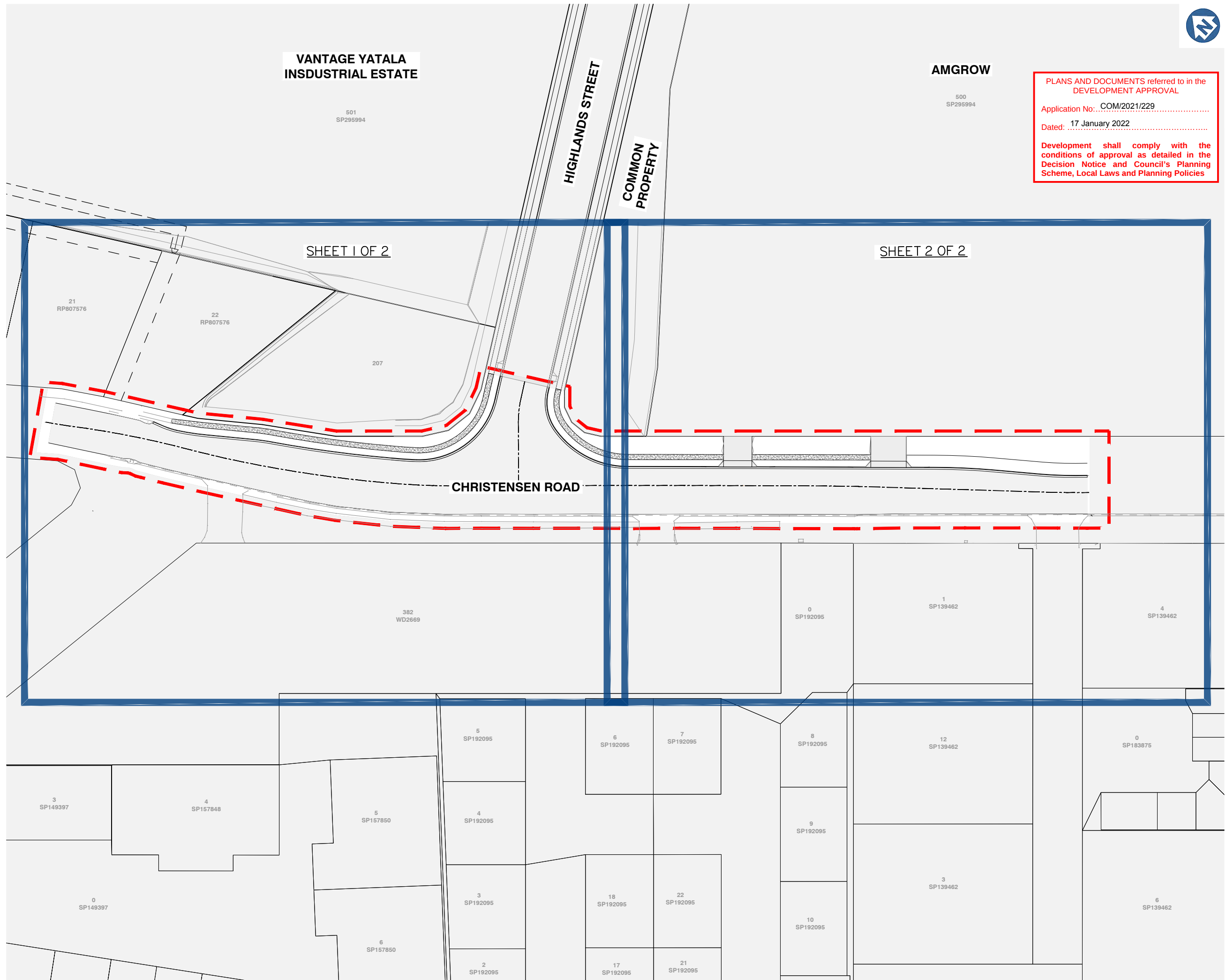
-2.0	to	-1.9	m	
-1.9	to	-1.8	m	
-1.8	to	-1.7	m	
-1.7	to	-1.6	m	
-1.6	to	-1.5	m	
-1.5	to	-1.4	m	
-1.4	to	-1.3	m	
-1.3	to	-1.2	m	
-1.2	to	-1.1	m	
-1.1	to	-1.0	m	
-1.0	to	-0.9	m	
-0.9	to	-0.8	m	
-0.8	to	-0.7	m	
-0.7	to	-0.6	m	
-0.6	to	-0.5	m	
-0.5	to	-0.4	m	
-0.4	to	-0.3	m	
-0.3	to	-0.2	m	
-0.2	to	-0.1	m	
-0.1	to	0.0	m	
0.0	to	0.1	m	
0.1	to	0.2	m	
0.2	to	0.3	m	
0.3	to	0.4	m	
0.4	to	0.5	m	
0.5	to	0.6	m	

**PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL**

Application No.: COM/2021/229

Dated: 17 January 2022

**Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies**



VANTAGE YATALA
INDSUTRIAL ESTATE

AMGROW

PLANS AND DOCUMENTS referred to in the
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planning | environment | landscape | engineering | survey

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Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

KEY PLAN LAYOUT



1:500 (FULL SIZE A1)
1:1000 (HALF SIZE A3)

Scale at A1: 1:500

Designed: IG

Drafted: LAB

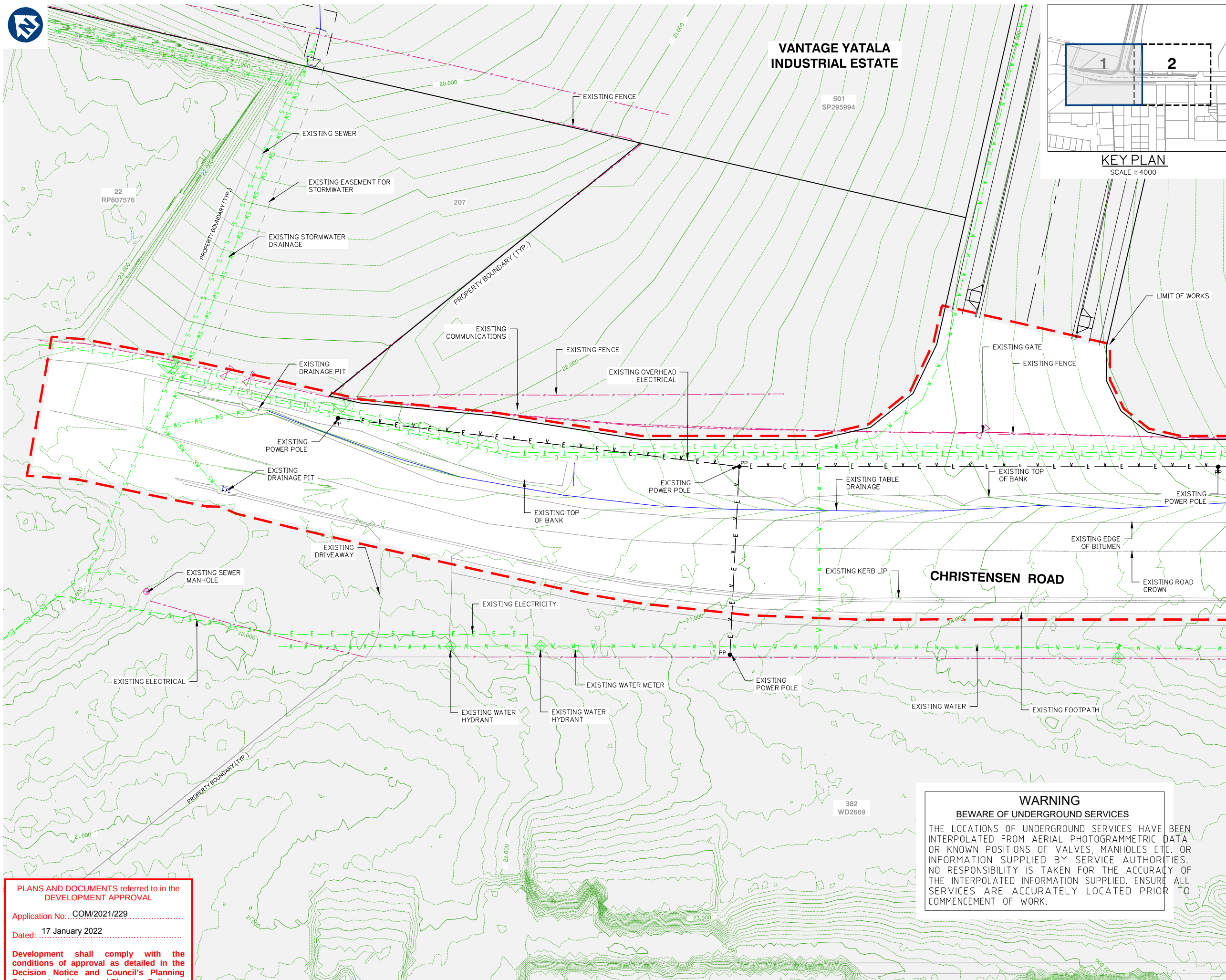
Approved: MG

RPEQ: 16939

Signed:

Date: 14-09-2021

Drawing No: 5941 ENG EXTINT2 004 Rev. No: C



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
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Lot:	501
Plan:	SP295994
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

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DRAWING TITLE

EXISTING SURFACE LAYOUT
PLAN SHEET 1 OF 2



1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
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Drafted:	LAB
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Approved:	MG
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RPEQ:	1693
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Signed:	
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Date:	14-09-2021
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Drawing No:	Rev. No:
5941 ENG EXTINT2 010	A

PLANS AND DOCUMENTS referred to in the
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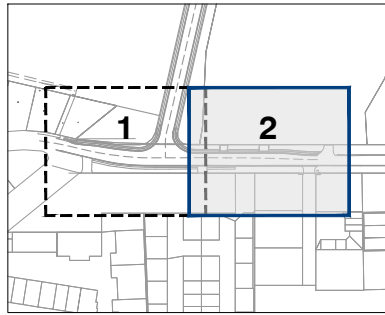
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WARNING

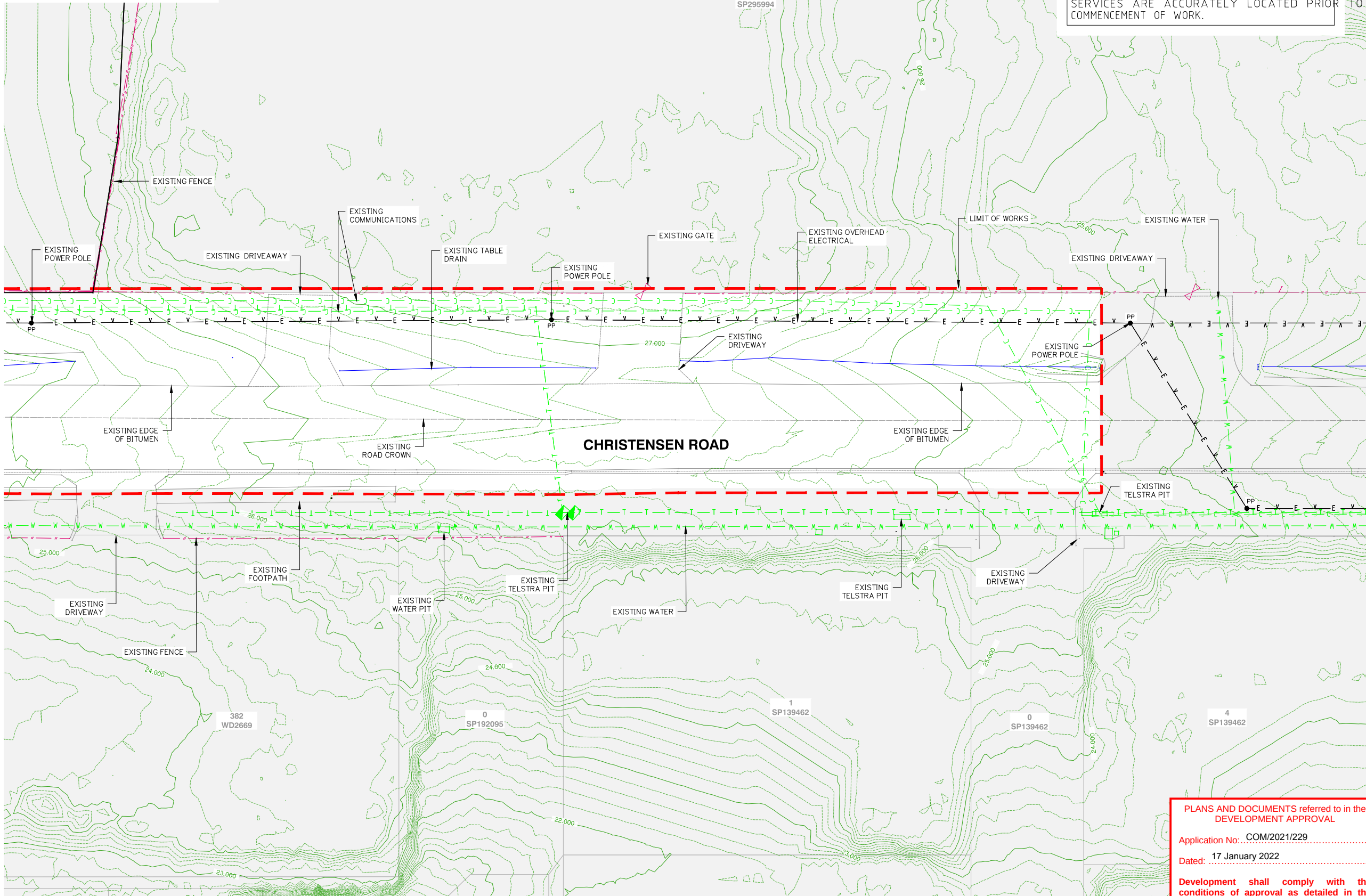
BEWARE OF UNDERGROUND SERVICES

THE LOCATIONS OF UNDERGROUND SERVICES HAVE BEEN INTERPOLATED FROM AERIAL PHOTOGRAMMETRIC DATA OR KNOWN POSITIONS OF VALVES, MANHOLES ETC. OR INFORMATION SUPPLIED BY SERVICE AUTHORITIES. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF THE INTERPOLATED INFORMATION SUPPLIED. ENSURE ALL SERVICES ARE ACCURATELY LOCATED PRIOR TO COMMENCEMENT OF WORK.

EXISTING SURFACE LAYOUT PLAN SHEET 1 OF 2

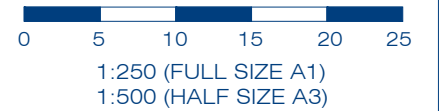


KEY PLAN
SCALE 1:4000



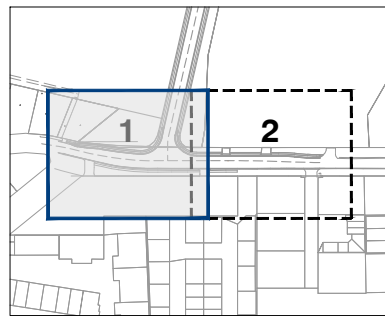
WARNING
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Issue	Date	Original Issue Description	LAB DRN	MG CHK
A	14-09-2021	ORIGINAL ISSUE		

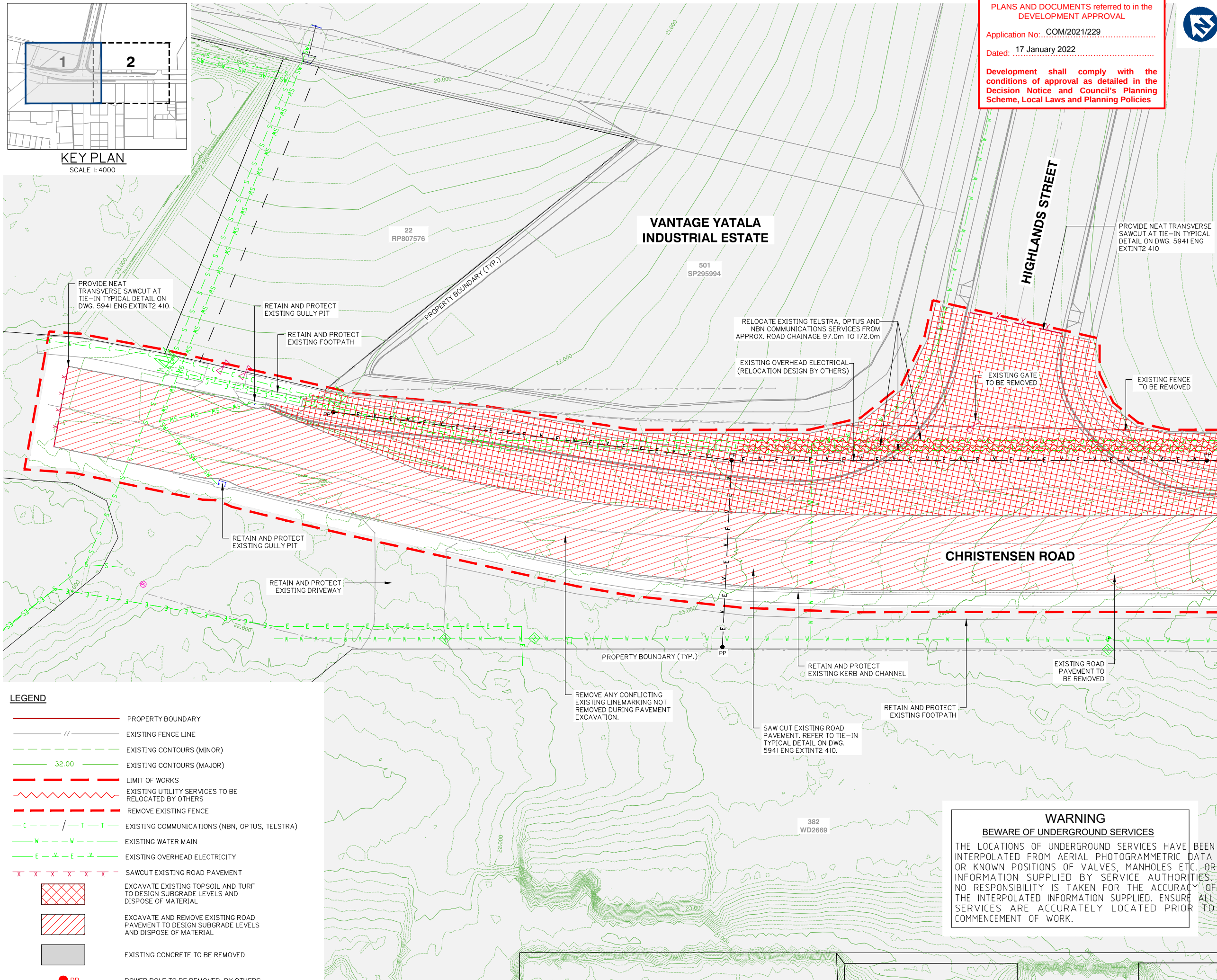


Scale at A1:	1:250
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

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KEY PLAN
SCALE 1:4000



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Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
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DRAWING TITLE
DEMOLITION AND
PROTECTION LAYOUT
PLAN SHEET 1 OF 2

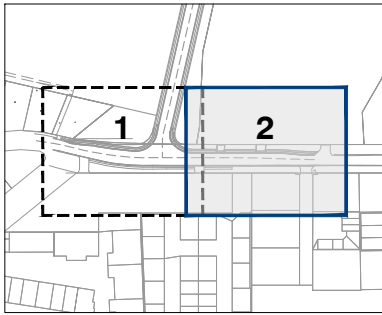
Issue	Date	Original Issue Description	LAB	MG
A	14-09-2021			

0 5 10 15 20 25
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1:500 (HALF SIZE A3)

Scale at A1: 1:250

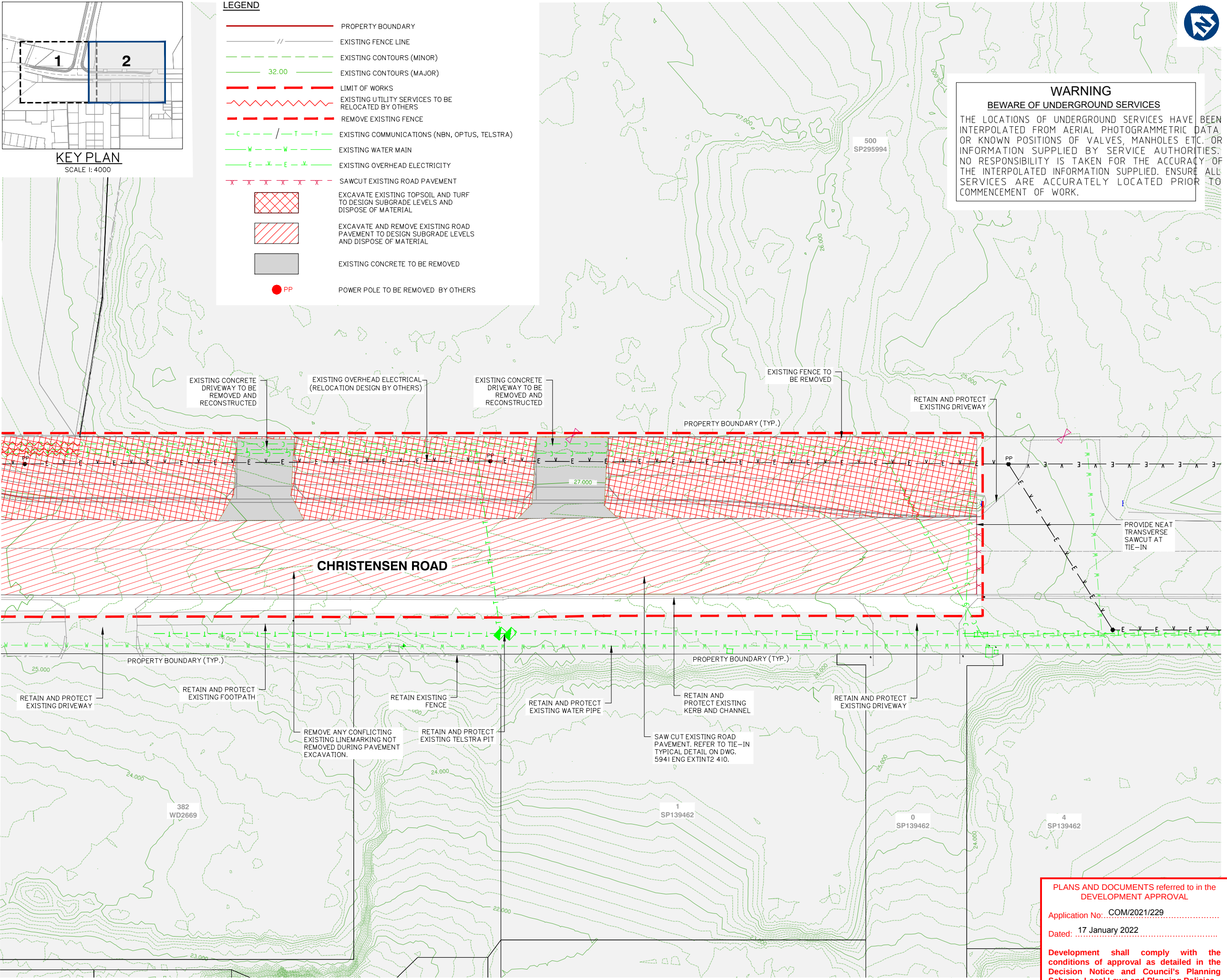
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 020 Rev. No: A



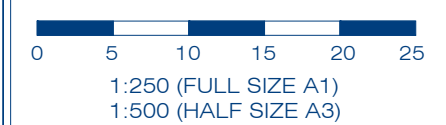
KEY PLAN
SCALE 1: 4000

- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING FENCE LINE
 - EXISTING CONTOURS (MINOR)
 - EXISTING CONTOURS (MAJOR)
 - LIMIT OF WORKS
 - EXISTING UTILITY SERVICES TO BE RELOCATED BY OTHERS
 - REMOVE EXISTING FENCE
 - EXISTING COMMUNICATIONS (NBN, OPTUS, TELSTRA)
 - EXISTING WATER MAIN
 - EXISTING OVERHEAD ELECTRICITY
 - SAWCUT EXISTING ROAD PAVEMENT
 - EXCAVATE EXISTING TOPSOIL AND TURF TO DESIGN SUBGRADE LEVELS AND DISPOSE OF MATERIAL
 - EXCAVATE AND REMOVE EXISTING ROAD PAVEMENT TO DESIGN SUBGRADE LEVELS AND DISPOSE OF MATERIAL
 - EXISTING CONCRETE TO BE REMOVED
 - POWER POLE TO BE REMOVED BY OTHERS



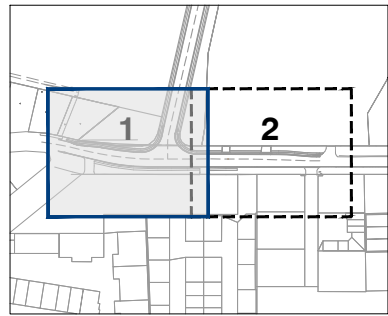
WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES HAVE BEEN INTERPOLATED FROM AERIAL PHOTOGRAMMETRIC DATA, OR KNOWN POSITIONS OF VALVES, MANHOLES ETC. OR INFORMATION SUPPLIED BY SERVICE AUTHORITIES. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF THE INTERPOLATED INFORMATION SUPPLIED. ENSURE ALL SERVICES ARE ACCURATELY LOCATED PRIOR TO COMMENCEMENT OF WORK.

Issue	Date	Description	DRN	CHK
C	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

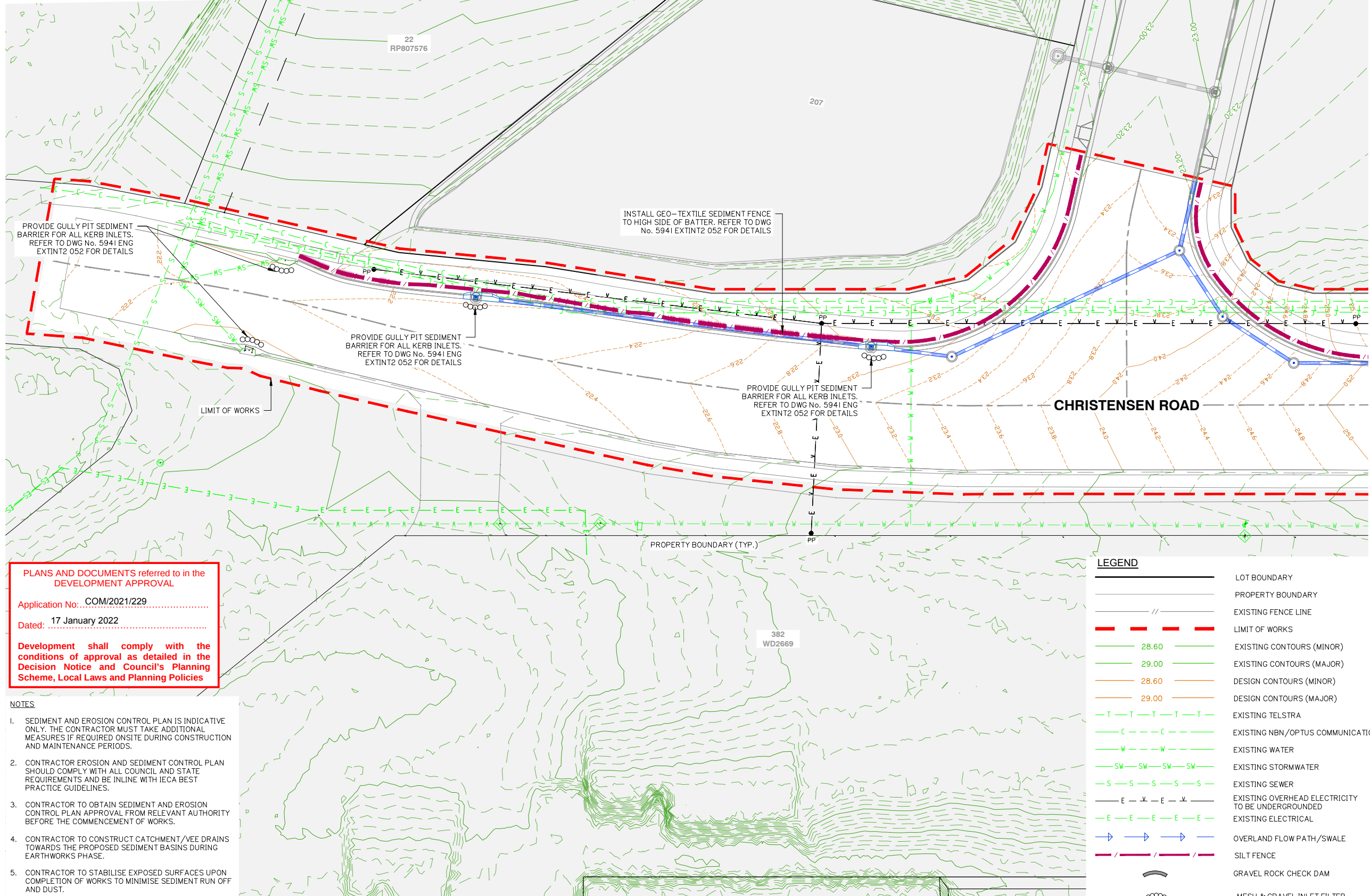


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Drafted:	LAB
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RPEQ:	16939
Signed:	
Date:	14-09-2021

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL
Application No: COM/2021/229
Dated: 17 January 2022
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



KEY PLAN
SCALE 1: 4000



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No.: COM/2021/229

Dated: 17 January 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

- NOTES
1. SEDIMENT AND EROSION CONTROL PLAN IS INDICATIVE ONLY. THE CONTRACTOR MUST TAKE ADDITIONAL MEASURES IF REQUIRED ONSITE DURING CONSTRUCTION AND MAINTENANCE PERIODS.
 2. CONTRACTOR EROSION AND SEDIMENT CONTROL PLAN SHOULD COMPLY WITH ALL COUNCIL AND STATE REQUIREMENTS AND BE IN LINE WITH IECA BEST PRACTICE GUIDELINES.
 3. CONTRACTOR TO OBTAIN SEDIMENT AND EROSION CONTROL PLAN APPROVAL FROM RELEVANT AUTHORITY BEFORE THE COMMENCEMENT OF WORKS.
 4. CONTRACTOR TO CONSTRUCT CATCHMENT/VEE DRAINS TOWARDS THE PROPOSED SEDIMENT BASINS DURING EARTHWORKS PHASE.
 5. CONTRACTOR TO STABILISE EXPOSED SURFACES UPON COMPLETION OF WORKS TO MINIMISE SEDIMENT RUN OFF AND DUST.

LEGEND	
	LOT BOUNDARY
	PROPERTY BOUNDARY
	EXISTING FENCE LINE
	LIMIT OF WORKS
	EXISTING CONTOURS (MINOR)
	EXISTING CONTOURS (MAJOR)
	DESIGN CONTOURS (MINOR)
	DESIGN CONTOURS (MAJOR)
	EXISTING TELSTRA
	EXISTING NBN/OPTUS COMMUNICATIONS
	EXISTING WATER
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING OVERHEAD ELECTRICITY TO BE UNDERGROUNDED
	EXISTING ELECTRICAL
	OVERLAND FLOW PATH/SWALE
	SILT FENCE
	GRAVEL ROCK CHECK DAM
	MESH & GRAVEL INLET FILTER

SEDIMENT AND EROSION CONTROL PLAN SHEET 1 OF 2

Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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DRAWING TITLE

SEDIMENT AND EROSION
CONTROL PLAN SHEET 1 OF 2

Issue	Date	Original Issue Description	LAB DRN	MG CHK
A	14-09-2021			

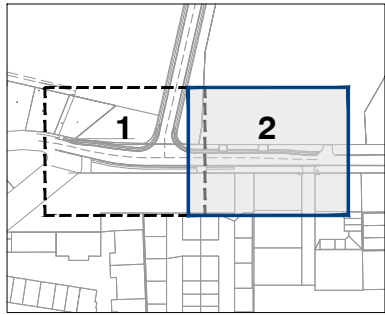
0 5 10 15 20 25

1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

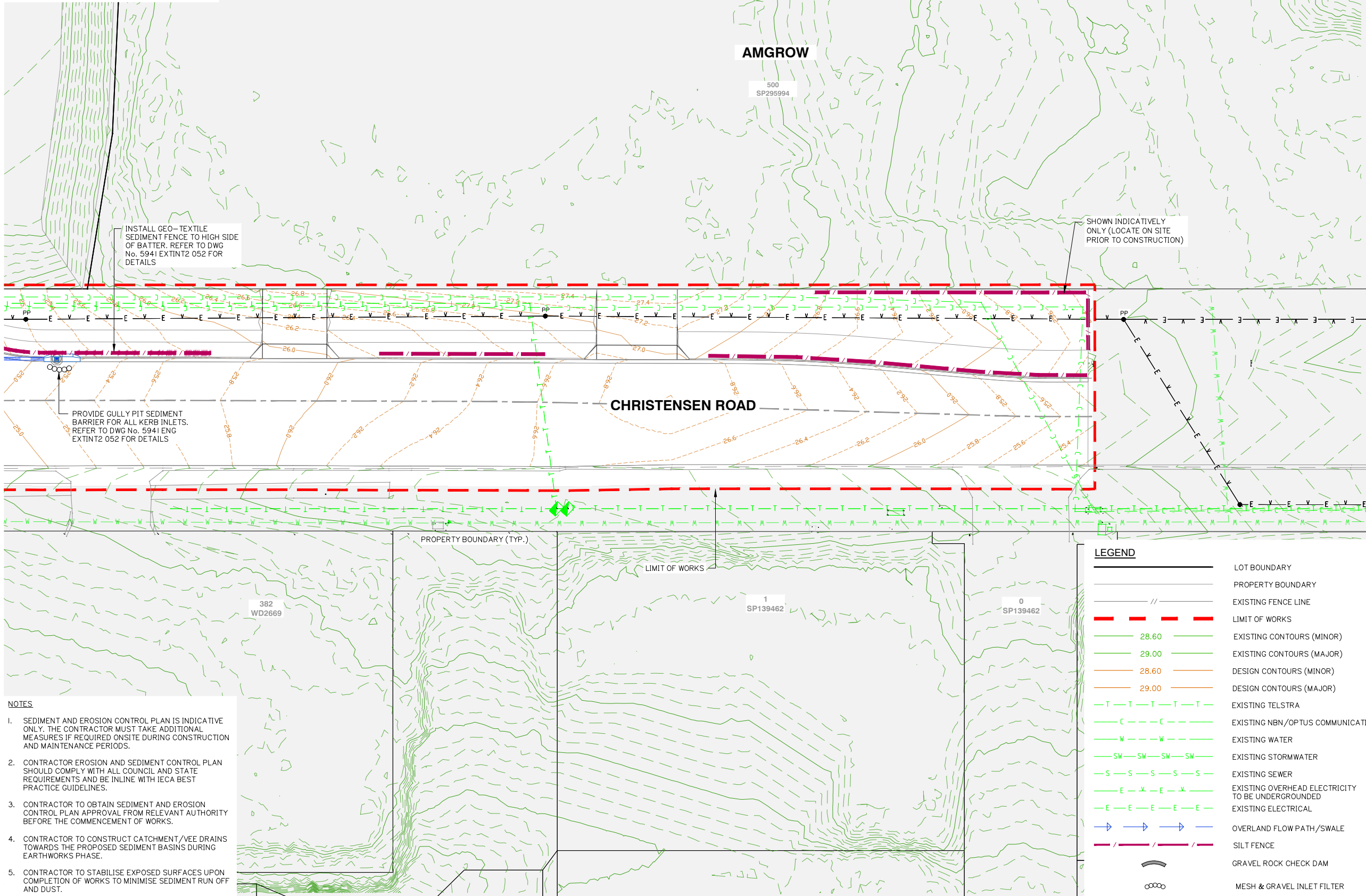
Scale at A1: 1:250

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 050
Rev. No: A



KEY PLAN
SCALE 1:4000



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LEGEND	
	LOT BOUNDARY
	PROPERTY BOUNDARY
	EXISTING FENCE LINE
	LIMIT OF WORKS
	EXISTING CONTOURS (MINOR)
	EXISTING CONTOURS (MAJOR)
	DESIGN CONTOURS (MINOR)
	DESIGN CONTOURS (MAJOR)
	EXISTING TELSTRA
	EXISTING NBN/OPTUS COMMUNICATIONS
	EXISTING WATER
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING OVERHEAD ELECTRICITY TO BE UNDERGROUNDED
	EXISTING ELECTRICAL
	OVERLAND FLOW PATH/SWALE
	SILT FENCE
	GRAVEL ROCK CHECK DAM
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PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

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60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE
SEDIMENT AND EROSION
CONTROL PLAN SHEET 2 OF 2

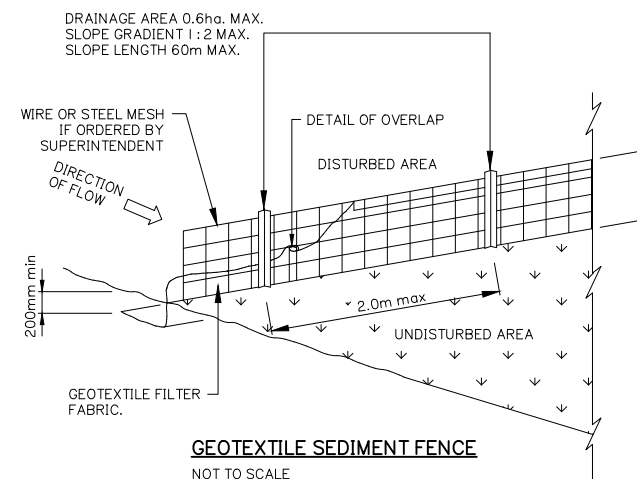
Issue	Date	Description	DRN	CHK
C	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

0 5 10 15 20 25
1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 051
Rev. No: C



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WEL
ROAD, STAPYLTON QLD 4207

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RPD:	
Lot:	501
Plan:	SP295994
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

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DRAWING TITLE
SEDIMENT AND EROSION
TYPICAL SECTIONS AND
DETAILS

A Issue	14-09-2021 Date	ORIGINAL ISSUE Description	LAB DRN	MG CHK

NOT APPLICABLE

Scale at A1:	NTS
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 052	A

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

501
SP295994

22
RP807576

207

COMMON PROPERTY

EXISTING COMMUNICATIONS AND
TELSTRA CONDUITS TO BE
RELOCATED BY OTHERS PRIOR TO
COMMENCEMENT OF EARTHWORKS

CHRISTENSEN ROAD

382
WD2669

-2.0	to	-1.9	m	
-1.9	to	-1.8	m	
-1.8	to	-1.7	m	
-1.7	to	-1.6	m	
-1.6	to	-1.5	m	
-1.5	to	-1.4	m	
-1.4	to	-1.3	m	
-1.3	to	-1.2	m	
-1.2	to	-1.1	m	
-1.1	to	-1.0	m	

-1.0	to	-0.9	m	
-0.9	to	-0.8	m	
-0.8	to	-0.7	m	
-0.7	to	-0.6	m	
-0.6	to	-0.5	m	
-0.5	to	-0.4	m	
-0.4	to	-0.3	m	
-0.3	to	-0.2	m	
-0.2	to	-0.1	m	
-0.1	to	0.0	m	

0.0	to	0.1	m	
0.1	to	0.2	m	
0.2	to	0.3	m	
0.3	to	0.4	m	
0.4	to	0.5	m	
0.5	to	0.6	m	

CUT	- 2,026m ³
FILL	140m ³
TOTAL	-1,886 m ³
EXCESS OF CUT OVER FILL	1,886 m ³

1. EARTHWORKS VOLUMES ARE CALCULATED TO AN ASSUMED PAVEMENT SUBGRADE LEVEL OF -0.440m BELOW FSL OF PAVEMENT.
2. THE VOLUMES ASSUME THAT THE EXISTING PAVEMENT LAYERS ARE MOVED TO A DEPTH OF 0.290m ON CHRISTENSEN ROAD WITHIN THE LIMIT OF WORKS BOUNDARY.
3. THE DESIGN ROAD VERGE PROFILES ARE DESIGNED TO SUBGRADE LEVEL AT AN ASSUMED -0.10m BELOW FSL OF VERGE. THE EARTHWORKS VOLUMES REFLECT THIS.
4. IT IS ASSUMED THAT 100mm OF TOPSOIL IS STRIPPED IN EXISTING VERGES PRIOR TO EARTHWORKS ACTIVITIES COMMENCING. THEREFORE THE VOLUMES STATED ARE 'POST-STRIP' VOLUMES.
5. BULKING FACTORS HAVE NOT BEEN APPLIED.
6. BULK EARTHWORKS VOLUMES ARE CALCULATED TO THE PROPOSED LIMIT OF WORKS BOUNDARY SHOWN FOR CHRISTENSEN ROAD AND HIGHLAND STREET. THEY DO NOT INCLUDE STAGE 2.
7. SPOIL VOLUMES GENERATED FROM SERVICE TRENCHES ARE NOT REFLECTED IN THE CALCULATIONS.

KEY PLAN
SCALE 1:4000



gassman
development
perspectives

est 1985

planning | environment | landscape | engineering | survey

3607 3333 | F: 3287 5461 | www.gassman.com.au

Gold Coast & Logan | 176 Business Street, Yatala QLD | PO Box 392, Beenleigh 4207

Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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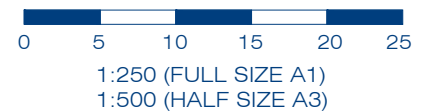
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DRAWING TITLE

EARTHWORKS CUT AND
FILL PLAN SHEET 1 OF 2

C	22-12-2021	EARTHWORKS VOLUMES AMENDED	JH	MG
B	12-11-2021	NOTE ADDED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG
Issue	Date	Description	DRN	CHK



Scale at A1: 1:250

Designed:	IG
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Drafted:	LAB
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Approved:	MG
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RPEQ:	16939
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Signed:	
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Drawing No:	Rev. No:
5941 ENG EXTINT2 120	C

-
- Technical drawing of a proposed road layout for Christensen Road. The drawing shows a plan view of the road corridor, including existing and proposed conduits, levels, and stationing.
- Key Features:**
- Christensen Road:** The main road corridor, shown with a dashed centerline and solid edge lines.
 - Proposed Roadway:** Indicated by a red dashed line.
 - Existing Communications and Telstra Conduits:** Shown as green dashed lines with labels "E" and "V".
 - Proposed Conduits:** Shown as green dashed lines with labels "E" and "V".
 - Levels:** Indicated by orange dashed lines with numerical values (e.g., 25.0, 25.2, 25.4, 25.6, 25.8, 26.0, 26.2, 26.4, 26.6, 26.8, 27.0, 27.2, 27.4, 27.6, 27.8, 28.0, 28.2, 28.4, 28.6, 28.8, 29.0, 29.2, 29.4, 29.6, 29.8, 30.0).
 - Stationing:** Indicated by a series of numbers along the road corridor (e.g., 382, 0, 1, 4).
 - Labels:** "AMGROW" and "SP295994" are present in the upper right. "CHRISTENSEN ROAD" is labeled in the center. "382 WD2669", "0 SP192095", "1 SP139462", and "4 SP139462" are labeled at the bottom.
 - Notes:** A note in the upper left states: "EXISTING COMMUNICATIONS AND TELSTRA CONDUITS TO BE RELOCATED BY OTHERS PRIOR TO COMMENCEMENT OF EARTHWORKS".

0.0	to	0.1	m	
0.1	to	0.2	m	
0.2	to	0.3	m	
0.3	to	0.4	m	
0.4	to	0.5	m	
0.5	to	0.6	m	

KEY PLAN
SCALE 1:4000

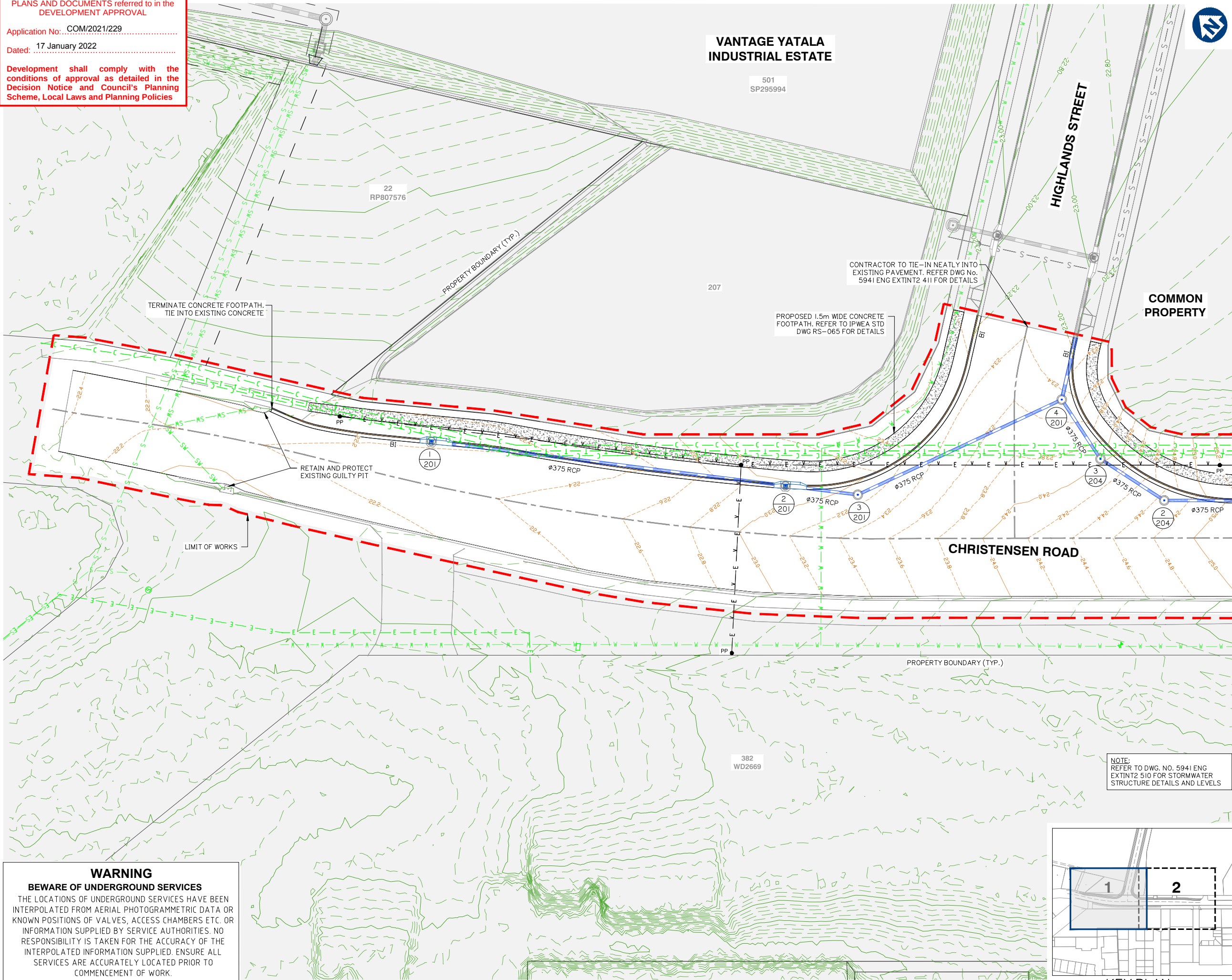
Drawing No:	Rev. No:
5941 ENG EXTINT2 121	C

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2021/229

Dated: 17 January 2022

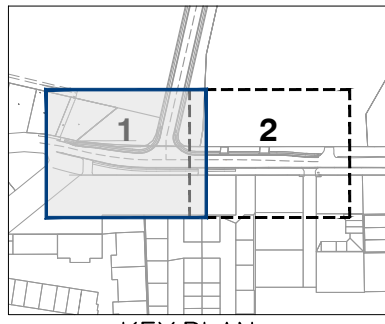
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ROADWORKS AND DRAINAGE LAYOUT PLAN SHEET 1 OF 2

Client:

FRASERS
PROPERTY

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
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DRAWING TITLE

ROADWORKS AND
DRAINAGE LAYOUT PLAN
SHEET 1 OF 2

Issue	Date	Original Issue Description	LAB DRN	MG CHK
A	14-09-2021			

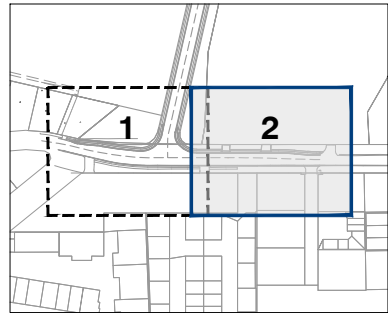
0 5 10 15 20 25

1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1:	1:250
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RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 400

Rev. No: A



KEY PLAN

NOTE:
REFER TO DWG. NO. 5941 ENG
EXTINT2 510 FOR STORMWATER
STRUCTURE DETAILS AND LEVELS

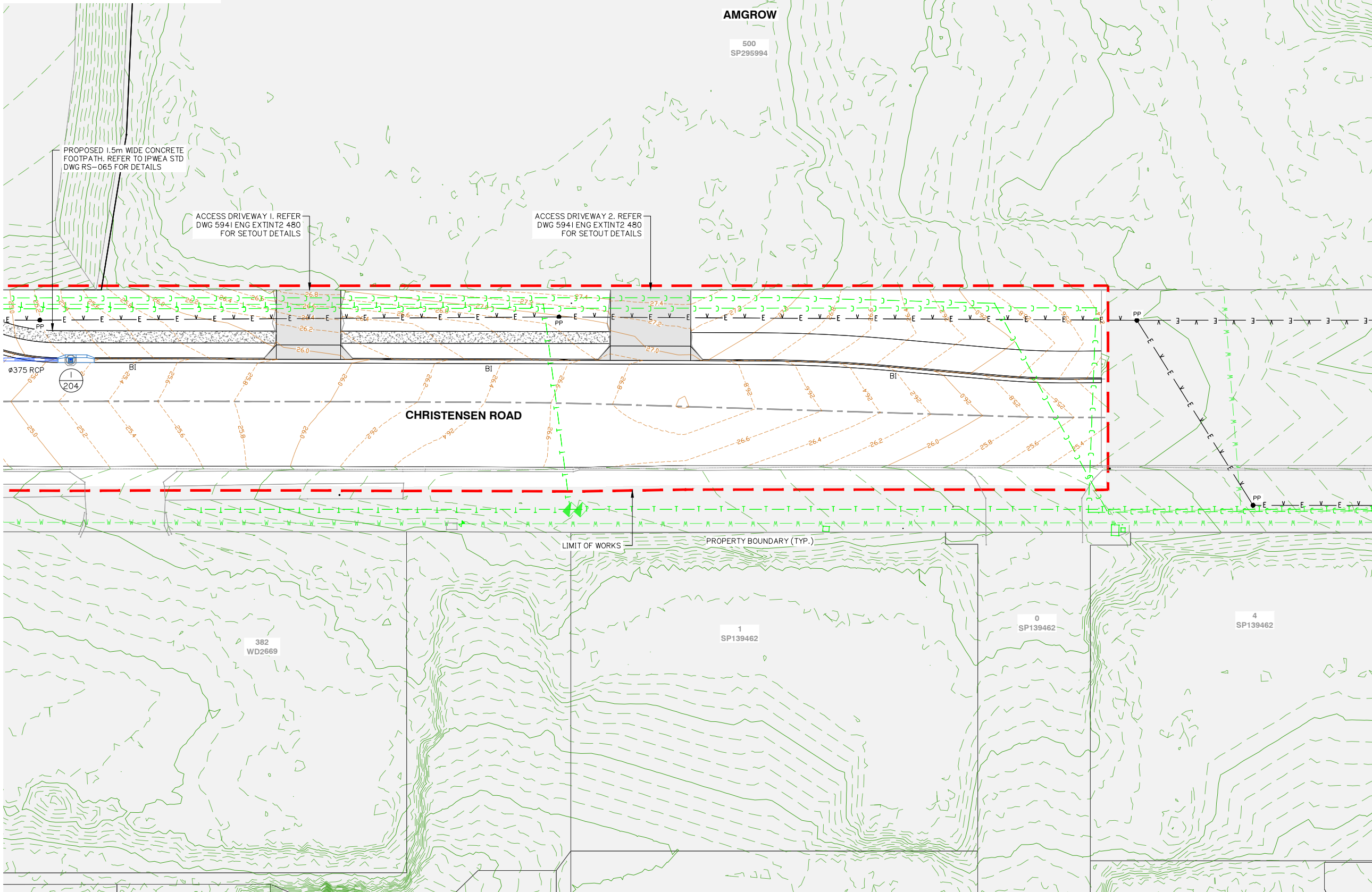


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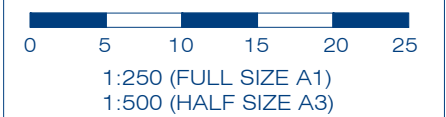
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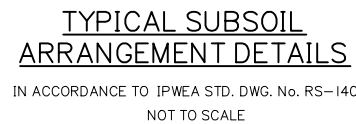
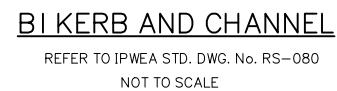
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NOTE: SUBSOIL ACCESS POINTS TO BE INSTALLED
IN ACCORDANCE WITH IPWEA RS-142
NOT TO SCALE



SCALE 1:50

 DENOTES GIVEN STRUCTURE SETOUT LOCATION

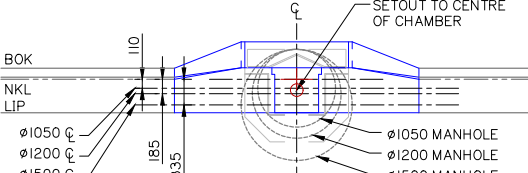
CIRCULAR PRECAST DRAINWAY CONVERTOR SLABS ARE AVAILABLE IN SIZES LISTED BELOW:

1200 ID (1650 OD) x 150mm THICK – 1000mm HOLE
1350 ID (1830 OD) x 150mm THICK – 1000mm HOLE
1500 ID (1970 OD) x 175mm THICK – 1000mm HOLE
1650 ID (2100 OD) x 225mm THICK – 1000mm HOLE
1800 ID (2300 OD) x 225mm THICK – 1000mm HOLE
2000 ID (2450 OD) x 250mm THICK – 1000mm HOLE



DETAIL – SETOUT POINTS FOR IPWEA GULLIES,
MANHOLES, FIELD INLETS AND HEADWALLS

N.T.S.

STRUCTURE TYPE	HORIZONTAL CONTROL (REFERENCE POINT LOCATION)	VERTICAL CONTROL (REFERENCE LEVEL)
MANHOLE	 CENTRE OF MANHOLE	FINISHED SURFACE LEVEL
GULLY PIT	 BOK NK LIP 110 185 335 φ1050 C φ1200 C φ1500 C SETOUT TO CENTRE OF CHAMBER φ1050 MANHOLE φ1200 MANHOLE φ1500 MANHOLE	FINISHED SURFACE LEVEL (INVERT OF KERB)

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL

Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE

TYPICAL SECTIONS AND
DETAILS SHEET 1 OF 2

A	14-09-2021	ORIGINAL ISSUE	LAB	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES

NOT APPLICABLE

Scale at A1: NTS

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

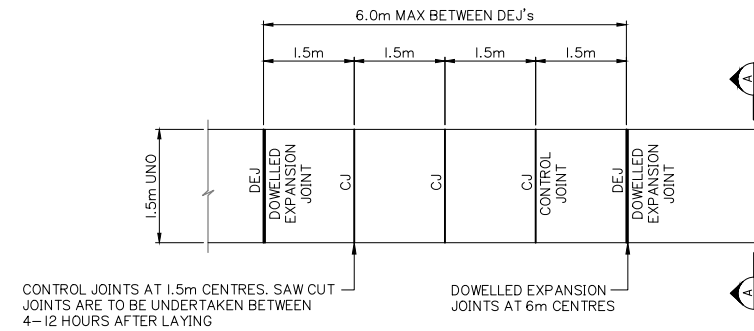
Drawing No:	Rev. No:
5941 ENG EXTINT2 410	A

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2021/229

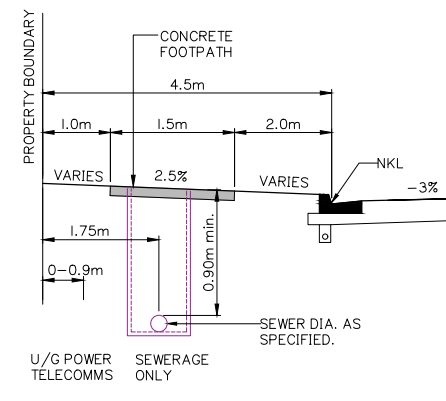
Dated: 17 January 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



TYPICAL CROSS SECTION – INDUSTRIAL / COMMERCIAL
COLLECTOR AND ACCESS STREETS (23.0m)
HIGHLANDS STREET & CHRISTENSEN ROAD.

REFER ALSO CoGC STD DWG 05-02-2004 FOR DETAILS



TYPICAL SERVICES IN VERGE
SEWER RETICULATION ONLY
SCALE: N.T.S

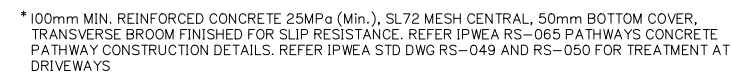
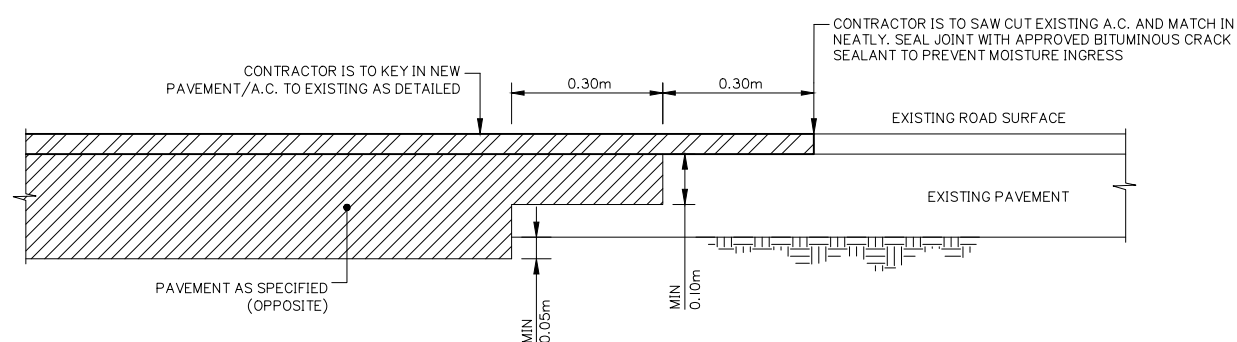


Figure 1: Typical cross-section of a concrete sidewalk. The diagram shows a concrete footpath with a 2.5% slope. Dimensions include a 4.5m total width, a 1.0m offset from the property boundary, and a 1.50m offset for the water main. The water main is labeled "D/C L WATER MAIN DIA. AS SPECIFIED." and "U/G POWER TELECOMMS". The sidewalk is labeled "CONCRETE FOOTPATH" and "NK L -3%". A vertical dimension of 0.75m min. is shown for the water main depth.

TYPICAL SERVICES IN VERGE
POTABLE WATER RETICULATION ONLY
SCALE: N.T.S



CONNECTION TO EXISTING PAVEMENT
N.T.S

TYPICAL DETAIL
SHOWING LONGITUDINAL CONSTRUCTION DETAIL FOR
CONNECTION TO EXISTING PAVEMENT / A.C.

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: COM/2021/229

Dated: 17 January 2022

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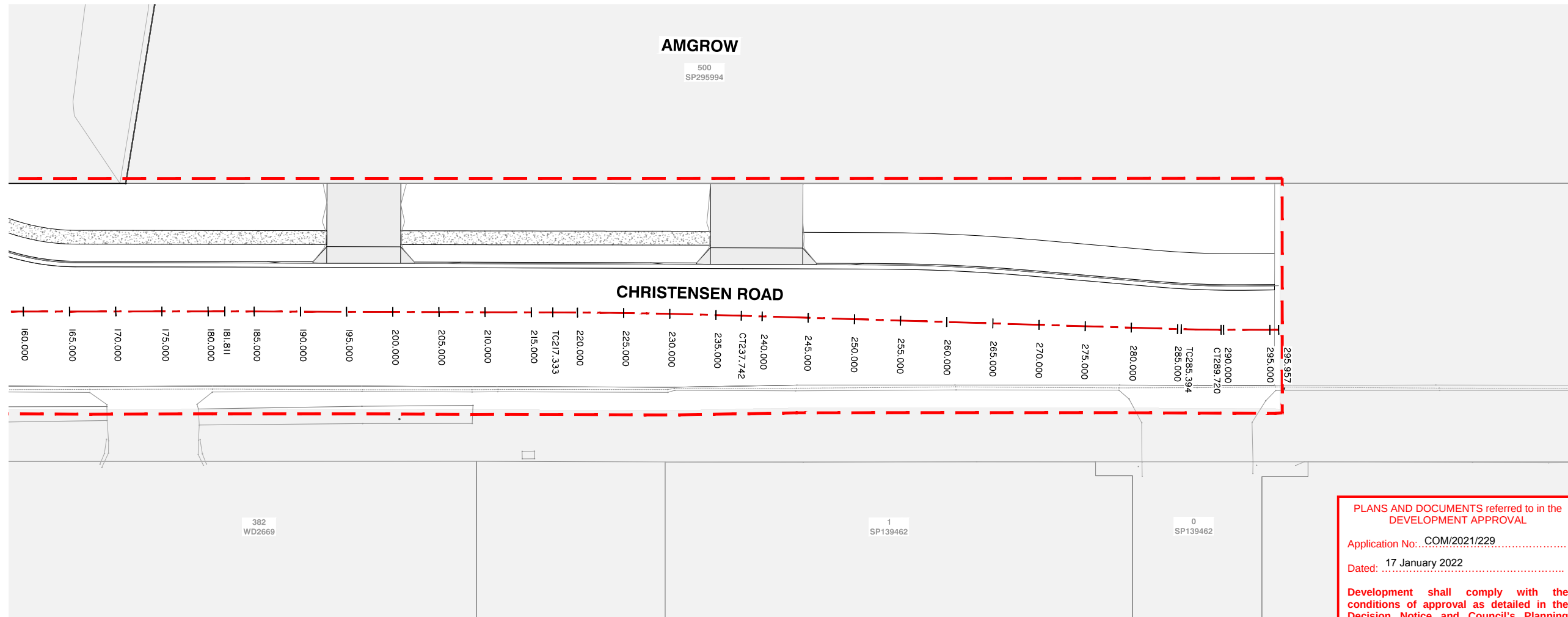
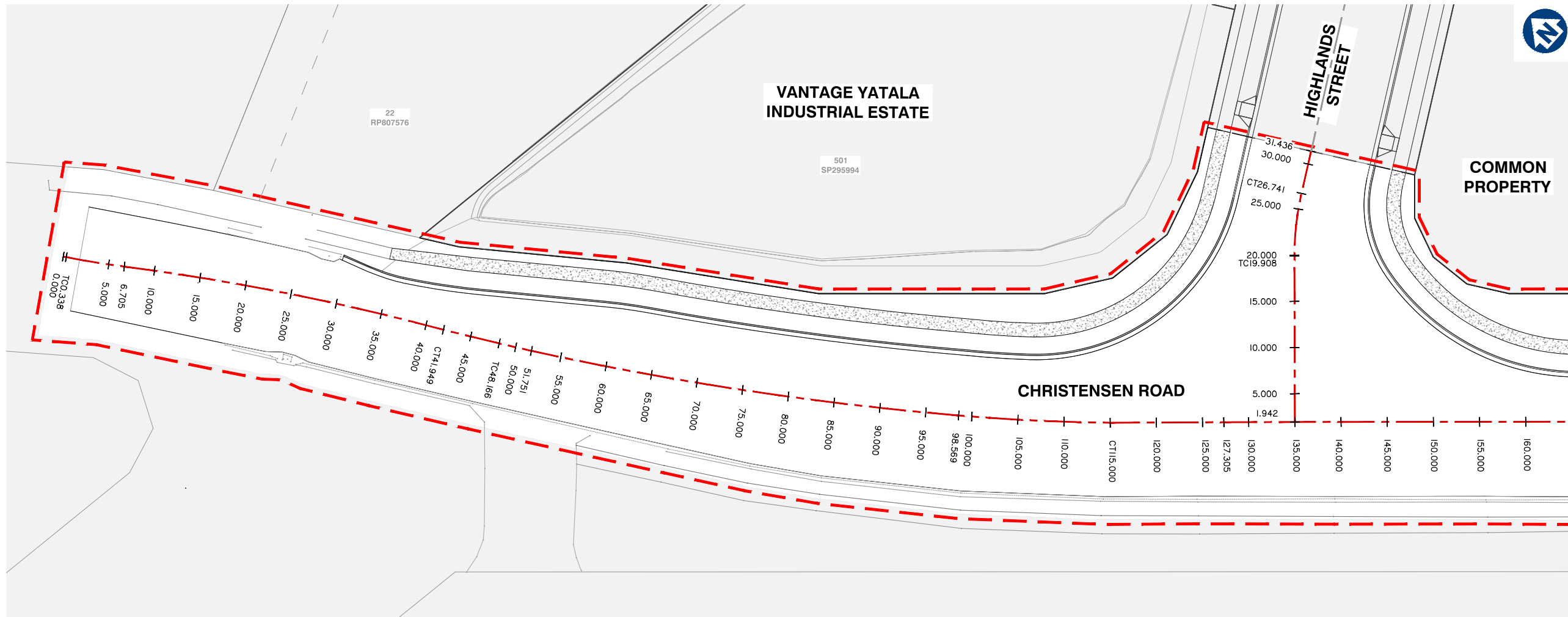
TYPICAL SECTIONS AND
DETAILS SHEET 2 OF 2

A	14-09-2021	ORIGINAL ISSUE	LAB	MG
Issue	Date	Description	DRN	CHK

NOT APPLICABLE

Date:	14-09
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Drawing No:	Rev. No:
5941 ENG EXTINT2 411	A



CONTROL LINE LAYOUT PLAN



planning | environment | landscape | engineering | survey
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Gold Coast & Logan | 176 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
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RPD:

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Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
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Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE

CONTROL LINE
LAYOUT PLAN

Issue	Date	Description	DRN	CHK
C	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

0 10 20 30 40 50
1:500 (FULL SIZE A1)
1:1000 (HALF SIZE A3)

Scale at A1: 1:250

Designed: IG

Drafted: LAB

Approved: MG

RPEQ: 16939

Signed:

Date: 14-09-2021

Drawing No: 5941 ENG EXTINT2 420

Rev. No: C

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: COM/2021/229

Dated: 17 January 2022

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Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
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DRAWING TITLE
CHRISTENSEN ROAD
LONGITUDINAL
SECTION

A	14-09-2021	ORIGINAL ISSUE		LAB	MG
Issue	Date	Description		DRN	CHK

Scale 1:500 - Lengths are in Metres.

HOZ: 

Scale 1:50 - Lengths are in Metres.

VERT: 

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

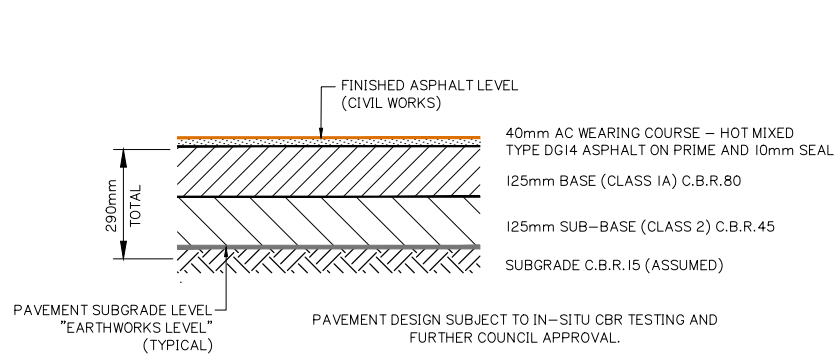
Drawing No:	Rev. No:
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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

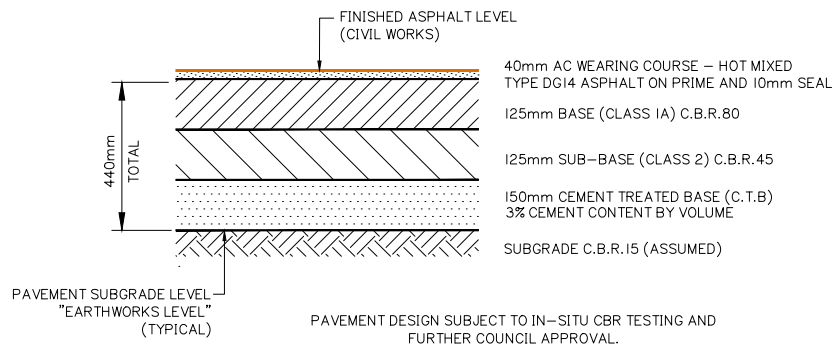
Application No: COM/2021/229

Dated: 17 January 2022

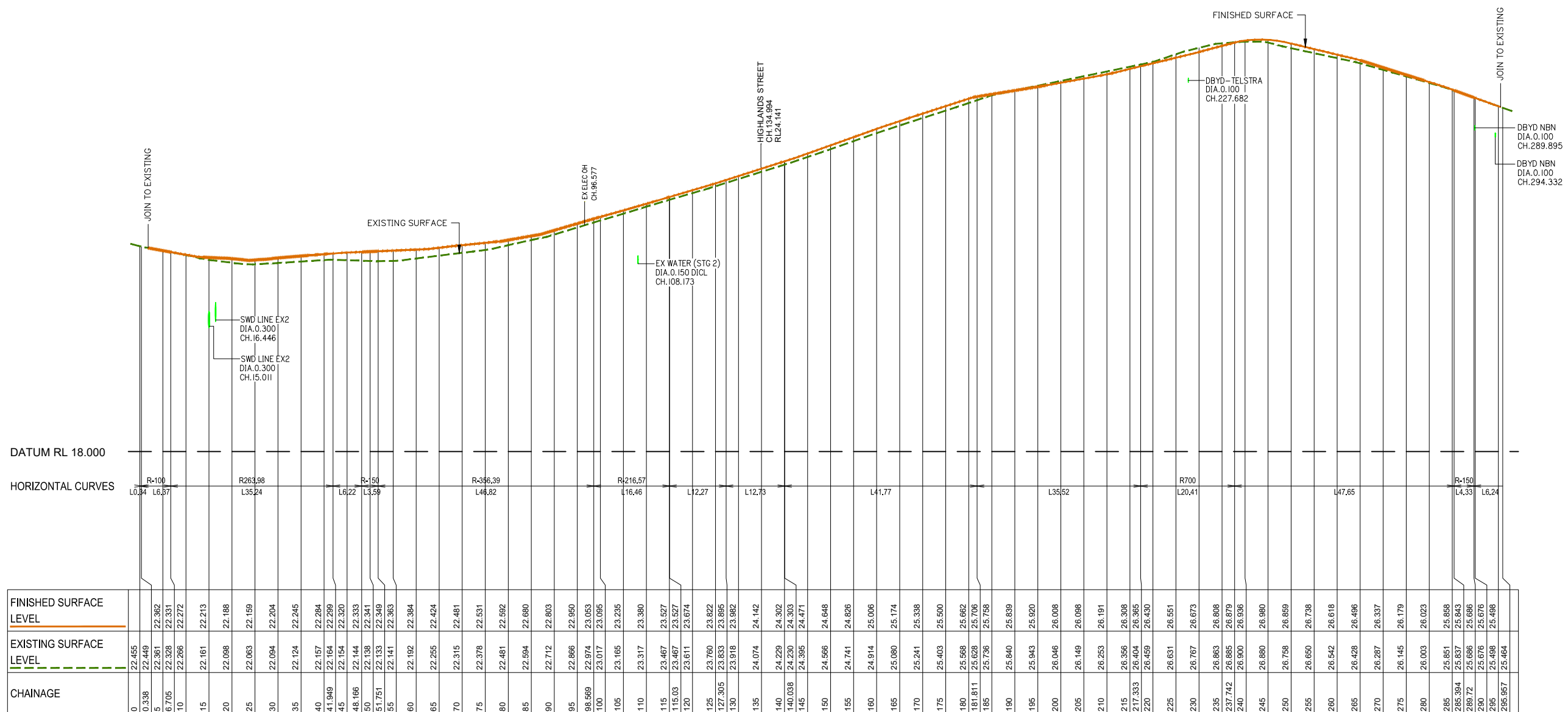
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



NOMINAL ROAD PAVEMENT DETAIL – IN FILL AREAS
INDUSTRIAL COLLECTOR STREET N.T.S



NOMINAL ROAD PAVEMENT DETAIL – IN CUT AREAS
INDUSTRIAL COLLECTOR STREET N.T.S



CHRISTENSEN ROAD LONGITUDINAL SECTION

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



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DRAWING TITLE
HIGHLANDS STREET
LONGITUDINAL
SECTION

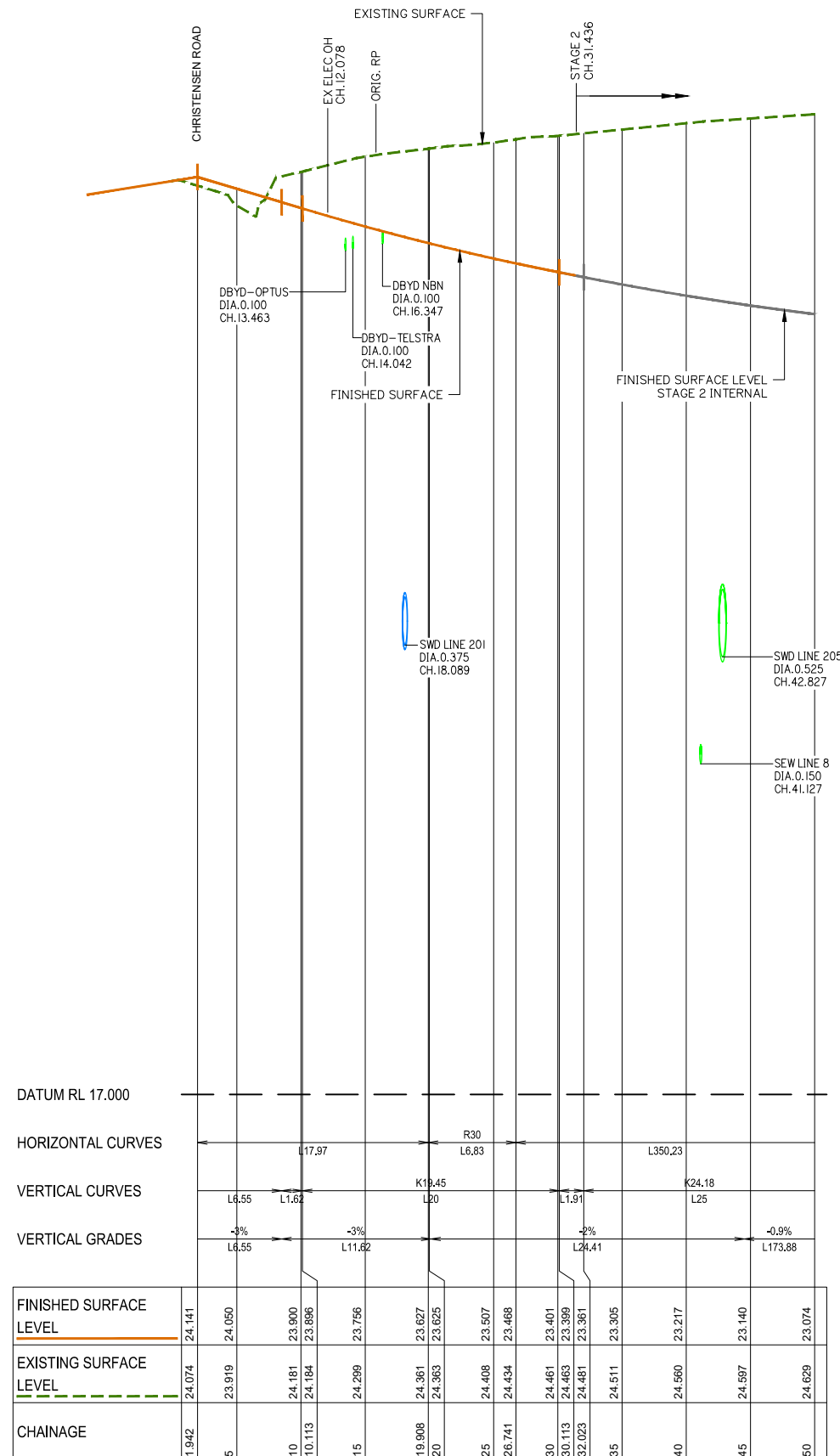
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Issue	Date	Description	DRN	CHK

HOZ: 

VERT: 

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 431	A



HIGHLANDS STREET LONGITUDINAL SECTION

• EXISTING ELECTRICAL / COMMUNICATIONS (DBYD)
 ○ EXISTING STORMWATER DRAINAGE
 ○ PROPOSED STORMWATER DRAINAGE
 - - - EXISTING ROAD PAVEMENT
 - - - PROPOSED PAVEMENT SUBGRADE LEVEL
 - - - ORIGINAL PROPERTY BOUNDARY / PROPERTY BOUNDARY
 - EX. LOK — PG — LOK
 - - - EXISTING LIP OF KERB / NEW LIP OF BI-BARRIER KERB

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Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

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Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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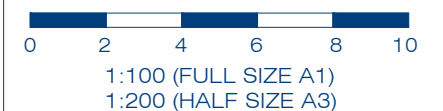
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DRAWING TITLE

CHRISTENSEN ROAD CROSS
SECTIONS SHEET 1 OF 13

A	14-09-2021	ORIGINAL ISSUE	LAB	M/G
Issue	Date	Description	DRN	CHK



Scale at A1:	1:100
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Designed:	IG
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Drafted:	LAB
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Approved:	MG
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RPEQ:	16939
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Signed:	
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Date:	14-09-2021
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Drawing No:	Rev. No:
5941 ENG EXTINT2 450	A

DATUM RL 18.800					
<u>FINISHED SURFACE LEVEL</u>			21.990	22.188	21.936
<u>EXISTING SURFACE LEVEL</u>	22.277		21.990	22.098	21.936
OFFSET	-9.995		-4.995	0.000	66.600
					11.600
					22.275

CH 20.000

DATUM RL 18.600						
FINISHED SURFACE LEVEL			22.087		22.213	22.029
EXISTING SURFACE LEVEL	22.290		22.087		22.161	22.072
OFFSET	-10.203		-5.203		0.000	11.428

CH 15.000

DATUM RL 19.700					
<u>FINISHED SURFACE LEVEL</u>			22.294	22.272	22.153
<u>EXISTING SURFACE LEVEL</u>	22.427		22.294	22.266	22.152
OFFSET	-10.434		-5.434	0.000	6.146
					11.146

CH 10.000

DATUM RL 19.800						
FINISHED SURFACE LEVEL			22.377		22.362	22.280
EXISTING SURFACE LEVEL	22.568		22.377		22.361	22.300
OFFSET	-10.708		-5.708		0.000	5.781

CH 5.000

DATUM RL 19.400		
FINISHED SURFACE LEVEL		
EXISTING SURFACE LEVEL	22.114	
OFFSET	-15.921	
	-10.921	22.237
	-9.790	22.342
	-8.361	22.306
	-6.503	22.273
	-6.503	22.273
	-6.393	22.273
	-6.353	22.123
	-5.903	22.163
	-1.848	22.284
	5.046	22.060
	10.046	22.037

CH 40.000

[illegible]

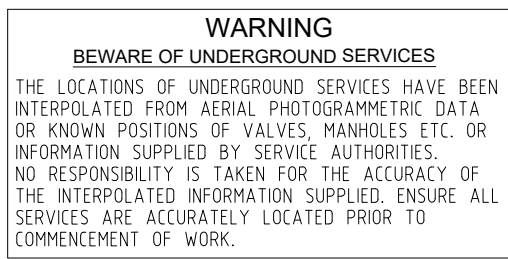
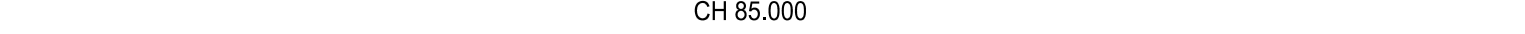
CH 35.000

[illegible]

CH 30.000

DATUM RL 18.800					
<u>FINISHED SURFACE LEVEL</u>			21.974	22.159	21.944
<u>EXISTING SURFACE LEVEL</u>	-9.812	22.278	21.974	22.063	21.944
OFFSET			-4.812	0.000	6.391
					11.391

CH 25.000

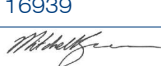


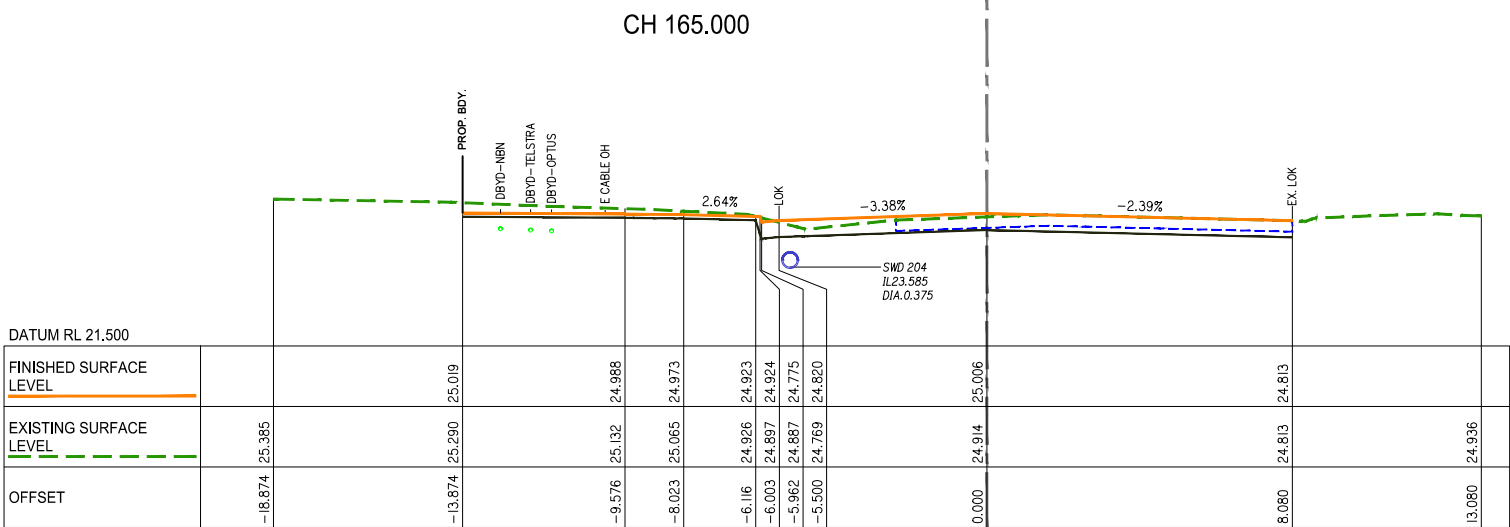
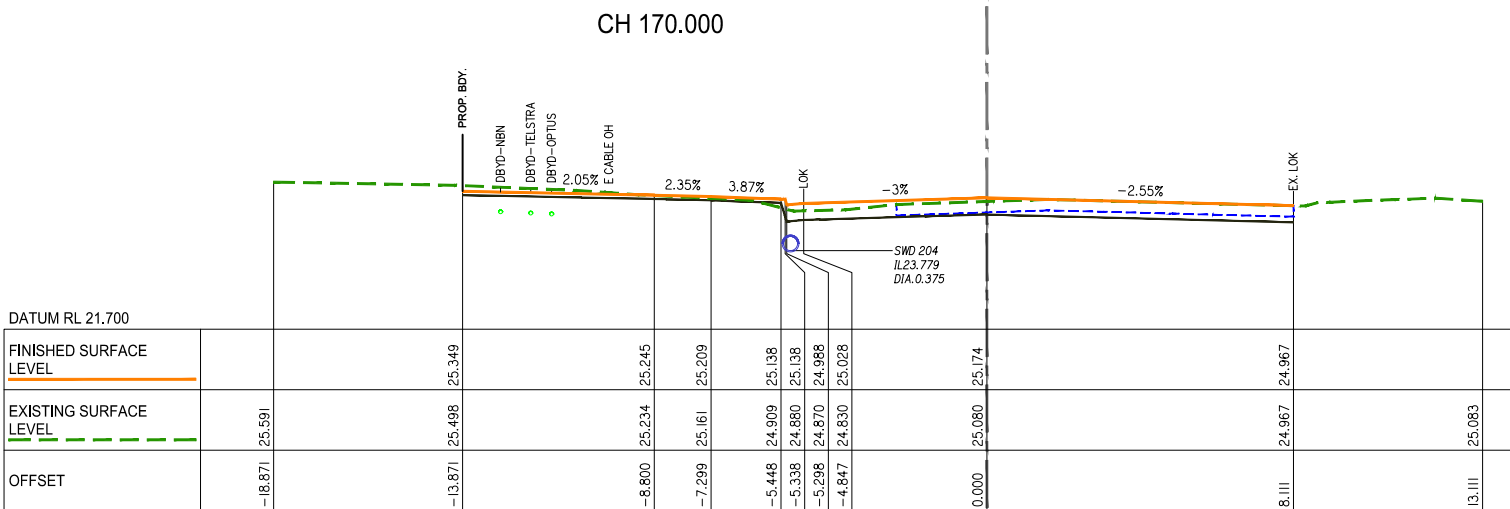
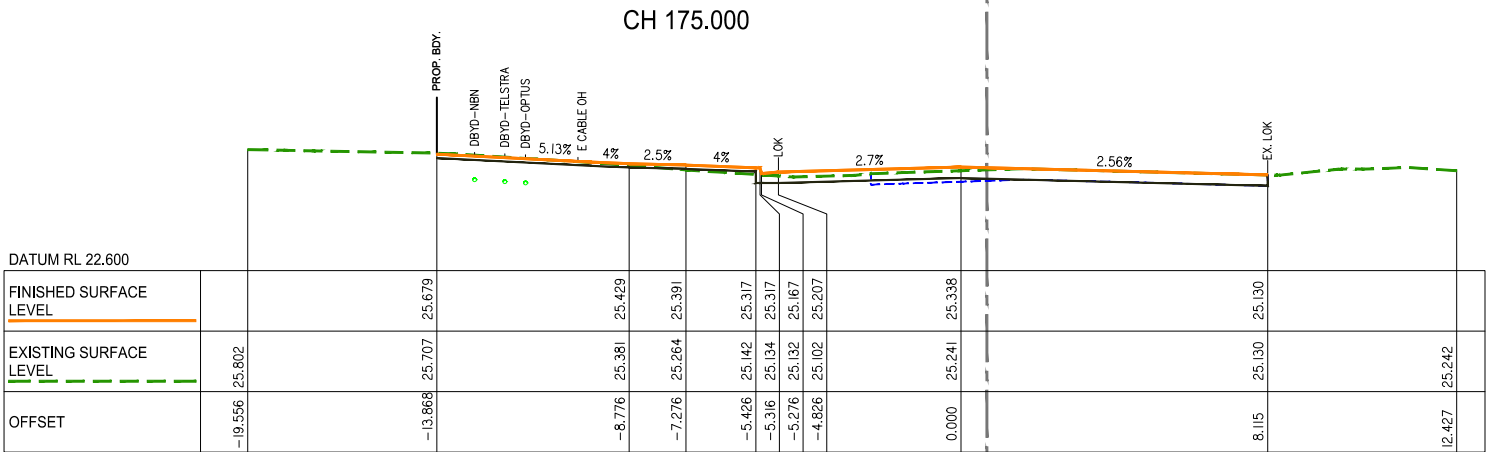
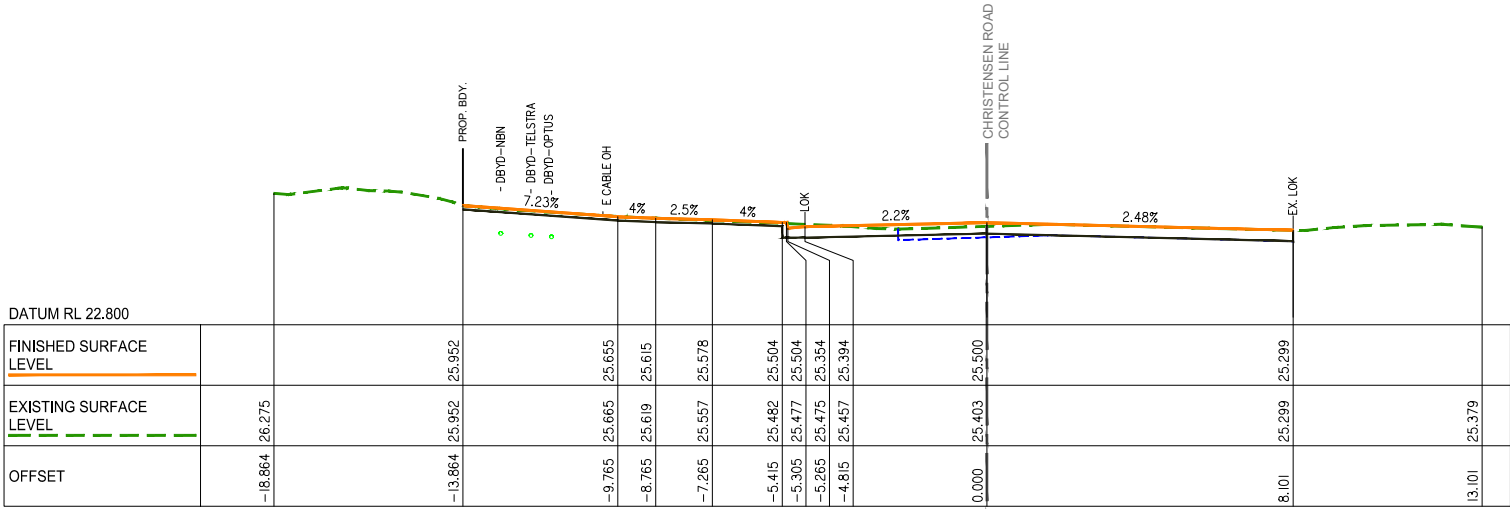
**PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL**

Application No: COM/2021/229

Dated: 17 January 2022

**Development shall comply with the
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Client:				
 FRASERS PROPERTY FRASERS PROPERTY (AUSTRALIA) PTY. LTD.				
Project: VANTAGE YATALA STAGE 2 EXTERNAL INTERSECTION				
Site Address: 60 STAPYLTON JACOBS WELL ROAD, STAPYLTON QLD 4207				
THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR				
RPD:				
Lot:		501		
Plan:		SP295994		
Local Authority:		CITY OF GOLD COAST COUNCIL		
Level Datum:		AHD		
Meridian:		-		
Contour Interval:		-		
PSM:		-		
RL:		-		
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DRAWING TITLE				
CHRISTENSEN ROAD CROSS SECTIONS SHEET 4 OF 13				
A	14-09-2021	ORIGINAL ISSUE	LAB	MG
Issue	Date	Description	DRN	CHK
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Scale at A1:		1:100		
Designed:		IG		
Drafted:		LAB		
Approved:		MG		
RPEQ:		16939		
Signed:				
Date:		14-09-2021		
Drawing No:		Rev. No:		
5941 ENG EXTINT2 453		A		



LEGEND

- EXISTING ELECTRICAL / COMMUNICATIONS (DBYD)
- EXISTING STORMWATER DRAINAGE
- PROPOSED STORMWATER DRAINAGE
- EXISTING ROAD PAVEMENT
- PROPOSED PAVEMENT SUBGRADE LEVEL
- ORIGINAL PROPERTY BDY / PROPERTY BDY
- EXISTING LIP OF KERB / NEW LIP OF B1 BARRIER KERB

WARNING
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FRASERS PROPERTY

FRASERS PROPERTY (AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
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Site Address:
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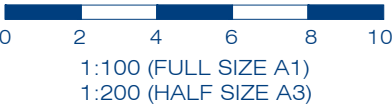
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DRAWING TITLE

CHRISTENSEN ROAD CROSS
SECTIONS SHEET 7 OF 13

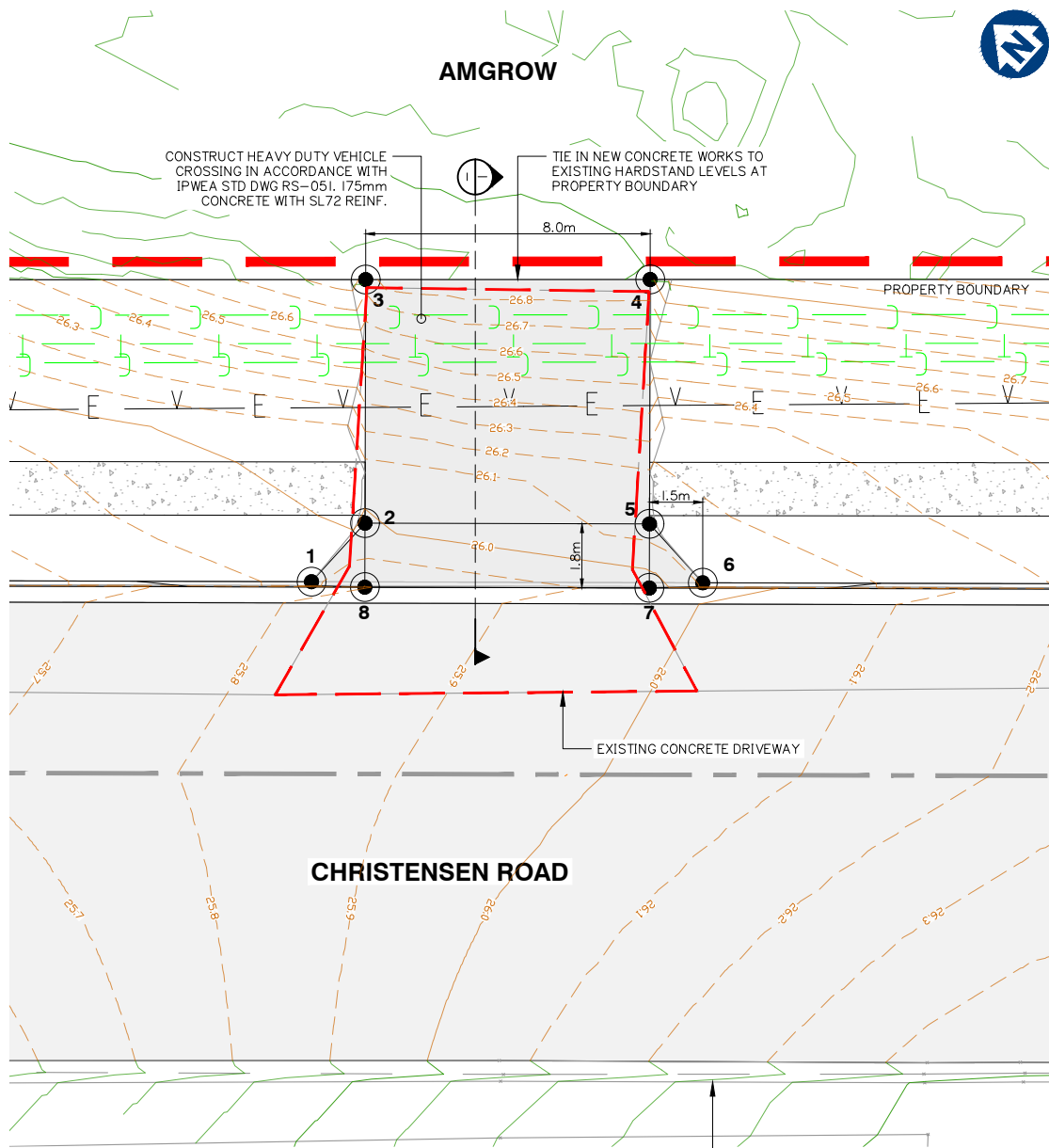
B	22-12-2021	SECTIONS UPDATED	JH	MG	
A	14-09-2021	ORIGINAL ISSUE	LAB	MG	
Issue	Date	Description	DRN	CHK	



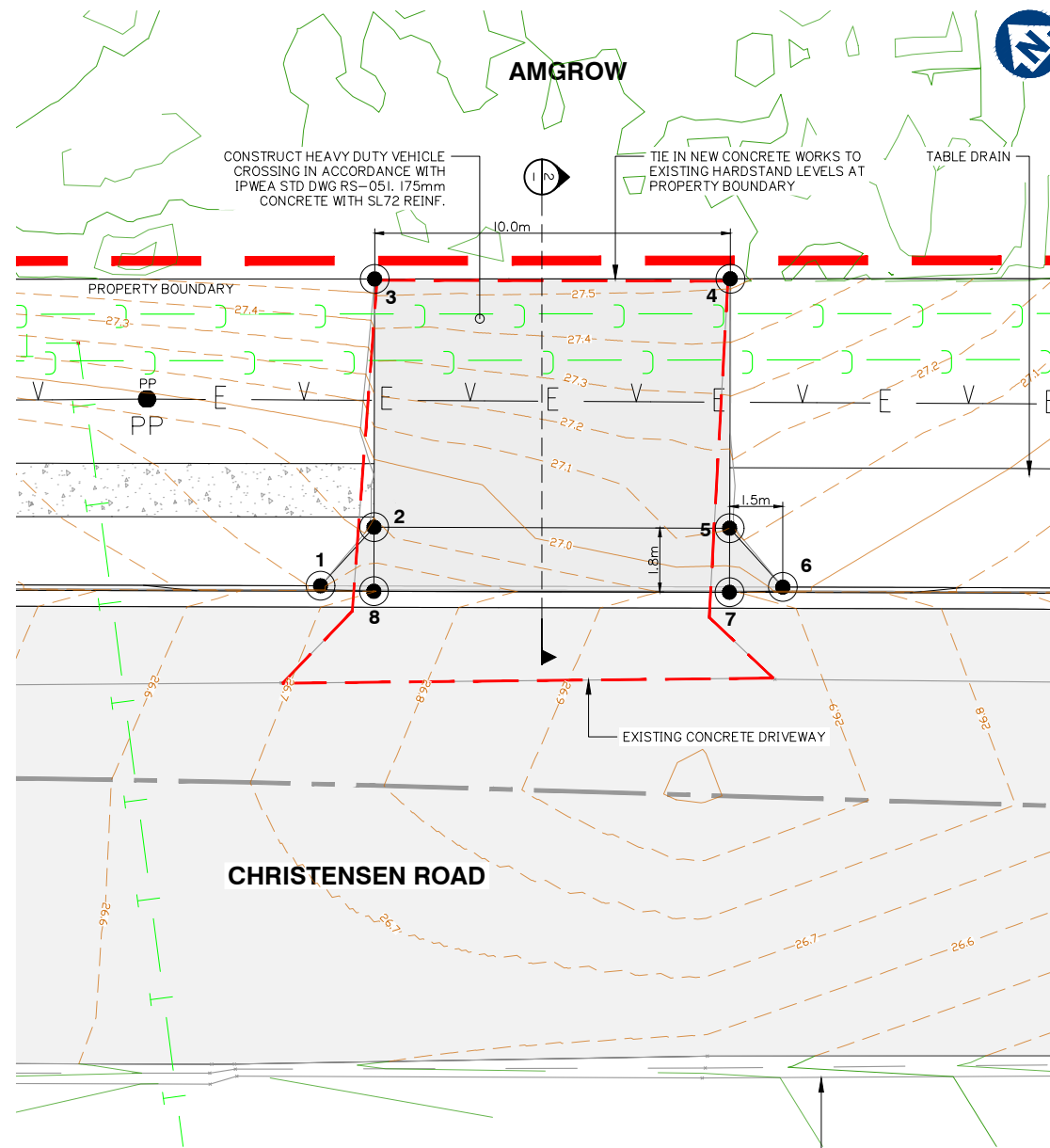
Scale at A1: 1:100

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 456
Rev. No: B



DRIVEWAY 1 – PLAN



DRIVEWAY 2 – PLAN

SETOUT TABLE – DRIVEWAY 1			
POINT I.D.	EASTING	NORTHING	FSL RL (m, AHD)
1	2455.541	6323.069	25.923
2	2457.771	6323.048	25.990
3	2462.880	6327.603	26.749 (ex)
4	2468.223	6321.649	26.874 (ex)
5	2463.095	6317.077	26.132
6	2462.862	6314.859	26.112
7	2461.752	6315.879	25.935
8	2456.428	6321.850	25.797

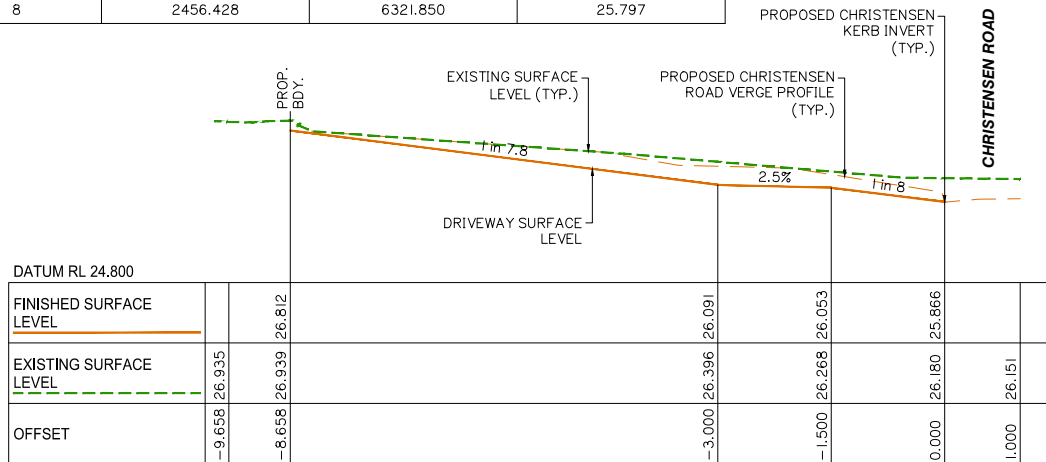
PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2021/229

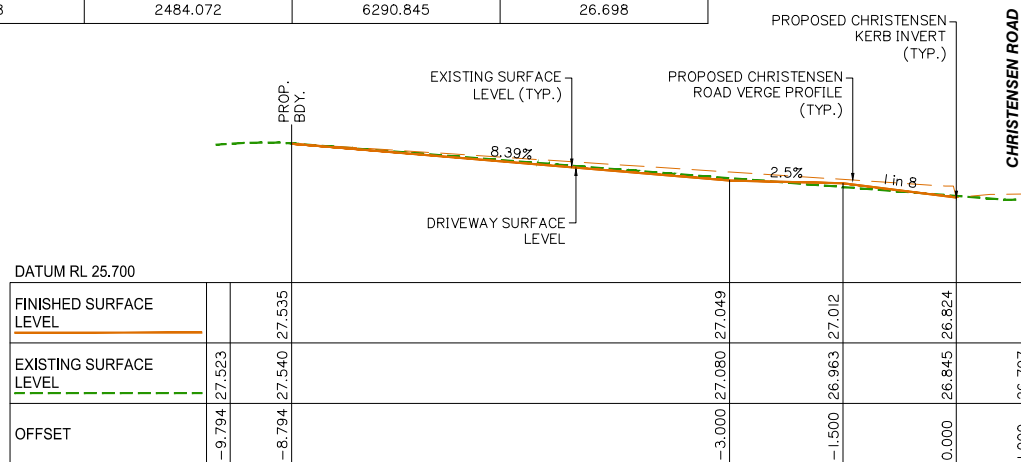
Dated: 17 January 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

SETOUT TABLE – DRIVEWAY 2			
POINT I.D.	EASTING	NORTHING	FSL RL (m, AHD)
1	2483.185	6292.066	26.810
2	2485.416	6292.043	26.893
3	2490.624	6296.687	27.551 (ex)
4	2497.303	6289.245	27.519 (ex)
5	2492.071	6284.580	27.100
6	2491.838	6282.362	27.019
7	2490.727	6283.382	26.906
8	2484.072	6290.845	26.698



DRIVEWAY 1



DRIVEWAY 2

DRIVEWAY SETOUT DETAILS

Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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RPD:

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Plan: SP295994
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DRAWING TITLE

DRIVEWAY SETOUT DETAILS

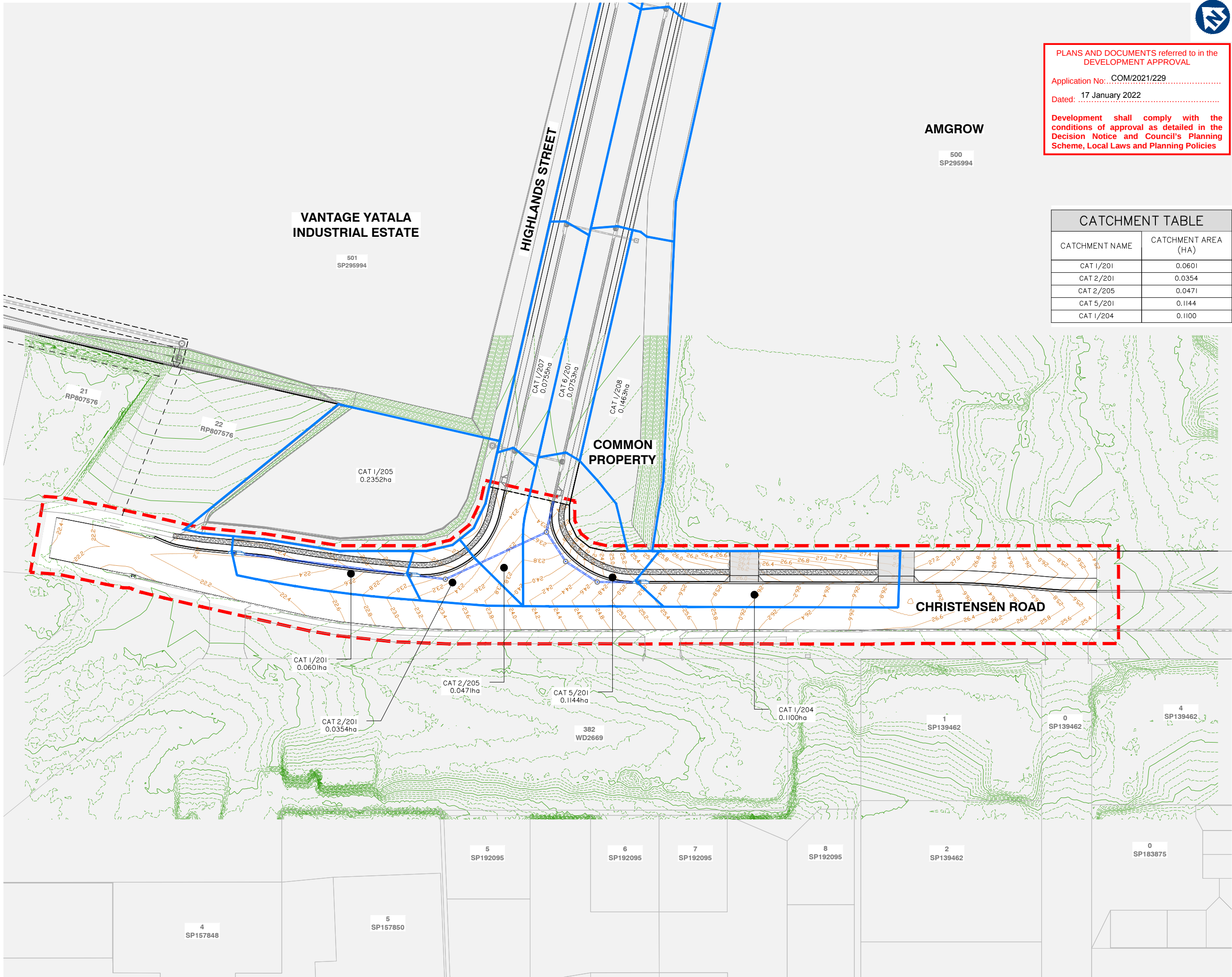
Issue	Date	Description	DRN	CHK
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B	12-11-2021	DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

0 2 4 6 8 10
1:100 (FULL SIZE A1)
1:200 (HALF SIZE A3)

Scale at A1: 1:100

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG OPW1 480
Rev. No: C



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2021/229

Dated: 17 January 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

AMGROW

500
SP295994

VANTAGE YATALA
INDUSTRIAL ESTATE

501
SP295994

COMMON
PROPERTY

CHRISTENSEN ROAD

CATCHMENT TABLE

CATCHMENT NAME	CATCHMENT AREA (HA)
CAT 1/201	0.0601
CAT 2/201	0.0354
CAT 2/205	0.0471
CAT 5/201	0.1144
CAT 1/204	0.1100



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Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

STORMWATER DRAINAGE
CATCHMENT PLAN

Issue	Date	Description	DRN	CHK
C	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

0 10 20 30 40 50
1:500 (FULL SIZE A1)
1:1000 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG OPW1 500 Rev. No: C

STORMWATER DRAINAGE CATCHMENT PLAN

STORMWATER DRAINAGE LONGITUDINAL SECTIONS





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DRAWING TITLE

STORMWATER DRAINAGE
CALCULATION TABLES

[illegible]

NOT APPLICABLE

Scale at A1:	NTS
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 550 Rev. No: A

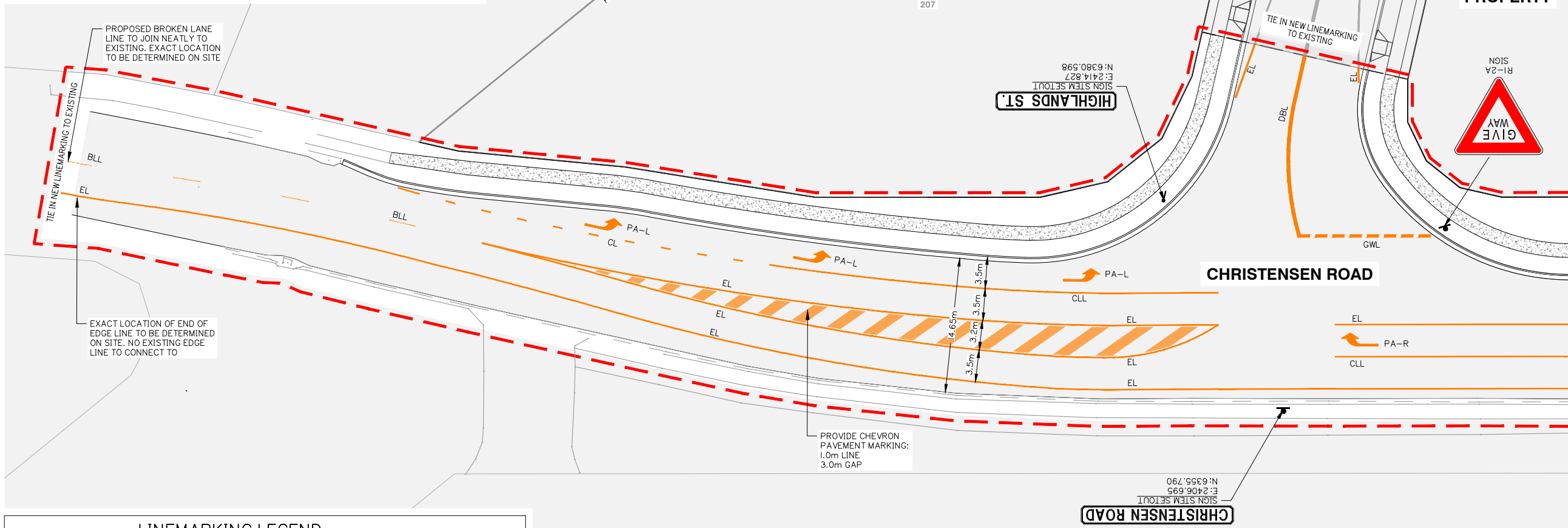
	DRAINARI	STRUCTURE No.	DRAIN SECTION	SUB-CATCHMENTS CONTRIBUTING	LAND USE	% SLOPE OF CATCHMENT	TIME		SUB-CATCHMENT RUNOFF							INLET DESIGN										DRAIN DESIGN										HEADLOSS ES										PART FULL		DESIGN LEVELS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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**PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL**

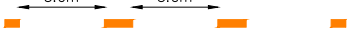
Application No: COM/2021/229
Dated: 17 January 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

1. SIGNS AND LINE MARKING TO BE INSTALLED IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. INSTALL ROAD EDGE GUIDE POSTS AT 10.0m SPACING TO ANY SEALED SHOULDER IN THE ABSENCE OF A KERB OR GUARDRAIL. INSTALLATION TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND DTMR STD DWG 1356-D. LOCATE FLEXIBLE PVC TYPE WITH REFLECTORS ON EDGE OF SEALED SHOULDER.
3. ALL LONGITUDINAL LINES TO BE WATERBORNE PAINT UNLESS INDICATED OTHERWISE. LONGITUDINAL LINES ARE TO BE INSTALLED IN ACCORDANCE WITH DTMR SPECIFICATIONS.
4. ALL TRANSVERSE LINES TO BE THERMOPLASTIC PAINT UNLESS INDICATED OTHERWISE. TRANSVERSE LINES ARE TO BE INSTALLED IN ACCORDANCE WITH DTMR SPECIFICATION.
5. PAVEMENT MARKING ARROWS TO BE THERMOPLASTIC IN ACCORDANCE WITH DTMR SPECIFICATION.
6. ALL SIGN MATERIAL TO BE CLASS I.
7. ALL LINEMARKING AND SIGNAGE TO BE IN ACCORDANCE WITH THE T.R.U.M AND MUTCD PART 2.
8. EXISTING LINEMARKING REMOVAL TO BE DONE AS PER MRTS45 REQUIREMENTS.
9. RAISED REFLECTIVE PAVEMENT MARKERS TO BE INSTALLED AS PER MUTCD PART 2 – SECTION 5.6 REQUIREMENTS.
10. PAINT THE KERB OF SPLITTER ISLANDS WITH WHITE REFLECTIVE PAINT WHERE ISLANDS ARE LESS THAN 1.8m WIDE.
11. PAINT FULL 100mm WIDE WHITE LINES AROUND MEDIAN ISLANDS
12. PAVEMENT TIE-IN TO SMOOTH TRANSITION TO EXISTING PAVEMENT AND / OR ADJACENT PAVEMENT TYPE, ON TRANSVERSE LEVEL DIFFERENCES, CONTRACTOR TO FEATHER ASPHALT TO EXISTING SURFACE.
13. ALL PROFILING SHALL NOT BE EXPOSED TO TRAFFIC FOR LONGER THAN 48 HOURS UNLESS DIRECTED BY THE SUPERINTENDENT.
14. TEMPORARY RAMPS SHALL BE CONSTRUCTED BEYOND THE LIMIT OF WORKS TO FACILITATE WORKS AND BE REMOVED (BY MILLING) AND THE PAVEMENT EXTENDED TO THE LIMIT OF WORKS AT COMPLETION.
15. HEIGHTS OF SIGNAGE TO BE PLACED A MINIMUM OF 2.50m TO BOTTOM OF SIGN ABOVE THE FOOTWAY LEVEL IN ACCORDANCE WITH MUTCD SECTION 1.12.3.5. SIGNAGE AT PEDESTRIAN CROSSINGS TO MAINTAIN PED/VEHICLE SIGHT LINES IN THE EVENT OF SIGNAL MALFUNCTION.



LINEMARKING LEGEND

		WIDTH (mm)	
		MINIMUM	PREFERRED
ONE DIRECTION		80	80
BOTH DIRECTIONS		80	80
BROKEN LINE LANE		100	100
EDGE LINE		150	150
CONTINUOUS LINE		100	100
CONTINUITY LINE		200	200
TURN LINE		100	100
STOP LINE		300	300
GIVE WAY LINE		300	300
CROSSWALK LINE		200	200
SPECIAL PURPOSE BROKEN LINE		200	80

<u>PAVEMENT MARKING ABBREVIATIONS</u>	
BARRIER LINE ONE DIRECTION	(ODBL)
BARRIER LINE BOTH DIRECTIONS	(DBL)
BROKEN LINE LANE	(BLL)
SPECIAL PURPOSE BROKEN LINE	(SBLL)
CONTINUOUS LANE LINE	(CLL)
EDGE LINE	(EL)
CONTINUITY LINE	(CL)
TURN LINE	(TL)
STOP LINE	(SL)
GIVE WAY LINE	(GWL)
EXCLUSIVE LEFT TURN ARROW	(PA-L)
EXCLUSIVE RIGHT TURN ARROW	(PA-R)
COMBINED STRAIGHT AHEAD AND LEFT TURN ARROW	(PA-SAL)
COMBINED STRAIGHT AHEAD AND RIGHT TURN ARROW	(PA-SAR)
BICYCLE LANE SYMBOL FOR ON-ROAD USE	(PS-2)
MERGE RIGHT ARROW	(PA-MR)
PEDESTRIAN CROSSWALK LINE	(PCW)

**PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL**

Application No.: COM/2021/229

Dated: 17 January 2022

**Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies**



Client:



Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address: 60 STAPYLTON ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL

Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE

LINEMARKING AND SIGNAGE

PLAN SHEET 1 OF 2

B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED		JH
A	14-09-2021	ORIGINAL ISSUE		LAB
Issue	Date	Description		DRN
				CH



1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
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Drafted:	LAB
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Approved:	MG
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RPEQ:	16939
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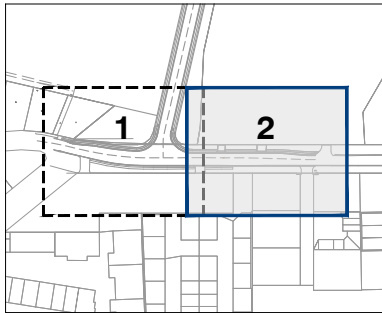
Signed: 

Date: 14-09

Drawing No:	Rev. No:
5941 ENG EXTINT2 800	B

NOTES:

1. SIGNS AND LINE MARKING TO BE INSTALLED IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
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KEY PLAN

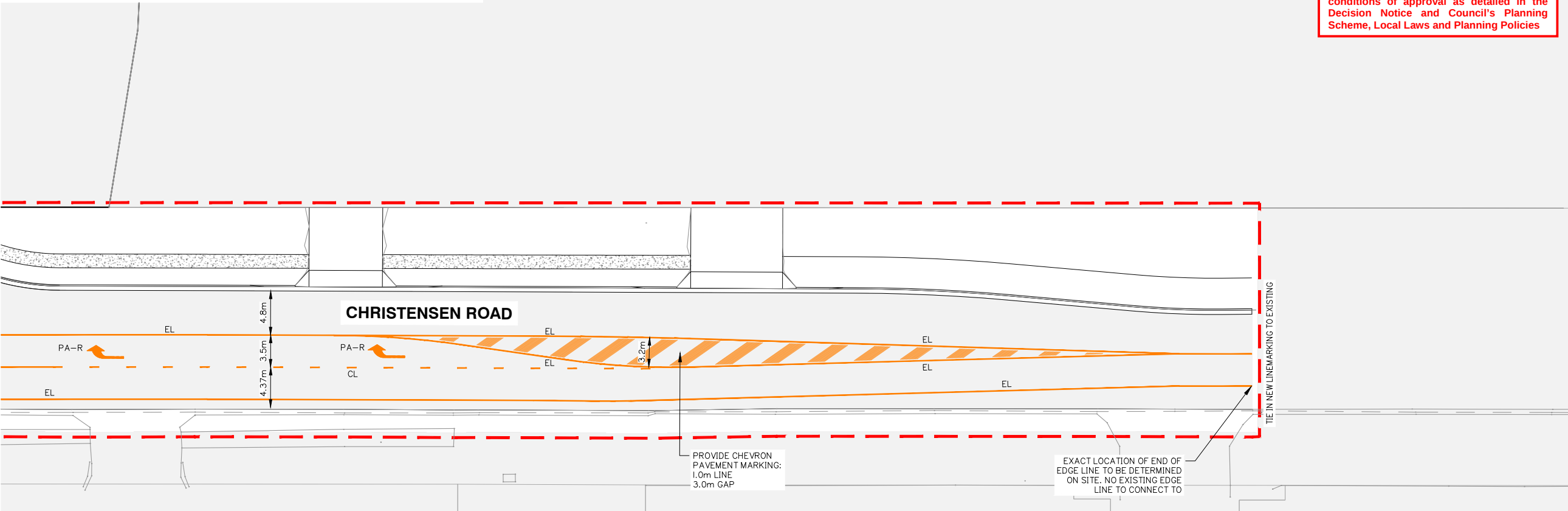
SCALE 1:4000

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2021/229

Dated: 17 January 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



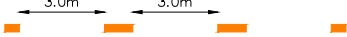
PAVEMENT MARKING ABBREVIATIONS

BARRIER LINE ONE DIRECTION	(ODBL)
BARRIER LINE BOTH DIRECTIONS	(DBL)
BROKEN LINE LANE	(BLL)
SPECIAL PURPOSE BROKEN LINE	(SBL)
CONTINUOUS LANE LINE	(CLL)
EDGE LINE	(EL)
CONTINUITY LINE	(CL)
TURN LINE	(TL)
STOP LINE	(SL)
GIVE WAY LINE	(GWL)
EXCLUSIVE LEFT TURN ARROW	(PA-L)
EXCLUSIVE RIGHT TURN ARROW	(PA-R)
COMBINED STRAIGHT AHEAD AND LEFT TURN ARROW	(PA-SAL)
COMBINED STRAIGHT AHEAD AND RIGHT TURN ARROW	(PA-SAR)
BICYCLE LANE SYMBOL FOR ON-ROAD USE	(PS-2)
MERGE RIGHT ARROW	(PA-MR)
PEDESTRIAN CROSSWALK LINE	(PCW)

0
SP192095

1
SP139462

LINEMARKING LEGEND

		WIDTH (mm)	
		MINIMUM	PREFERRED
ONE DIRECTION		80	80
BOTH DIRECTIONS		80	80
BROKEN LINE LANE		100	100
EDGE LINE		150	150
CONTINUOUS LINE		100	100
CONTINUITY LINE		200	200
TURN LINE		100	100
STOP LINE		300	300
GIVE WAY LINE		300	300
CROSSWALK LINE		200	200
SPECIAL PURPOSE BROKEN LINE		200	80

LINEMARKING AND SIGNAGE PLAN SHEET 2 OF 2



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Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD

Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
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PSM: -
RL: -

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DRAWING TITLE

LINEMARKING AND SIGNAGE PLAN SHEET 2 OF 2

G	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG
Instr#0	Date	Description	DRN	CH-K

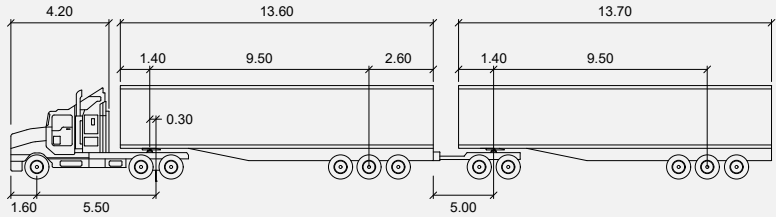
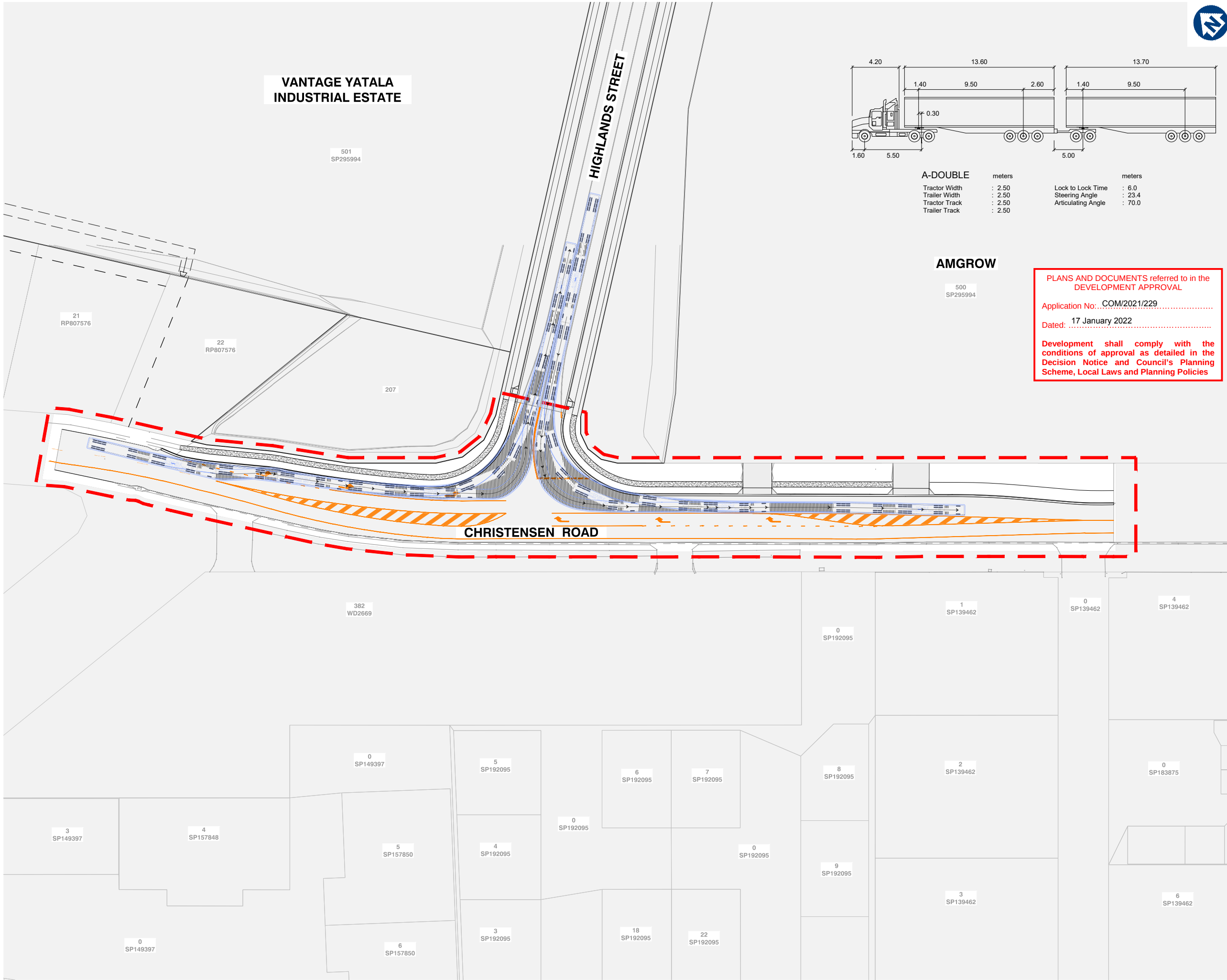


1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No:	Rev. No:
5941 ENG EXTINT2 801	C



A-DOUBLE		Tractor Width	Tractor Track	Trailer Width	Trailer Track	Lock to Lock Time	Steering Angle	Articulating Angle
		2.50	2.50	2.50	2.50	6.0	23.4	70.0

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No.: COM/2021/229

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Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



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Project: VANTAGE YATALA STAGE 2 EXTERNAL INTERSECTION

Site Address: 60 STAPYLTON JACOBS WELL ROAD, STAPYLTON QLD 4207

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RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST COUNCIL
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Meridian: -
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DRAWING TITLE

A-DOUBLE SWEPT PATH ANALYSIS SHEET 1 OF 4

Issue	Date	Description	DRN	CHK
C	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

0 5 10 15 20 25

1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 900 Rev. No: C

VANTAGE YATALA
INDUSTRIAL ESTATE

501
SP295994

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No.: COM/2021/229

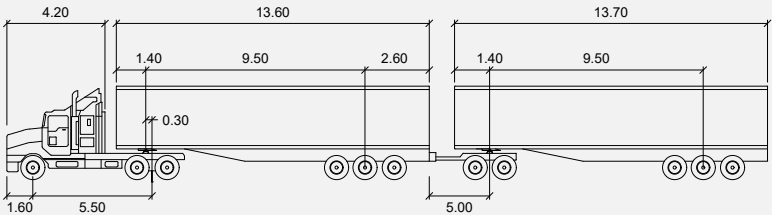
Dated: 17 January 2022

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

AMGROW

500
SP295994

CHRISTENSEN ROAD



A-DOUBLE		Tractor Width	Tractor Track	Trailer Width	Trailer Track	Lock to Lock Time	Steering Angle	Articulating Angle
		4.20	1.60	13.60	5.50	13.70	5.00	
		2.50	2.50	2.50	2.50	6.0	23.4	70.0

A-DOUBLE SWEEP PATH ANALYSIS SHEET 2 OF 4



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Project: VANTAGE YATALA
STAGE 2
EXTERNAL INTERSECTION

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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Plan: SP295994
Local Authority: CITY OF GOLD COAST
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Level Datum: AHD
Meridian: -
Contour Interval: -
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DRAWING TITLE

A-DOUBLE SWEEP PATH
ANALYSIS SHEET 2 OF 4

Issue	Date	Description	DRN	CHK
C	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

0 5 10 15 20 25

1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:500

Designed: IG

Drafted: LAB

Approved: MG

RPEQ: 16939

Signed:

Date: 14-09-2021

Drawing No: 5941 ENG EXTINT2 901
Rev. No: C



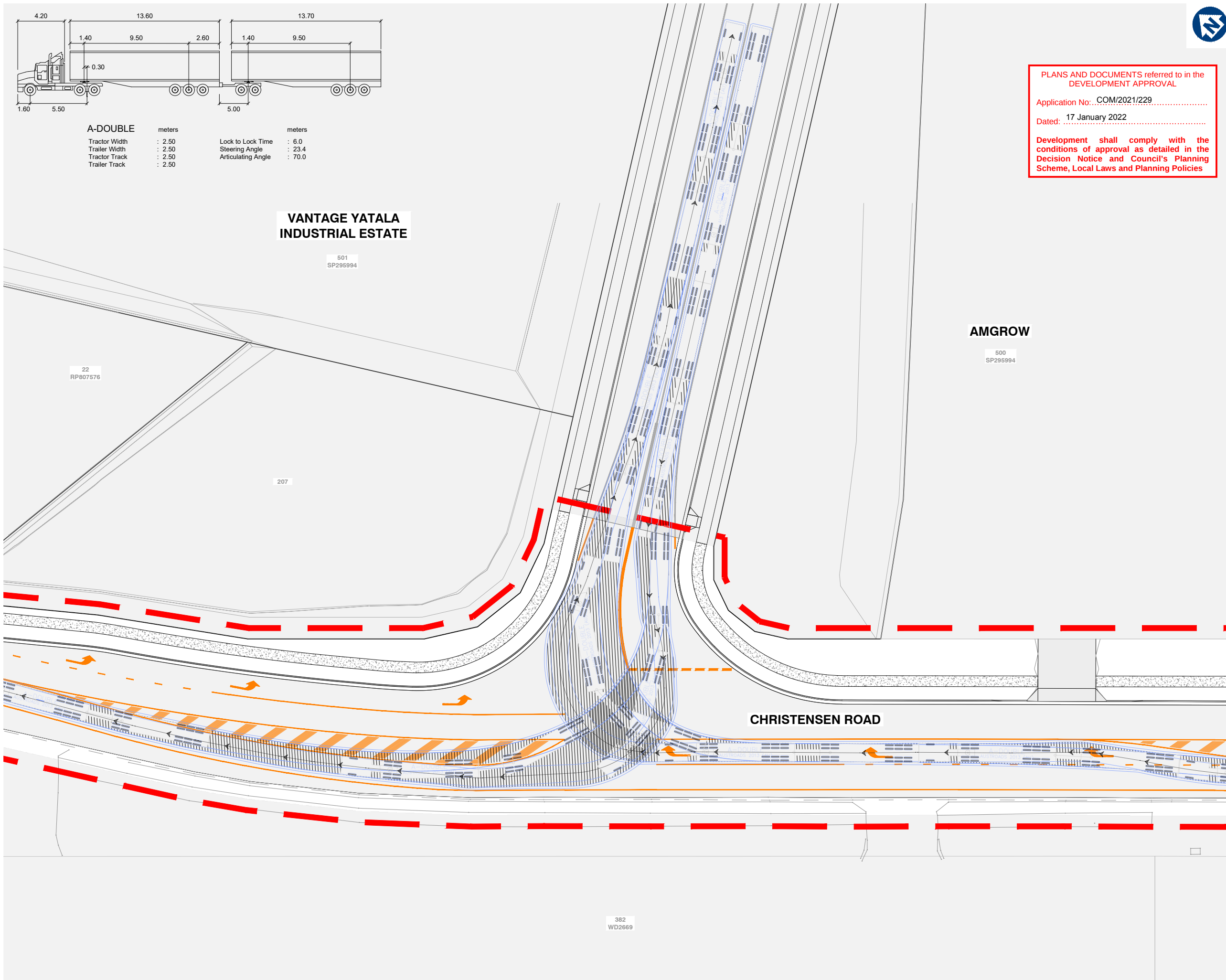
**PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL**

Application No.: COM/2021/229

Dated: 17 January 2022

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Client:

FRASERS
PROPERTY
FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 2
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DRAWING TITLE

A-DOUBLE SWEEP PATH
ANALYSIS SHEET 4 OF 4

Issue	Date	Description	DRN	CHK
C	22-12-2021	FOOTPATH AMENDED	JH	MG
B	12-11-2021	LINEMARKING & DRIVEWAYS UPDATED	JH	MG
A	14-09-2021	ORIGINAL ISSUE	LAB	MG

0 5 10 15 20 25

1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	14-09-2021

Drawing No: 5941 ENG EXTINT2 903
Rev. No: C