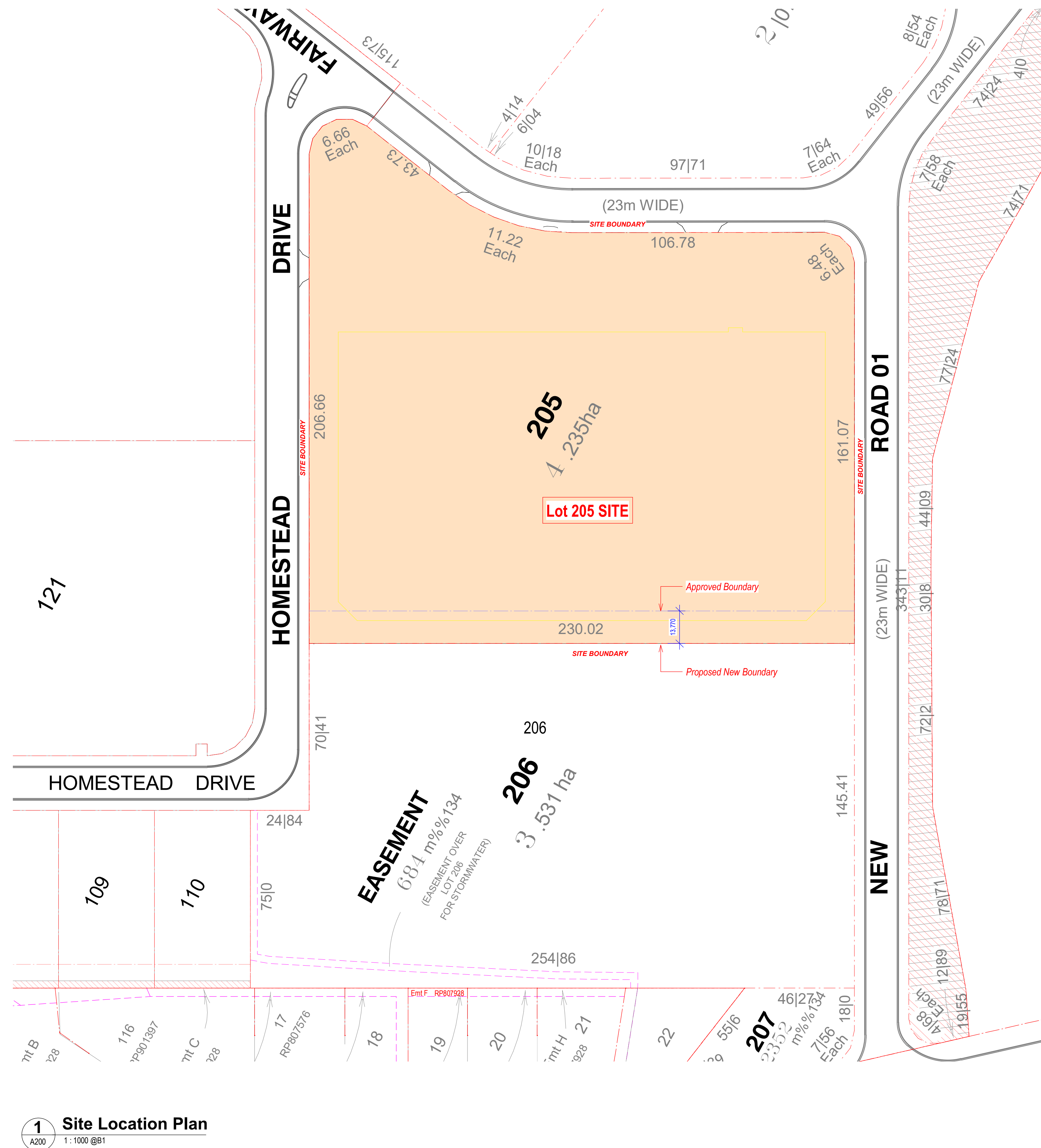


PROPOSED SEPCULATIVE WAREHOUSE FACILITY

VANTAGE YATALA LOT 205, STAPYLTON JACOBS WELL ROAD, STAPYLTON QLD 4207



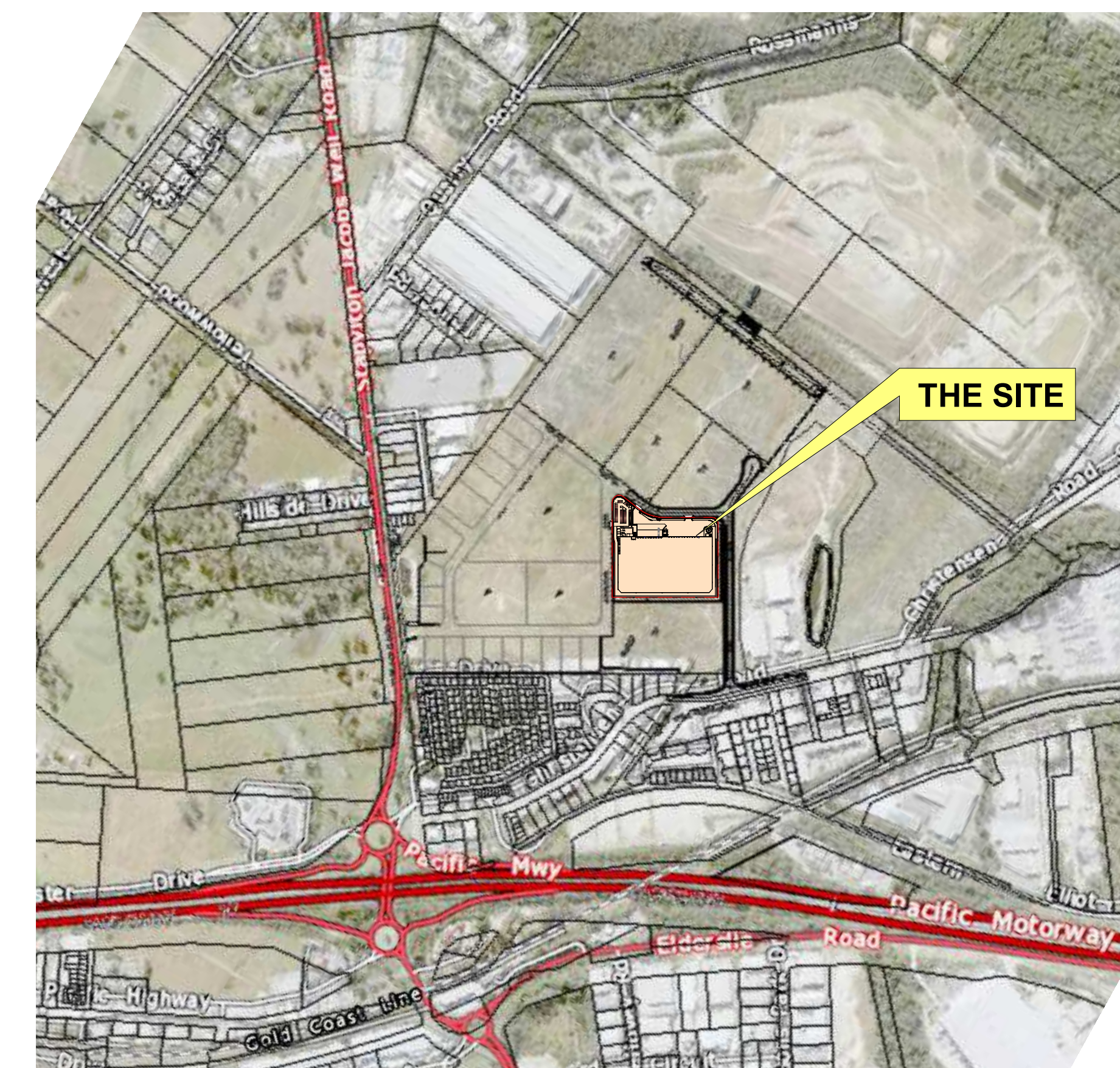
1 Site Location Plan
A200 1:1000 @B1

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2022/157

Dated: 21 June 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



2 Vicinity Map
A200 1:10000 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS AREA TO BE ±1000mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
QUEENSLAND
LEVEL 3, 154 Melbourne Street
South Brisbane, QLD 4101
PO Box 3439
South Brisbane, QLD 4101
Tel: 07 3248 7400
Fax: 07 3248 7456

PROJECT
PROPOSED GOODYEAR WAREHOUSE FACILITY

ADDRESS
VANTAGE YATALA
LOT 205, STAPYLTON JACOBS WELL ROAD
STAPYLTON QLD 4207

PROJECT NUMBER
211011

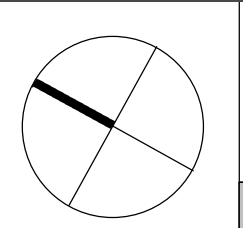
Rev	Description	Date
P1	ISSUE FOR MCU SUBMISSION	16.11.21
P2	ISSUE FOR MCU SUBMISSION	18.11.21
P3	Revision to clients requirements	25.03.22

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General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to H/LA before commencing any work.

H/L Architects Pty Ltd A.C.N. 161 638 320
(Reg No. NSW #17559, QLD #5003, TAS #1101)

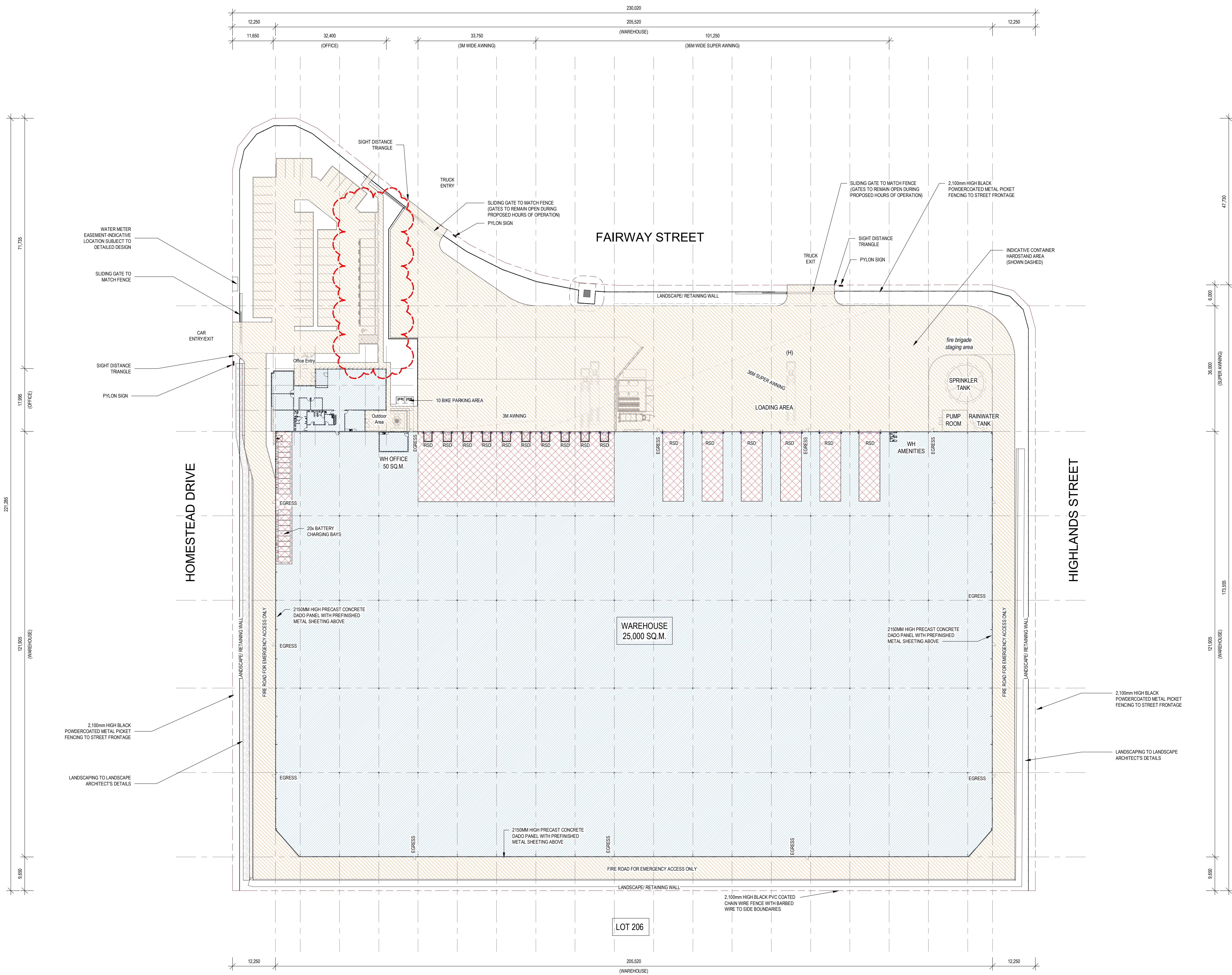
admin@harchitects.com.au
02 9166 9942
www.harchitects.com.au
Level 1, 5 George St, North Strathfield NSW 2137



DRAWING TITLE
Location Plan

DRAWING NUMBER
211011 - DA - A000 -

ISSUE
P3



1 GFA - Impervious Area
A200 1: 500 @B1

LEGEND		
	INDUSTRY Includes:- Warehouse & WH Office - 22,966 sq.m Office - 520 sq.m	23,486 sq.m
	GFA EXCLUSION ZONE (Loading & Battery Charge Area)	2,035 sq.m
	PAVED AREA Includes:- Hardstand, carpark, footpath, fire road	12,055 sq.m
TOTAL IMPERVIOUS AREA Includes:- GFA Exclusion zone - 2,035 sq.m Warehouse & WH Office - 22,966 sq.m Office - 520 sq.m Paved Area - 12,055 sq.m		37,576 sq.m

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/157

Dated: 21 June 2022

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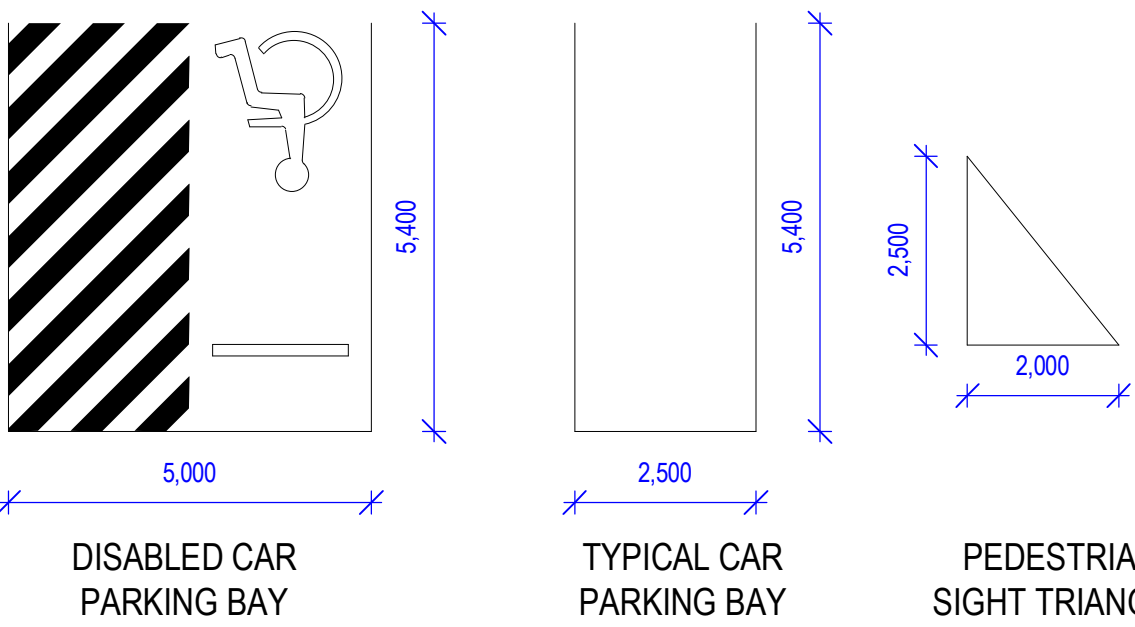
DEVELOPMENT TABLE	
SITE AREA	42,350 sqm
EFFICIENCY	60.2 %
WAREHOUSE	25,000 sqm
(Includes: 50sqm Warehouse Office & WH Amenities)	
OFFICE (1+STOREY)	520 sqm
TOTAL BUILDING AREA	25,520 sqm
CAR PARKING PROVIDED	63 Spaces
SUPERAWNING (36M)	2,867 sqm
AWNING (3M)	170 sqm
HEAVY DUTY PAVEMENT (H)	6,305 sqm
LIGHT DUTY PAVEMENT (L)	1,706 sqm

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/157

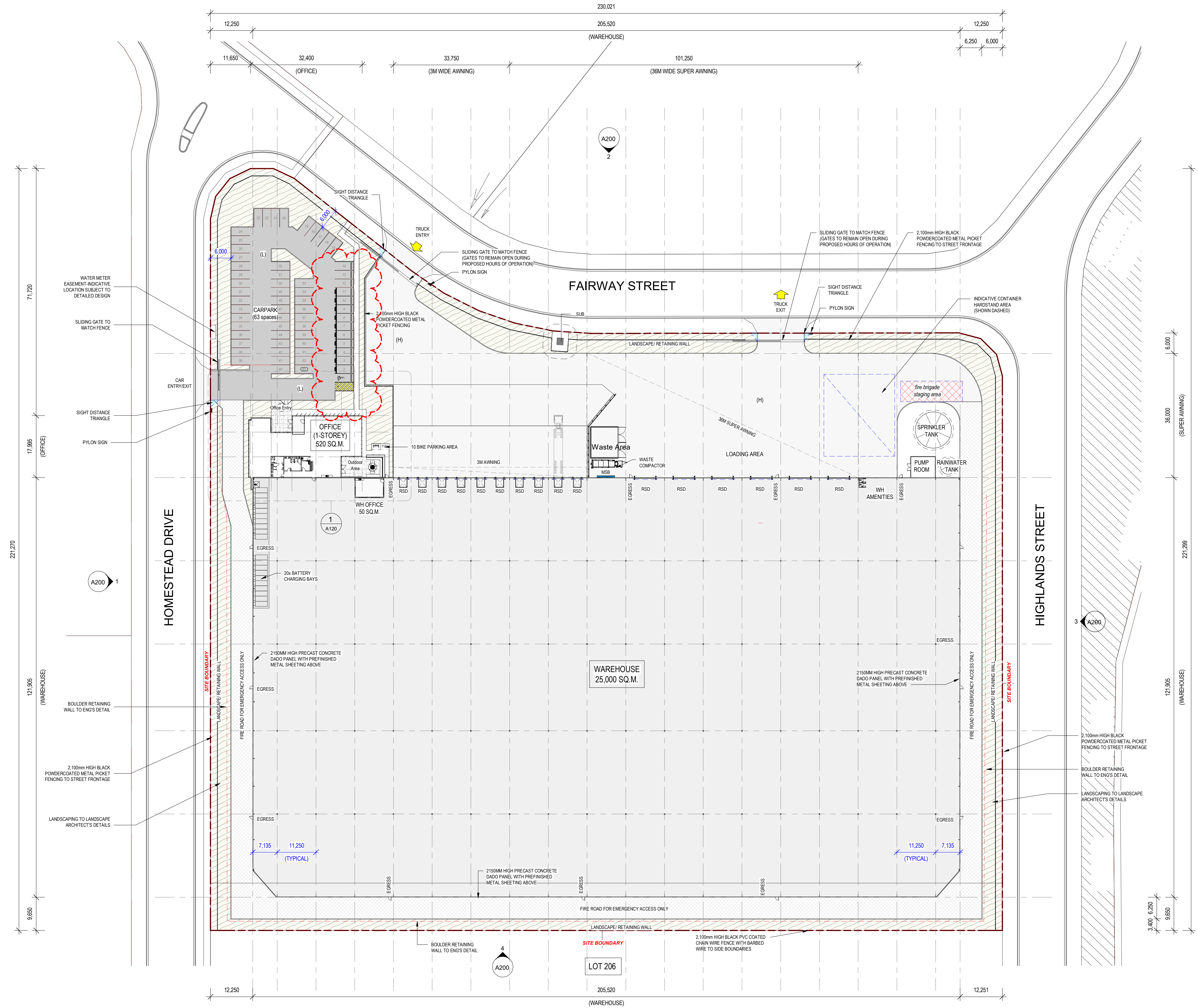
Dated: 21 June 2022

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1 Site & Facilities Floor Plan
A200 1:500 @B1



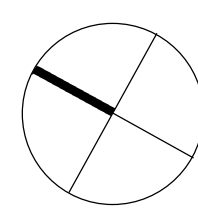
FRASERS PROPERTY GROUP
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PROJECT
PROPOSED GOODYEAR WAREHOUSE FACILITY
ADDRESS
VANTAGE YATALA
LOT 205, STAPYLTON JACOBS WELL ROAD
STAPYLTON QLD 4207
PROJECT NUMBER
211011

Rev	Description	Date
P2	ISSUE FOR DA	05.11.21
P3	ISSUE FOR MCU SUBMISSION	16.11.21
P4	ISSUE FOR MCU SUBMISSION	16.11.21
P5	Revision to clients requirements	25.03.22
P6	Recessed dock number increased. WH Office Relocated. Battery charge bays added.	11.04.22
P7	Wheelstop added.	07.06.22

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detailed drawings, specifications & reports.
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Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #17559, QLD #5000, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
www.hlarchitects.com.au
a Level 1, 5 George St, North Strathfield NSW 2137

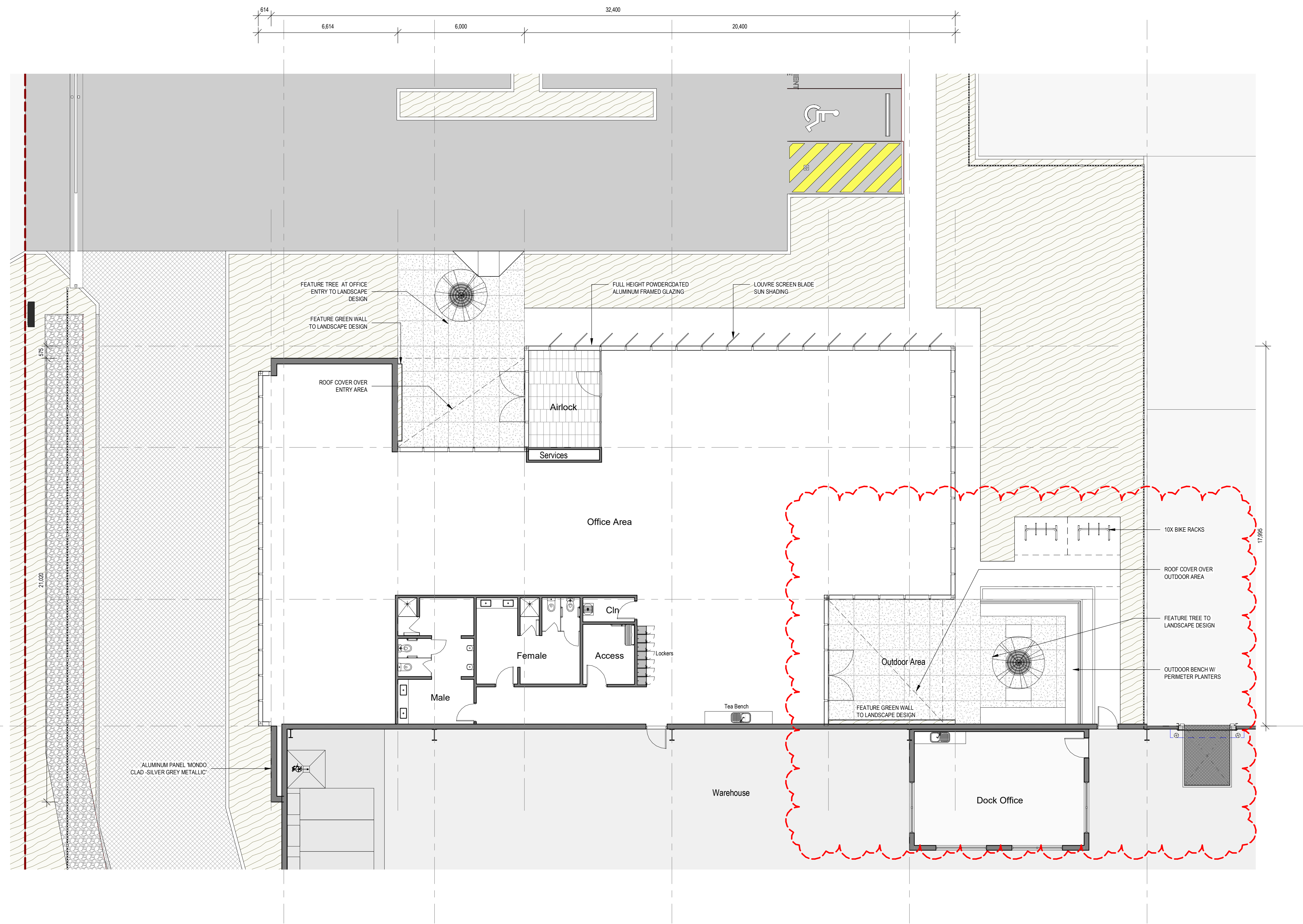


DEVELOPMENT APPLICATION

DRAWING TITLE
Site Plan (Overall)

DRAWING NUMBER
211011 - DA - A001 -

DRAWN
AB
CHK
HL
ISSUE
P7



PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No.: MIN/2022/157

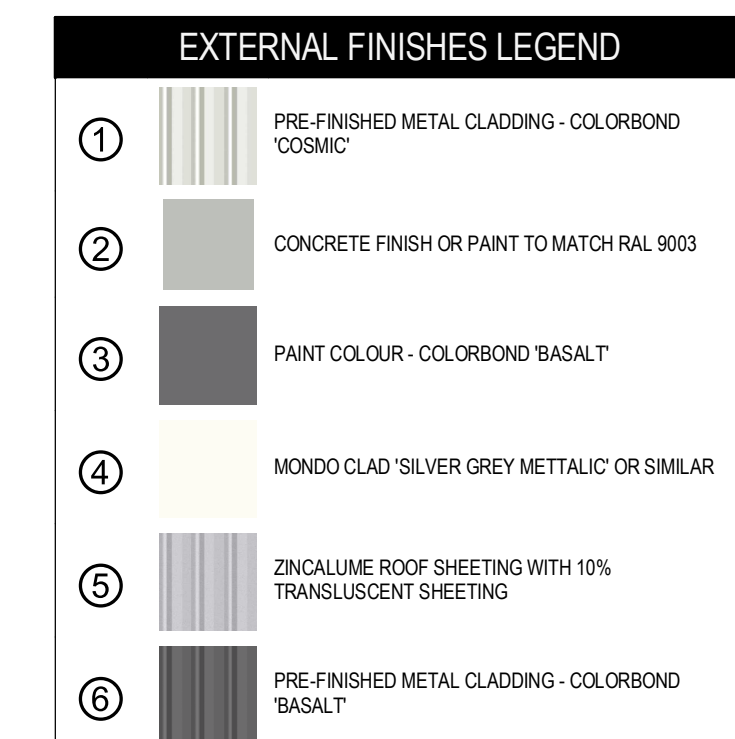
Dated: 21 June 2022

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1 Office Ground Floor
A001 1:100 @B1

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Architectural elevation drawing of a warehouse building. The drawing shows a long, low-profile structure with a gabled roof. Key features and annotations include:

- Dimensions:**
 - Roof spans: 24,180, 24,180, 25,185, 24,180, 24,180, 36,000.
 - Vertical dimensions: 12,200 (total height), 9,500 (eave height), 7,000 (clearance), 2,150 (foundation height).
- Structural Elements:**
 - Roof: Prefinished metal wall cladding, 2.0° pitch.
 - Walls: Warehouse wall mounted sustainability message, Eaves gutter.
 - Foundation: Painted concrete panels, Indicative road level at Highland Street shown dashed in blue (in foreground).
- Annotations:**
 - "I'm designed to achieve 5 star Green Star Rating" (text on the roof).
 - "ADJACENT PROPERTY" and "BOUNDARY" (on the left).
 - "BOUNDARY" (on the right).
 - "FIRE EXIT DOOR" (at the base of the roof).
 - "SUPER AWNING" (on the right side).
- Level Callouts (Right Side):**
 - Ridge Height: RL 29.95
 - U/S of Purlin Height: RL 27.25
 - Top of Dado Panel: RL 19.90
 - Warehouse FFL: RL 17.75

This architectural elevation drawing illustrates the side profile of a building facade. The drawing includes the following elements and annotations:

- Roof:** The roof is shown with a light blue translucent cladding. Annotations include "ZINC ALUME ROOF CLADDING WITH 10% TRANSLUCENT SHEETING" and "PREFINISHED METAL WALL CLADDINGS".
- Walls:** The main wall is dark grey. Annotations include "PAINTED CONCRETE DADO PANELS" and "PAINTED CONCRETE PANELS".
- Ground and Levels:** The ground is shown in grey. Key levels are marked on the left and right:
 - Ridge Height: RL 29.95
 - U/S of Purlin Height: RL 27.25
 - Top of Dado Panel: RL 19.50
 - Warehouse FFL: RL 17.75
- Dimensions:**
 - Overall height from Warehouse FFL to Ridge Height: 12.200
 - Height from Warehouse FFL to Top of Dado Panel: 9.500
 - Height from Warehouse FFL to U/S of Purlin Height: 2.150
- Other Features:**
 - "HOMESTEAD DRIVE" is labeled on the left.
 - "HIGHLAND STREET" is labeled on the right.
 - "BOUNDARY" is indicated by a dashed line on both sides.
 - "FIRE EXIT DOOR" is shown in the center of the ground level.
 - "INDICATIVE PAD LEVEL AT LOT 236 SHOWN DASHED IN BLUE (IN FOREGROUND)" is indicated at the bottom.

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ALL LEVELS AREA TO BE $\pm 1000\text{mm}$

DEVELOPMENT APPLICATION