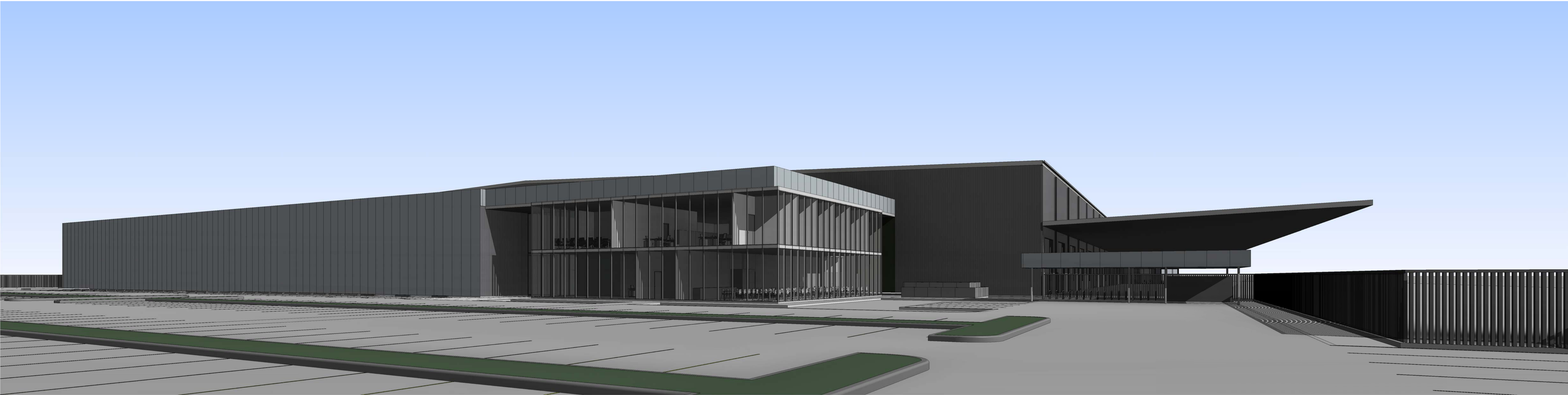


FRASERS PROPERTY

VANTAGE YATALA

Sheet Number	Sheet Name
SD-AA-001	COVER PAGE AND DRAWING LIST
SD-AA-002	LOCATION PLAN
SD-AA-010	SITE PLAN
SD-AA-015	AREA PLAN
SD-AA-100	OFFICE FLOOR PLAN
SD-AA-101	OFFICE ROOF PLAN
SD-AA-102	DISPATCH OFFICE / AMENITIES / GATEHOUSE
SD-AA-200	ELEVATIONS



FOR DEVELOPMENT APPROVAL

PROPOSED SPECULATIVE WAREHOUSE FACILITY

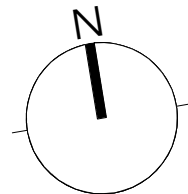
VANTAGE YATALA LOT 201, STAPYLTON JACOBS
WELL ROAD, JACOBS WELL 4208 QLD

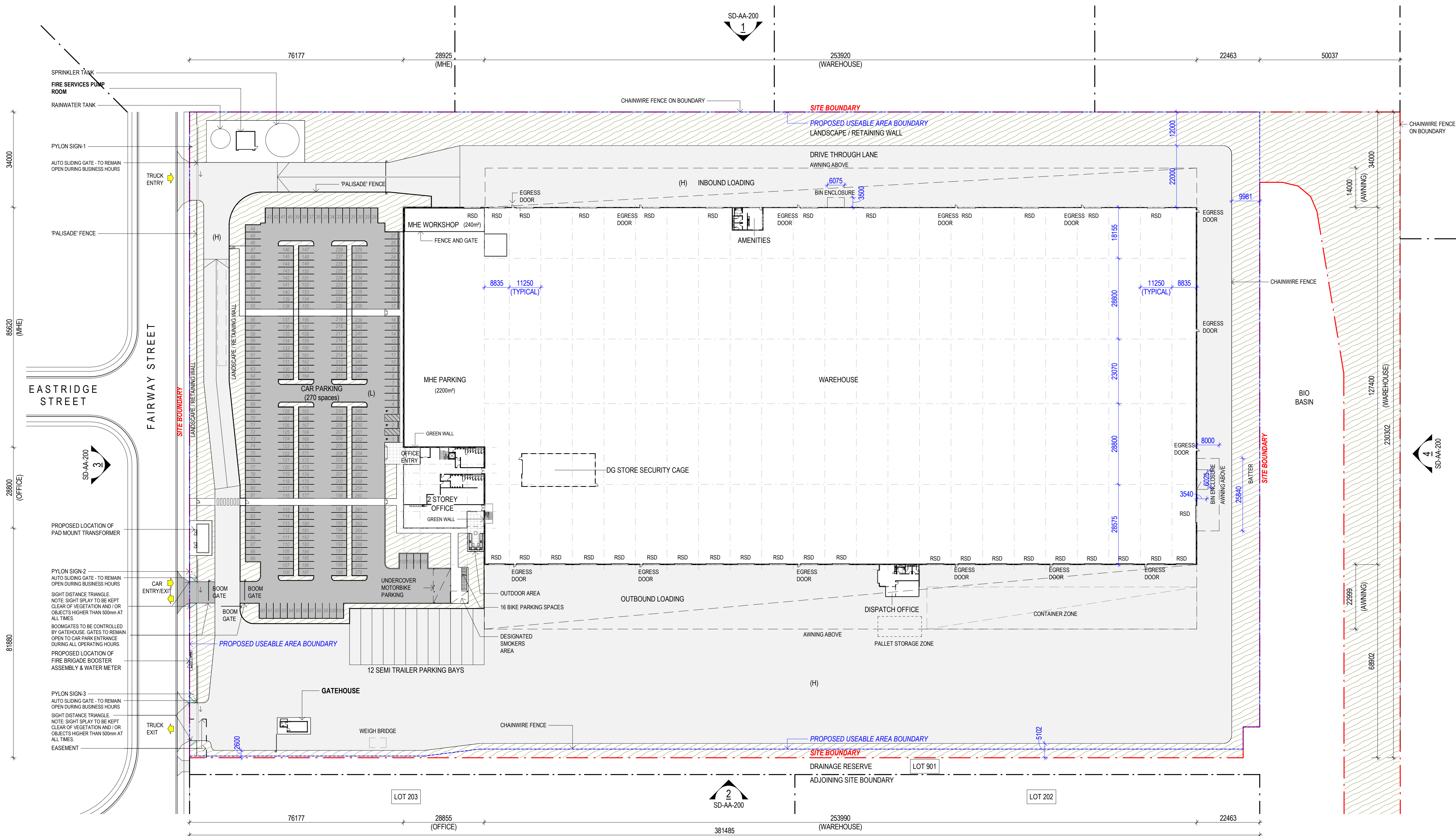


2 CONTEXT PLAN
1:10000

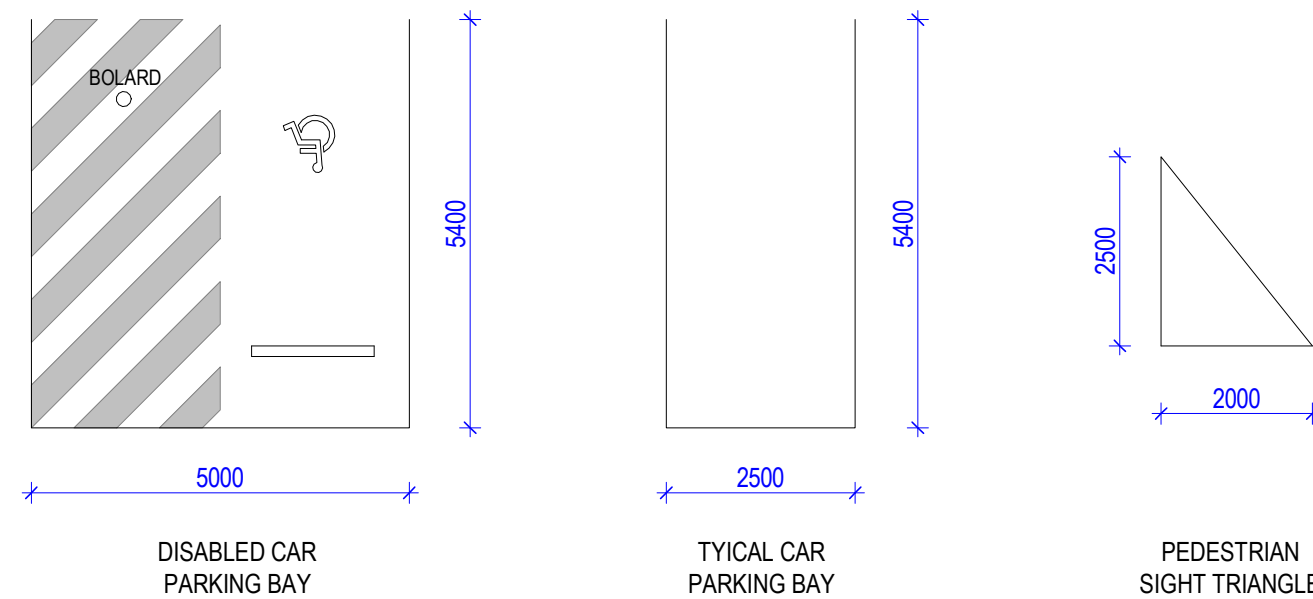


FOR DEVELOPMENT APPROVAL





1 SITE & FACILITIES FLOOR PLAN
1: 750

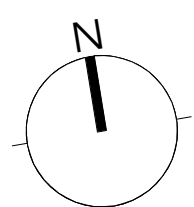


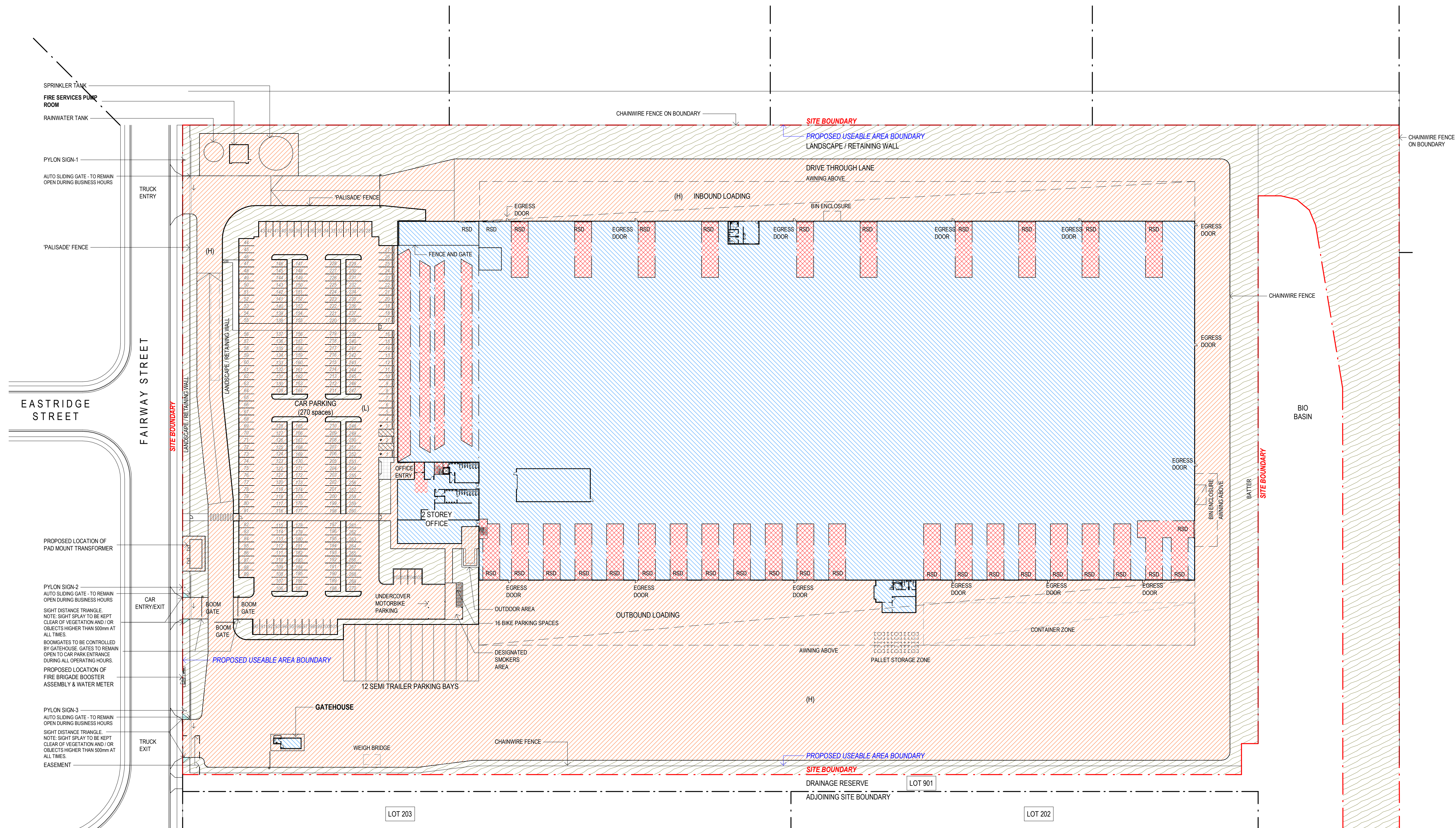
ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE $\pm 1000\text{mm}$

DEVELOPMENT TABLE	
SITE AREA	98,665 m²
- APPROX. USEABLE	86,867 m²
EFFICIENCY	87.9%
WAREHOUSE	32,350 m²
(Including Reclaim Area, Security Cage, Driver & Warehouse Amenities)	
MHE PARKING & MHE WORKSHOP	2,440 m²
GATEHOUSE	34 m²
DISPATCH OFFICE	160 m²
2 STOREY OFFICE	1,510 m²
TOTAL BUILDING AREA	36,494 m²
CAR PARKING PROVIDED	270
BICYCLE PARKING PROVIDED	16
AWNINGS	9,698 m²
HEAVY DUTY PAVEMENT (H)	31,759 m²
LIGHT DUTY PAVEMENT (L)	7,149 m²

FOR DEVELOPMENT APPROVAL



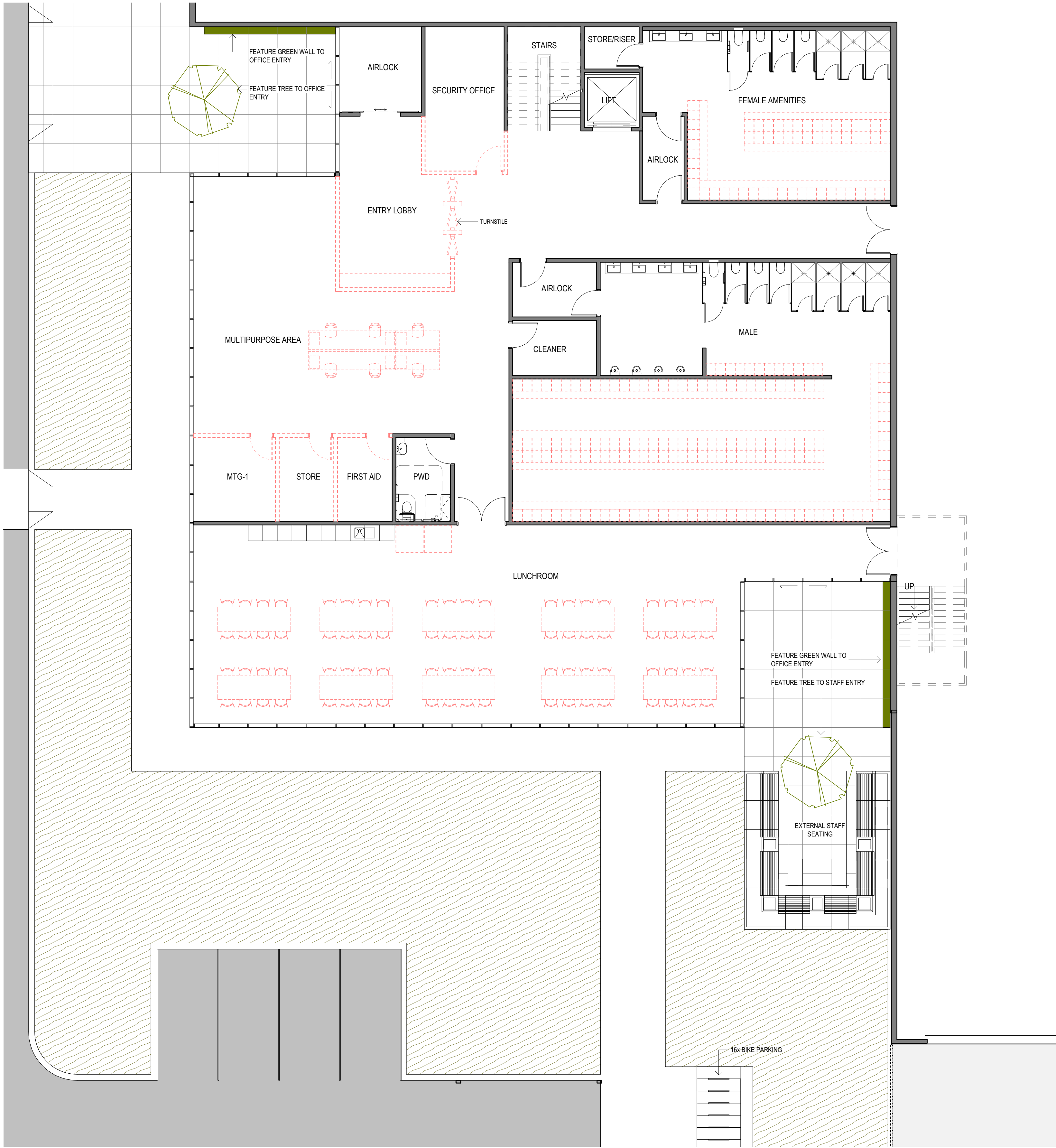


LEGEND		
	INDUSTRY	31,580 m ²
	Includes:	
	Warehouse	- 28,464 m ²
	MHE Parking & Workshop	- 1,396 m ²
	Gatehouse	- 34 m ²
	PAVED AREA	40,145 m ²
	Includes -	
	Hardstand, Carpark, Footpath	
	GFA EXCLUSION ZONE	4,920 m ²
	(loading area)	
TOTAL IMPERVIOUS AREA		75,960 m ²
Includes:		
Industry		
Paved Areas		
GFA Exclusion Zone		

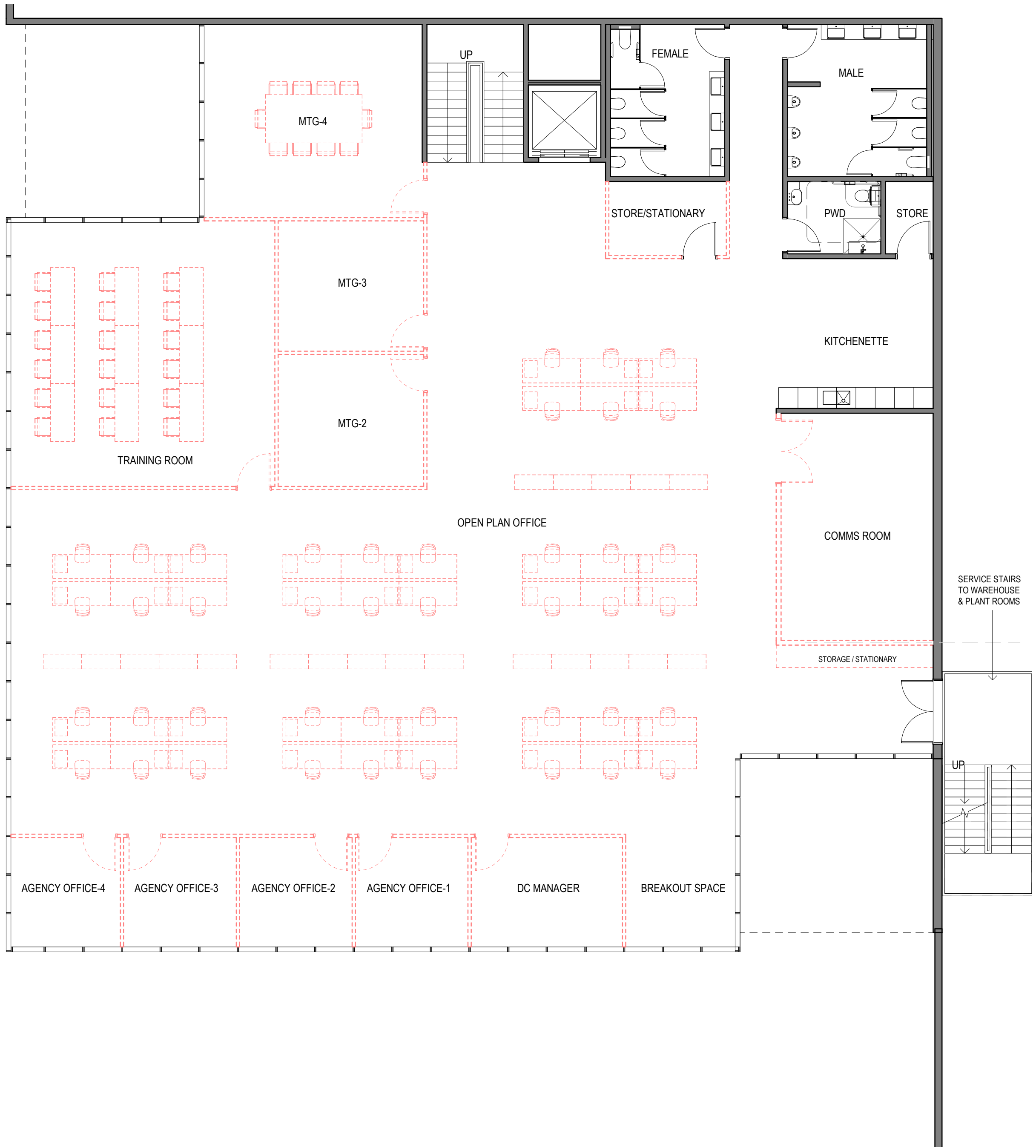
ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE $\pm 1000\text{mm}$

FOR DEVELOPMENT APPROVAL



1 OFFICE - PROPOSED GROUND FLOOR PLAN
1:100



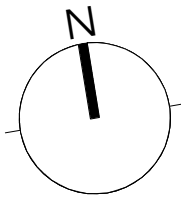
2 OFFICE - PROPOSED LEVEL 1 PLAN
1:100

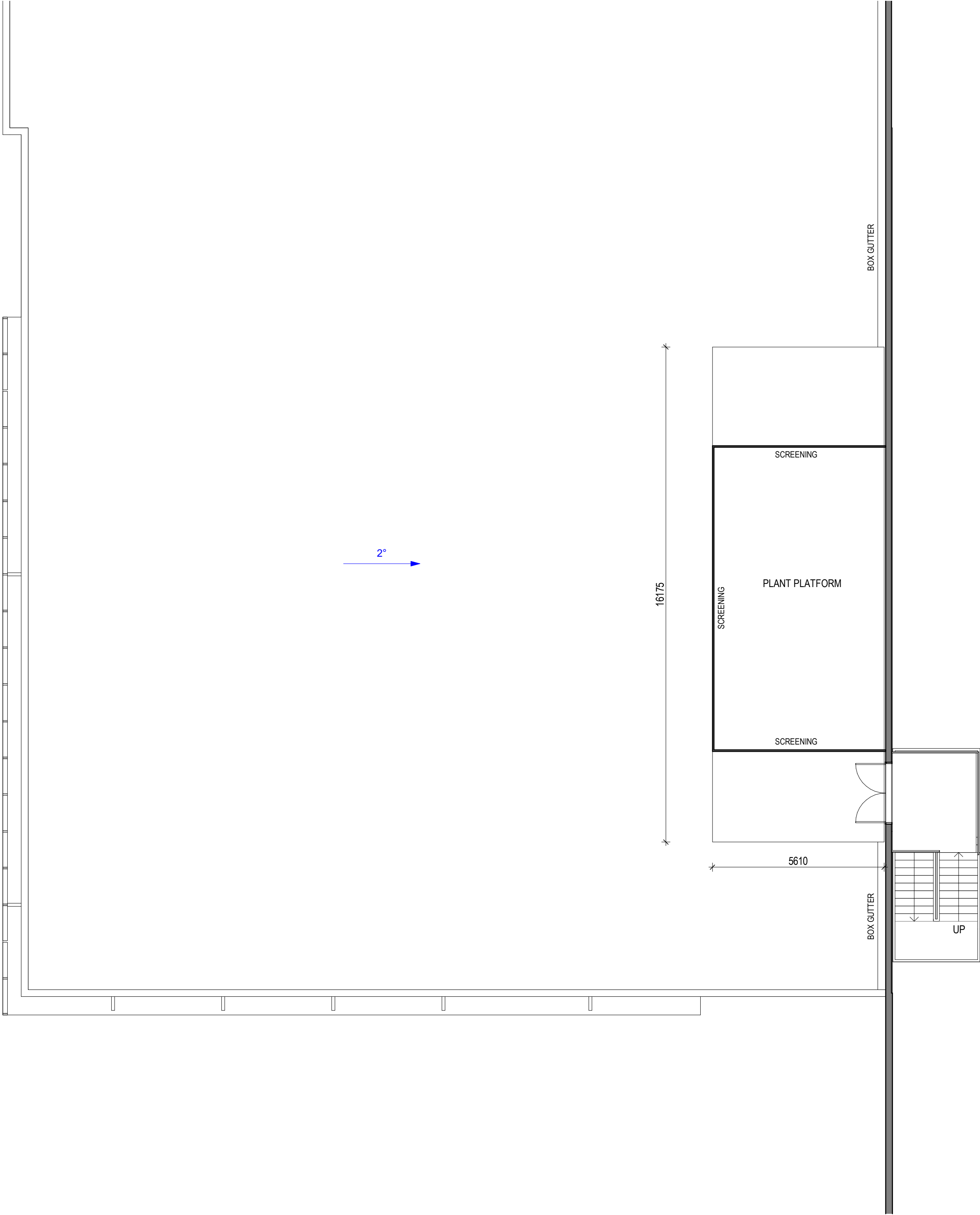
LEGEND	
—	BASE BUILD
- - -	FITOUT

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE $\pm 1000\text{mm}$

FOR DEVELOPMENT APPROVAL





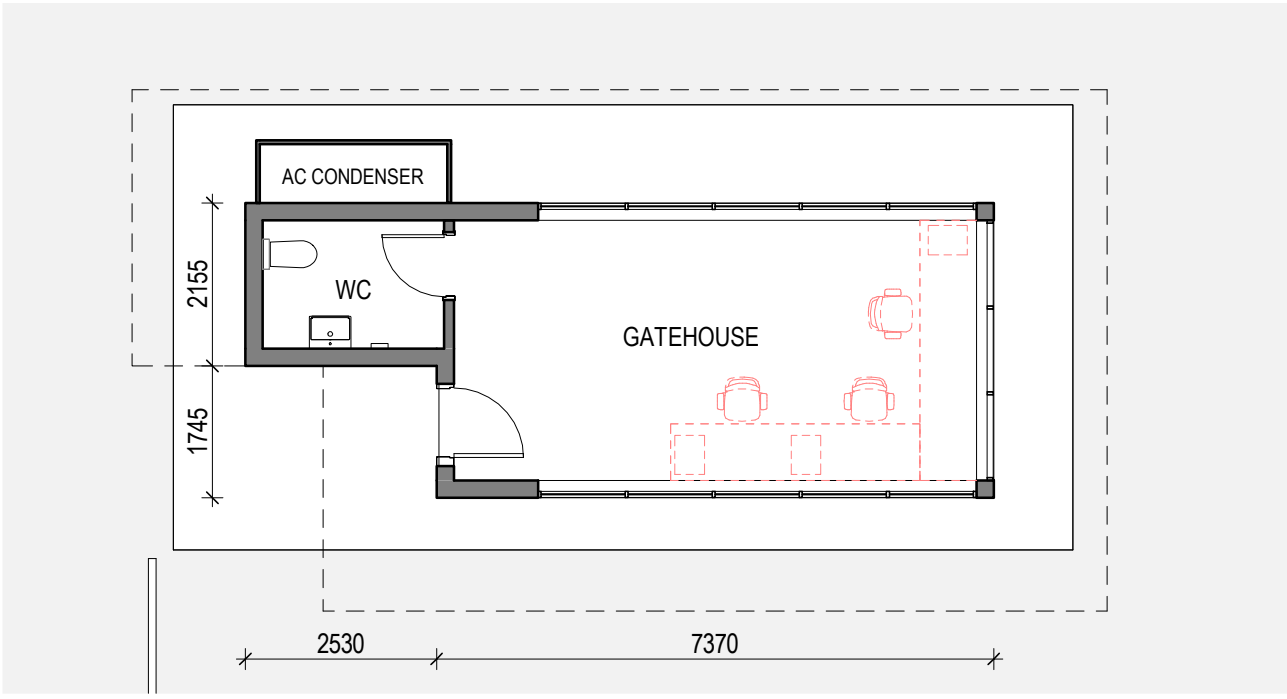
1 OFFICE ROOF PLAN
1 : 100

LEGEND	
	BASE BUILD
	FITOUT

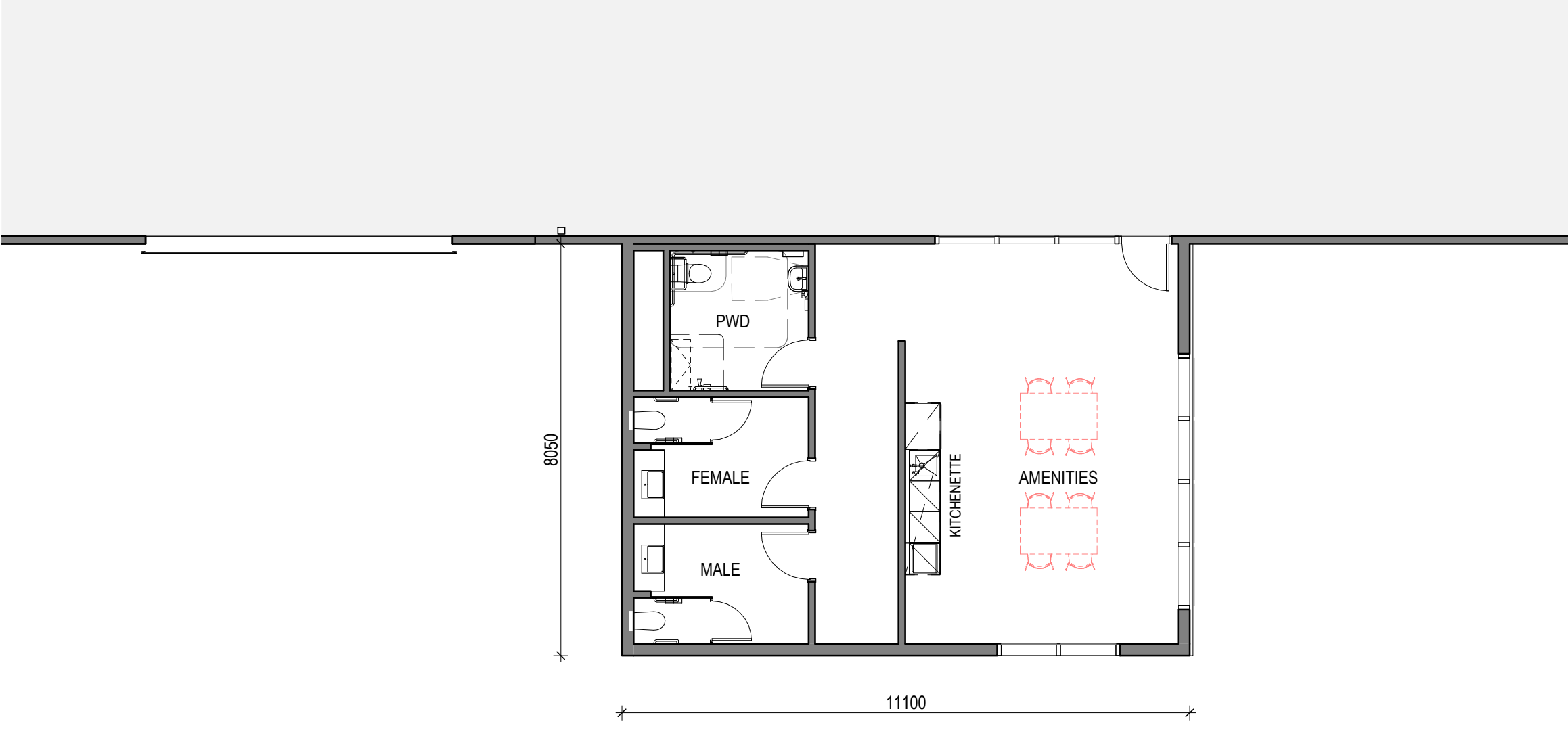
ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE $\pm 1000\text{mm}$

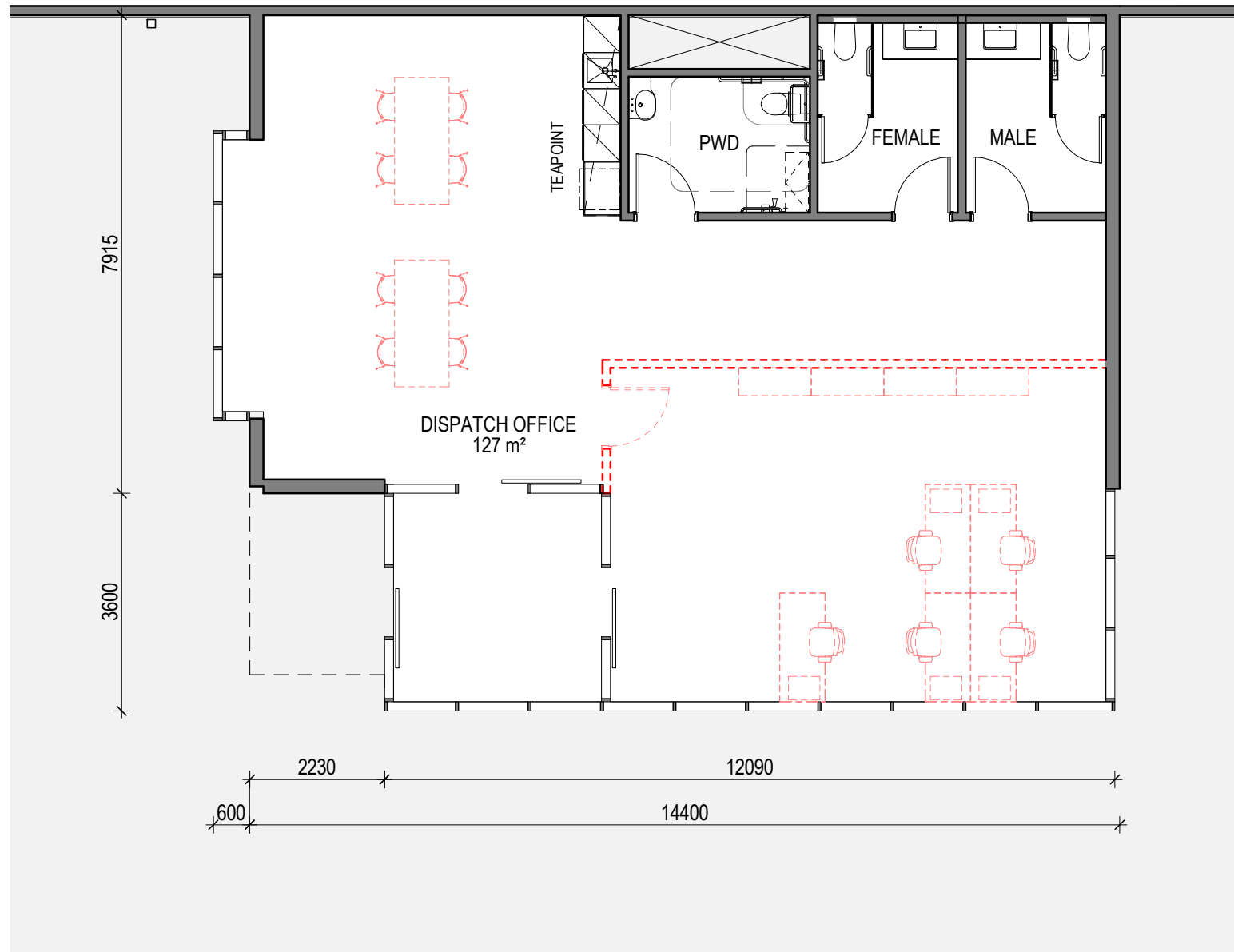
FOR DEVELOPMENT APPROVAL



1 GATEHOUSE- PROPOSED FLOOR PLAN
1:100



2 DRIVER & WAREHOUSE AMENITIES - PROPOSED FLOOR PLAN
1:100



3 DISPATCH OFFICE - PROPOSED FLOOR PLAN
1:100

LEGEND

— BASE BUILD
--- FITOUT

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE ± 1000mm

FOR DEVELOPMENT APPROVAL



4 EAST ELEVATION
1 : 500

ALL LEVELS ARE TO BE $\pm 1000\text{mm}$

FOR DEVELOPMENT APPROVAL

Project Name: Vantage Yatala Lot 201

Client: Frasers Property

JOB NO.: 2686

DISCIPLINE: Architectural	DAY	10	11	15	17	18	23	10	12	17	18	19	19	22	30
	MONTH	02	02	02	02	02	02	05	05	05	05	05	05	06	06
	YEAR	22	22	22	22	22	22	22	22	22	22	22	22	22	22

DISTRIBUTION

Manan Solanki (Fraser Property Industrial)	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
Paul Solomon (Fraser Property Industrial)		x	x	x	x	x	x	x	x	x	x	x	x		
James Jarimba (Fraser Property Industrial)											x	x	x		
Ryan Parsons														x	
Brian (Gassman)		x						x	x	x		x			
Mitchell Gassman (Gassman)		x						x	x	x		x			
Fraser Gassman (Gassman)		x						x	x	x		x			
Luke Rytenschild (Rytenschild Traffic)		x						x	x	x		x			
Greg Pierce (Acoustic Works)		x						x	x	x		x			
Nick Kuzewics (Omnii)		x						x	x	x		x			
Dr Daryan Othman (Omnii)								x	x	x		x			
Kris Boveinis (PECE)		x						x	x	x		x			
Jennifer Stevens - Landscape (Gassman)					x			x	x	x		x			
Dan Caldwell (Aptusbc)								x	x	x		x			
Renton Parker (Riskcon Engineering)								x	x	x		x			

REASON FOR ISSUE

DELIVERY METHOD

ISSUE MEDIUM

REASON FOR ISSUE	DELIVERY METHOD	ISSUE MEDIUM
[A] - Approval [T] - Tender [C] - Construction [I] - Information	[P] - Post [H] - Hand [E] - Electronic	P = Print D = Disk E = Email

DOCUMENTS

No.

REVISION

DRAWINGS															
COVER PAGE	SD-AA-001						A		B	C	D	D			E
LOCATION PLAN	SD-AA-002	A					B		C	D	E	E			F
SITE PLAN	SD-AA-010	A	B				C	D	E	F	G	G			H
AREA PLAN	SD-AA-015	A					B		C	D	E	E			F
OFFICE FLOOR PLAN	SD-AA-100						A		B	C	D	D			E
PLANT ROOM FLOOR PLAN	SD-AA-101						A		B	C	D	D			E
DISPATCH OFFICE / AMENITIES /GATEHOUSE	SD-AA-102						A		B	C	D	D			E
<i>GATEHOUSE (superseded)</i>	<i>SD-AA-103</i>						A								
ELEVATIONS	SD-AA-200			A	A	B	C	D	E	F	G	G			H
Safety in Design Report & Spreadsheet V2.0										A					
LEASE AGREEMENT SET															
COVER PAGE	AL-AA-001												A	B	
LOCATION PLAN	AL-AA-002												A	B	
SITE PLAN	AL-AA-010												A	B	
AREA PLAN	AL-AA-015												A	B	
OFFICE FLOOR PLAN	AL-AA-100												A	B	
PLANT ROOM FLOOR PLAN	AL-AA-101												A	B	
DISPATCH OFFICE / AMENITIES /GATEHOUSE	AL-AA-102												A	B	
ELEVATIONS	AL-AA-200												A	B	