

ATTACHMENT B

Amended Statement of Landscape Intent



LOT 115,

VANTAGE INDUSTRIAL ESTATE

LANDSCAPE INTENT PACKAGE

Argobest

LOT 115 on

LOT 115 Vantage Industrial Estate,
STAPYLTON, QUEENSLAND 4207

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Issue - For Approval
Revision - B

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Job No. 6062

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SITE CHARACTERISTICS

The subject land, Lot 115 at Frasers Industrial property / Vantage at Yatala is located within in the City of Gold Coast, in a low and medium impact industry zone, and future low and medium industry precinct.

The site is located approximately 2Km to the east of the Pacific Motorway. At the corner of Eastridge and Emeri Streets, Yatala.

PROPOSED DEVELOPMENT

The proposed development is an industrial warehouse.

The landscape design intent for Lot 115 Vantage Industrial Estate is to facilitate the development of functional, well serviced, amenable, and attractive industrial warehouse that holds regard to its local context.

The design is to be inline with City of Gold Coasts Landscape Works Code 9.4.6, as well as Fraser Properties Landscape Design Guidelines.



SITE LOCALITY PLAN

The subject land, Lot 115 Vantage Industrial Estate is located at the corner of Emeri and East Ridge Streets Stalpytton. The site is situated within a newly developed industrial estate - Vantage Industrial at Yatala, and is located within in the City of Gold Coast, 2KM west of the Pacific Motorway.

The zoning of the subject site is nominated as low impact industry zone (future low impact industry precinct) and Medium impact industry zone (future medium impact industry precinct).



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INDUSTRIAL
ESTATE

SITE LOCALITY PLAN



Date: 07.06.22
Project no: 6062
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LANDSCAPE STRATEGY

The landscape design intent for Lot 115 Vantage Industrial Estate is to facilitate the development of functional, well serviced, amenable, and attractive industrial warehouse that holds regard to its local context.

To create a sense of spaciousness defined by wide roads and buildings, and a flow of landscape between.

To promote a development that integrates with the surrounding environment through the use of compatible landscaping, materials, colours and building forms.

To reduce the potential for conflict between vehicle and pedestrian traffic there will be an appropriate level of separation and/or way finding throughout the site.

To ensure soft-scaping softens the built form, yet is durable and requires minimal maintenance.

To create open breakout / recreational areas for staff and visitors of the warehouse development.

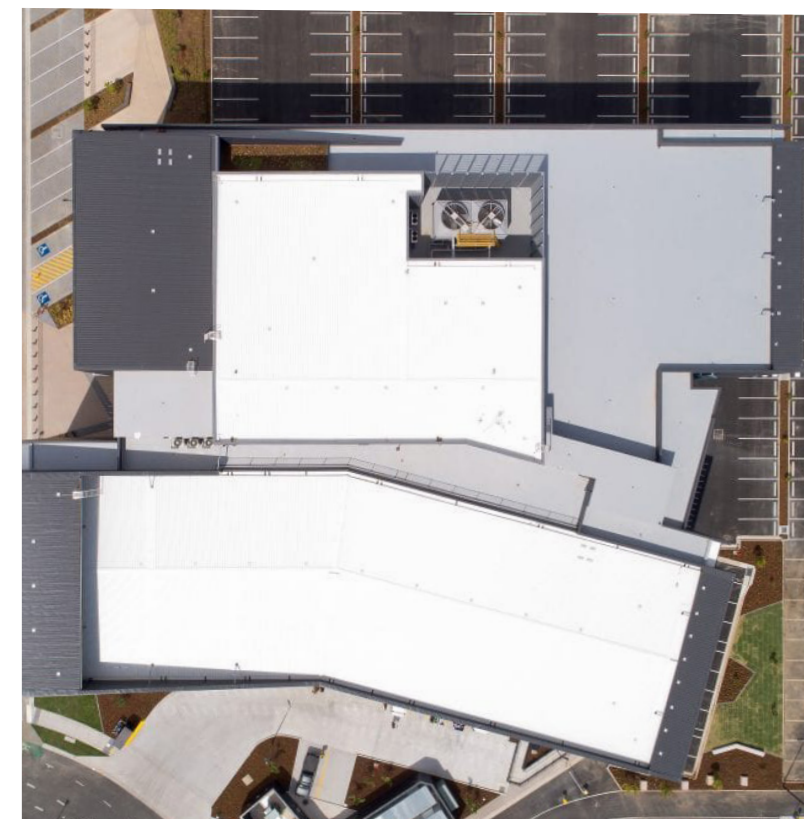
The design will respect the environmental aspects of responsible design, planning and construction which will respond to issues of biodiversity, natural processes and impacts on local waterways.

The scale and nature of landscaping materials and selected plant species will be appropriately selected to compliment the size of proposed buildings and structures nominated for the site, whilst being sensitive to available space.

Principals of Crime Prevention Through Environmental Design (CPTED) will be adapted via the use of planting hierarchy throughout the development. The use of plant species with low heights and trees with clear trunk to base of tree canopy will allow for passive surveillance as well as recognition of traffic and pedestrian movements.

Way finding will be promoted by using nominated hardscape, furnishing and planting and palettes, that will be reflected through the site's entirety. Clear view lines and signage will further promote legibility.

Planting will be selected for suitability and tolerance to the varying site conditions. The planting scheme used is predominantly native species which has been nominated to soften the built form, compliment the surrounding natural ecosystems, minimize water usage and limit maintenance.



LANDSCAPE INTENT PLAN

LEGEND

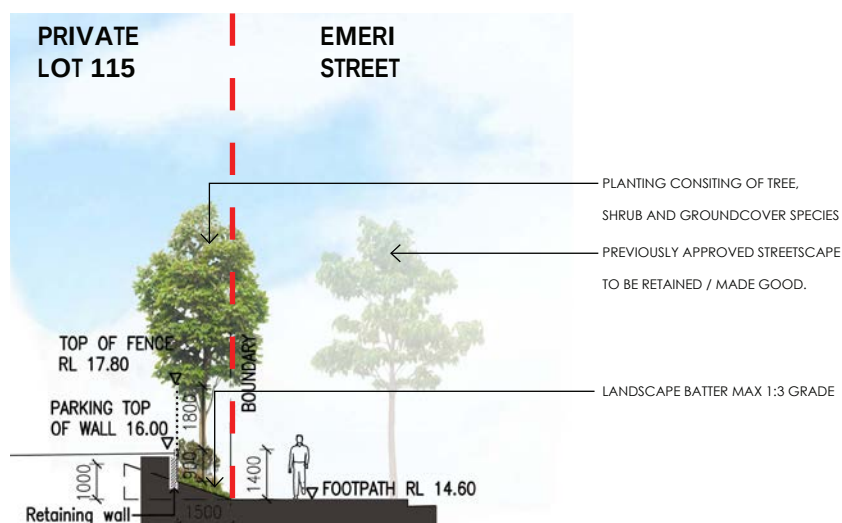
- 01  Road Corridor
- 02  Existing Street Trees
Existing street trees from OPW/2020/690 approval to be retained
- 03  Street Trees for Removal
Existing street trees from OPW/2020/690 approval to be removed under future driveway application
- 04  Proposed Street Trees
Proposed street tree planting as per GCCC Street tree planting Guidelines for Roadworks 05-103
- 05  Street Verge Treatment
Existing road verge (turf and paving) to be maintained and made good if construction damage should occur
- 06  Retaining Wall
Retaining wall to boundary by others.
- 07  Pedestrian Sight Lines
Pedestrian sight lines of 2m x 2m at driveway entry and exit points. Low planting only proposed within these areas
- 08  Groundcover Species
Ground cover species, mass planted, 140mm pot size. Refer to planting palette on page 5 for low maintenance species list in line with GCCC and Fraser Industrial Development Landscape Guidelines
- 09  Shrub Species
Shrub planting, mass planted, 200mm pot size. Refer to planting palette on page 5 for low maintenance species list in line with GCCC and Fraser Industrial Development Landscape Guidelines
- 10  Screening Shrub Species
Screening shrub, hedgable planted in line, 300mm pot size. Refer to planting palette on page 5 for low maintenance species list in line with GCCC and Fraser Industrial Development Landscape Guidelines
- 11  Tree Species
Tree species in locations shown, in 200lt bag. Refer to planting palette on page 5 for low maintenance species list in line with GCCC and Fraser Industrial Development Landscape Guidelines
- 12  Water Meter Location and Easement
Refer to architectural plans authored by Dovey & Associates.
- Fencing
1.8m high black powder coated palisade fencing
- ==== Fencing
1.8m high chain wire fence



SECTION DRAWINGS

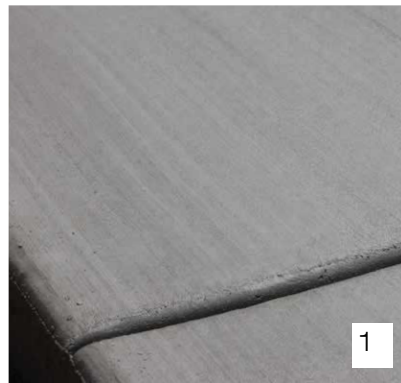


SECTION AA INDICATIVE SECTION REFLECTING 1:3 LANDSCAPE BATTER TO EMERI STREET

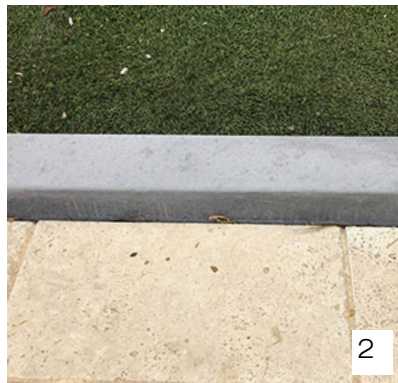


SECTION BB INDICATIVE SECTION REFLECTING RETAINING WALL AND 1:3 LANDSCAPE BATTER

HARDSCAPE AND FURNISHINGS



1



2



3



4



5



6



7



8



9

HARDSCAPE MATERIALS

1. Plain grey concrete
2. 150 x 150mm concrete edging in charcoal

FEATURE LANDSCAPE NODES

3. Pylon signage
4. Signage to building

FENCING

5. Black powder coated palisade fence
6. Chain wire mesh fencing

GARDEN TREATMENT & EQUIPMENT

7. Forest mulch
8. River rock gravel
9. Rainbird drip line irrigation (to gardens)

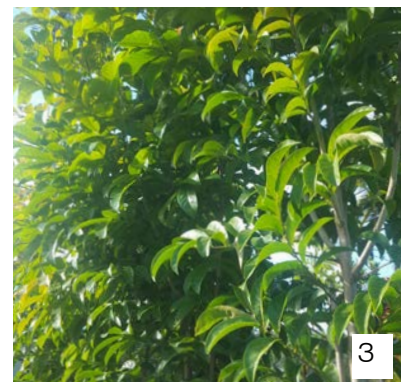
PLANTING PALETTE



1



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3



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5



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11



12



13



14



15



16



17



18

TREES

1. Cupaniopsis anacardioides, tuckeroo
2. Buckinghamia celissima, ivory curl flower
3. Harpulea pendula, tulipwood

SCREENINGSHRUBS

4. Syzygium elite, elite lily pily
5. Syzygium big red, big red
6. Viburnum obovatum, emerald lustre
7. Westringea fruticosa, coastal rosemary
8. Grevillea firecracker, firecracker

LOW GROWING SHRUBS

9. Austromyrtus dulcis, copper tops
10. Callistemon little john, little john
11. Banksia spinulosa, candle sticks
12. Acacia cognata, mini cog

GROUNDCOVERS & TUFTING GRASSES

13. Myoporum parvifolium, boobialla
14. Myoporum ellipticum, coastal boobialla
15. Dieties bicolor, spanish iris
16. Casuarina cousin it, cousin it
17. Dianella silver streak, silver streak
18. Liriope evergreen giant, turf lily