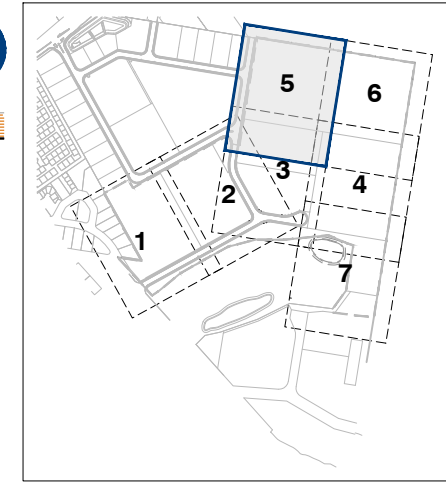


PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies



KEY PLAN
SCALE 1:7500

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour interval: -
PSM: -
RL: -

ISSUED FOR APPROVAL
NOT FOR CONSTRUCTION

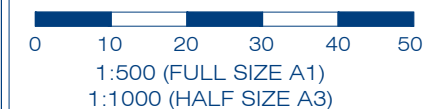
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DRAWING TITLE
FINISHED BULK
EARTHWORKS SURFACE
LEVEL PLAN SHEET 5 OF 7

Issue	Date	Description	BA	MG	DRN	CHK
D	23-05-2022	LOT 201 BOUNDARY ALIGNMENT	LAB	MG		
C	17-12-2021	BATTER ALONG FAIRWAY STREET REDUCED	DV	MG		
B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG		
A	20-11-2020	ORIGINAL ISSUE	BA	MG		

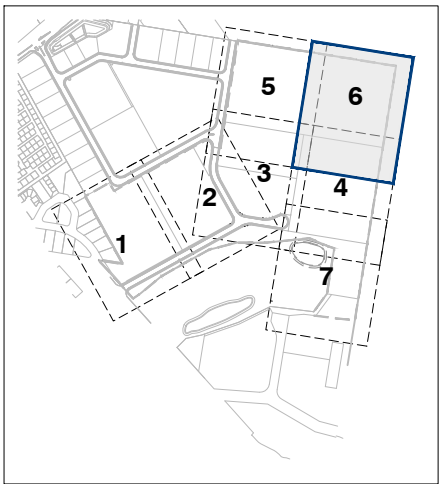
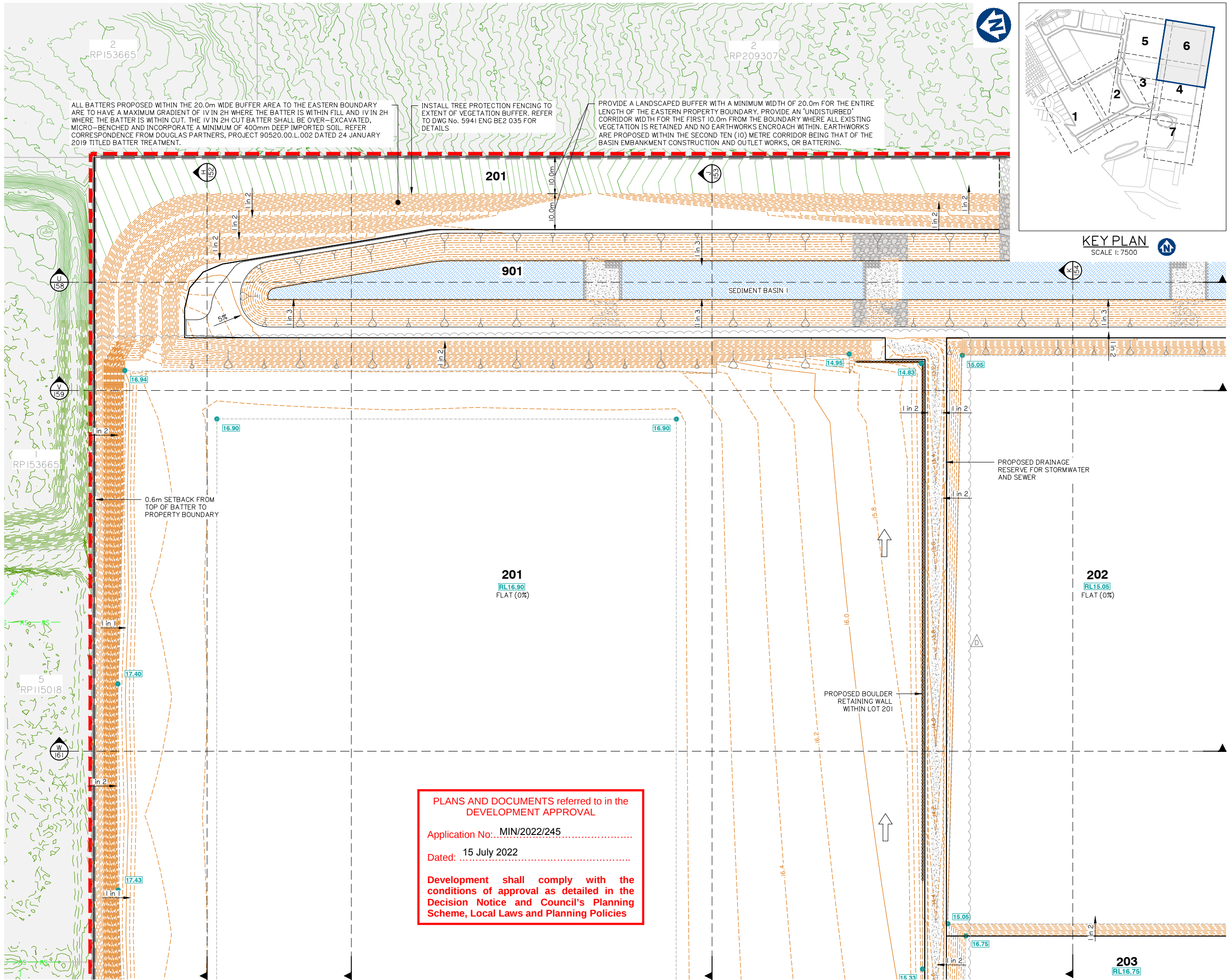
SCALE IN METRES



Scale at A1: 1:500

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	23-05-2022

Drawing No: 5941 ENG BE2 104 Rev. No: D



Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE
**FINISHED BULK
EARTHWORKS SURFACE
LEVEL PLAN SHEET 6 OF 7**

D	23-05-2022	LOT 201 BOUNDARY ALIGNMENT	LAB	MG
C	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
B	31/03/21	INFORMATION REQUEST RESPONSE	IG	MG
A	20-11-2020	ORIGINAL ISSUE	BA	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES



1:500 (FULL SIZE A1)
1:1000 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	23-05-2022

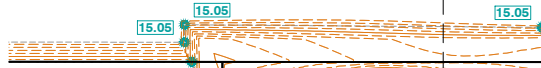
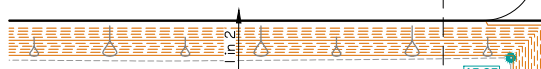
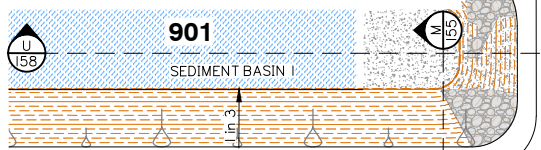
Drawing No:
5941 ENG BE2 105

Rev. No:
D

FOR CONTINUATION REFER SHEET No. 5941 ENG BE2 103



KEY PLAN
SCALE 1: 7500



PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

RP209307
INSTALL TREE PROTECTION FENCING TO
EXTENT OF VEGETATION BUFFER. REFER
TO DWG No. 5941 ENG BE2 035 FOR
DETAILS

PROVIDE A LANDSCAPED BUFFER WITH A MINIMUM WIDTH OF 20.0m FOR THE ENTIRE
LENGTH OF THE EASTERN PROPERTY BOUNDARY. PROVIDE AN 'UNDISTURBED'
CORRIDOR WIDTH FOR THE FIRST 10.0m FROM THE BOUNDARY WHERE ALL EXISTING
VEGETATION IS RETAINED AND NO EARTHWORKS ENCOACH WITHIN. EARTHWORKS
ARE PROPOSED WITHIN THE SECOND TEN (10) METRE CORRIDOR BEING THAT OF THE
BASIN EMBANKMENT CONSTRUCTION AND OUTLET WORKS, OR BATTERING.

ALL BATTERS PROPOSED WITHIN THE 20.0m WIDE BUFFER AREA TO THE EASTERN BOUNDARY
ARE TO HAVE A MAXIMUM GRADIENT OF 1V IN 2H WHERE THE BATTER IS WITHIN FILL AND 1V IN 2H
WHERE THE BATTER IS WITHIN CUT. THE 1V IN 2H CUT BATTER SHALL BE OVER-EXCAVATED,
MICRO-BENCHED AND INCORPORATE A MINIMUM OF 400mm DEEP IMPORTED SOIL. REFER
CORRESPONDENCE FROM DOUGLAS PARTNERS, PROJECT 90520.00.L.002 DATED 24 JANUARY
2019 TITLED BATTER TREATMENT.

THE 1V IN 2H CUT BATTER SHALL BE
OVER-EXCAVATED, MICRO-BENCHED
AND INCORPORATE A MINIMUM OF
400mm DEEP IMPORTED SOIL. REFER
CORRESPONDENCE FROM DOUGLAS
PARTNERS, PROJECT 90520.00.L.002
DATED 24 JANUARY 2019 TITLED
BATTER TREATMENT.

PROPOSED EASEMENT
FOR SEWER

LIMIT OF STAGE 2 BULK EARTHWORKS

COMMON PROPERTY

STAGE 2
BORROW AREA

AMGROW

500
RP295994

FINISHED BULK EARTHWORKS SURFACE LEVEL PLAN SHEET 7 OF 7

Client:

Project:

Site Address:

THIS DRAWING IS INTENDED TO
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RPD:

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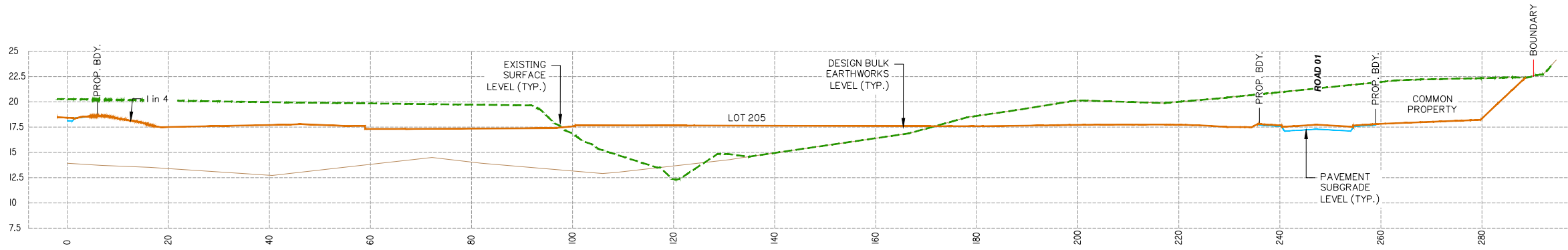
DRAWING TITLE
FINISHED BULK
EARTHWORKS SURFACE
LEVEL PLAN SHEET 7 OF 7

Issue	Date	Description	BA	MG	DRN	CHK
D	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG		
C	31-03-2021	INFORMATION REQUEST RESPONSE	IG	MG		
B	15-02-2021	INFORMATION REQUEST RESPONSE	IG	MG		
A	20-11-2020	ORIGINAL ISSUE	BA	MG		

SCALE IN METRES

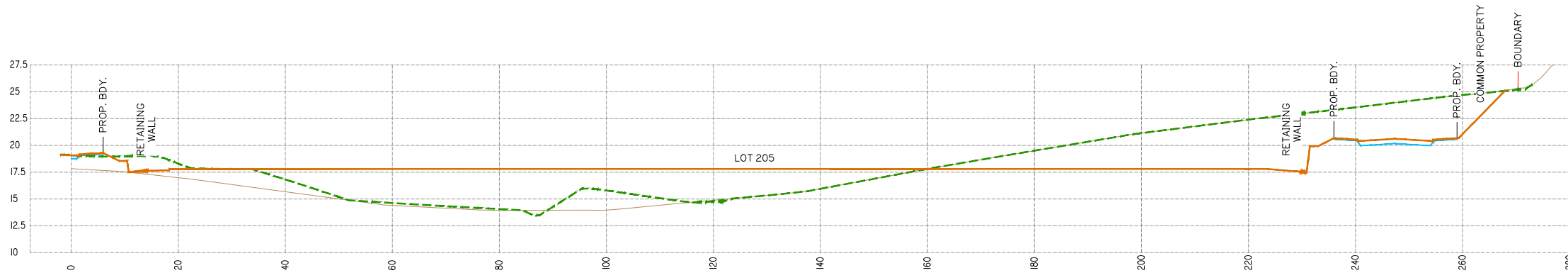


Scale at A1:	1:500
Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021



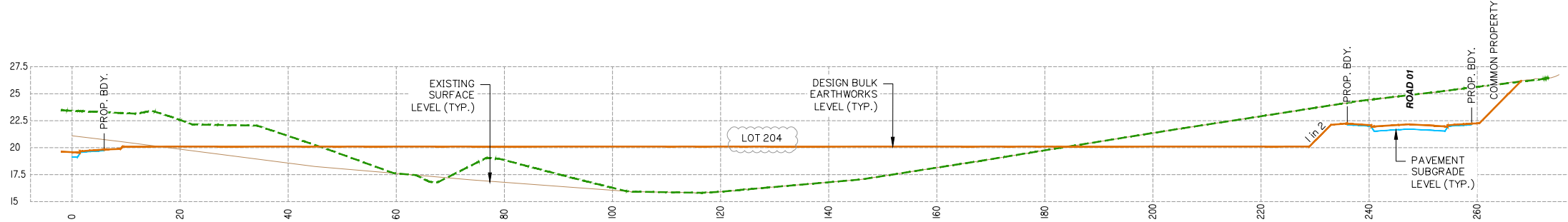
SECTION D
101

SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION



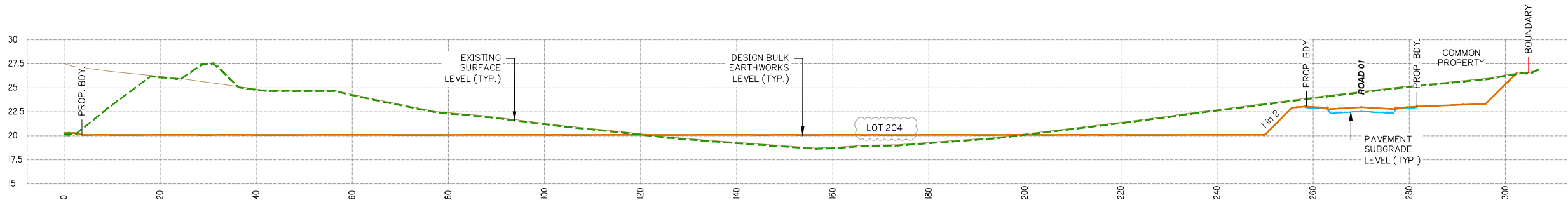
SECTION C
101

SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION



SECTION B
100

SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION



SECTION A
100

SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
Council: AHD
Interval: -

FOR APPROVAL
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DRAWING TITLE
FINISHED BULK
EARTHWORKS CROSS
SECTIONS SHEET 1 OF 11

Issue	Date	Description	LAB	MG
D	24-06-2022	LOT NUMBER UPDATED	LAB	MG
C	09-11-2021	LOT 205 BOUNDARY AND EARTHWORKS	IG	MG
B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
A	20-11-2020	ORIGINAL ISSUE	BA	MG

SCALE IN METRES

Scale 1:500 - Lengths are in Metres.
HOZ: 0 5 10 15 20 25 30 35 40

Scale 1:250 - Lengths are in Metres.
VERT: 0 2 4 6 8 10 12 14 16 18 20

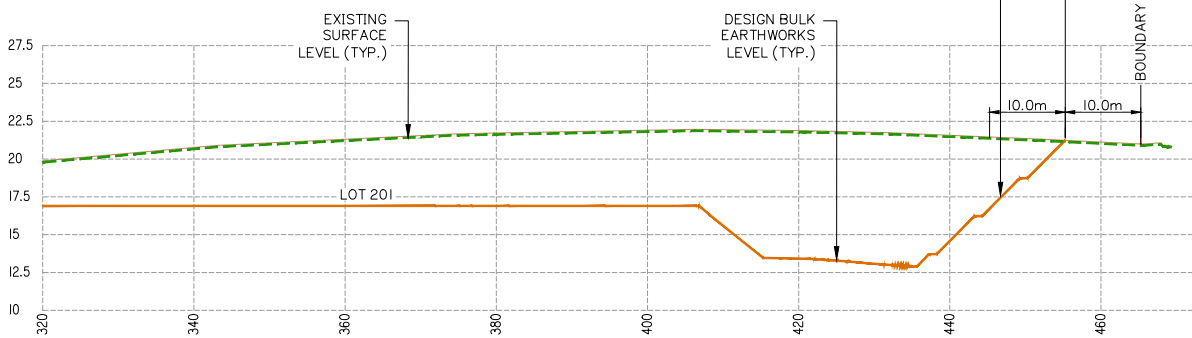
Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-06-2022

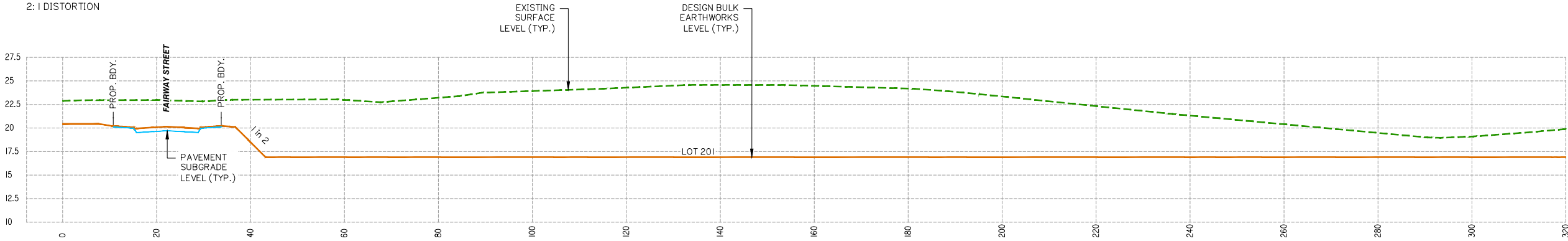
Drawing No: 5941 ENG BE2 150
Rev. No: D

ALL BATTERS PROPOSED WITHIN THE 20.0m WIDE BUFFER AREA TO THE EASTERN BOUNDARY ARE TO HAVE A MAXIMUM GRADIENT OF 1V IN 2H WHERE THE BATTER IS WITHIN FILL AND 1V IN 2H WHERE THE BATTER IS WITHIN CUT. THE 1V IN 2H CUT BATTER SHALL BE OVER-EXCAVATED, MICRO-BENCHED AND INCORPORATE A MINIMUM OF 400mm DEEP IMPORTED SOIL. REFER CORRESPONDENCE FROM DOUGLAS PARTNERS, PROJECT 90520.00.L.002 DATED 24 JANUARY 2019 TITLED BATTER TREATMENT.

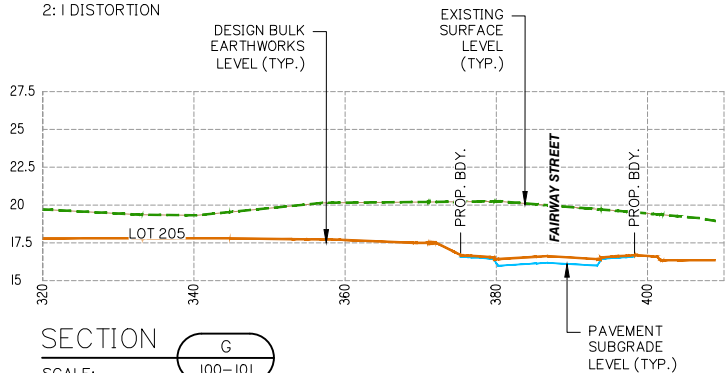
PROVIDE A LANDSCAPED BUFFER WITH A MINIMUM WIDTH OF 20.0m FOR THE ENTIRE LENGTH OF THE EASTERN PROPERTY BOUNDARY. PROVIDE AN 'UNDISTURBED' CORRIDOR WIDTH FOR THE FIRST 10.0m FROM THE BOUNDARY WHERE ALL EXISTING VEGETATION IS RETAINED AND NO EARTHWORKS ENCROACH WITHIN. EARTHWORKS ARE PROPOSED WITHIN THE SECOND TEN (10) METRE CORRIDOR BEING THAT OF THE BASIN EMBANKMENT CONSTRUCTION AND OUTLET WORKS, OR BATTERING.



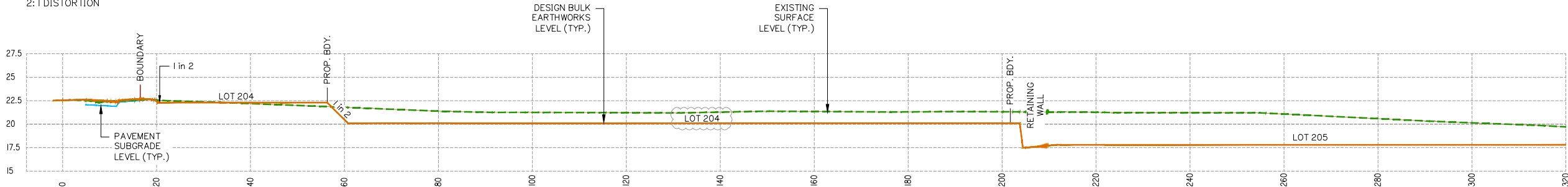
SECTION H
SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION



SECTION H
SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION



SECTION G
SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION



SECTION G
SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE
FINISHED BULK
EARTHWORKS CROSS
SECTIONS SHEET 3 OF 11

Issue	Date	Description	BA	MG	DRN	CHK
G	24-06-2022	LOT NUMBER UPDATED	LAB	MG		
F	17-12-2021	BATTER ALONG FAIRWAY STREET REDUCED	DV	MG		
E	09-11-2021	LOT 205 BOUNDARY AND EARTHWORKS	IG	MG		
D	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG		
C	31-03-2021	INFORMATION REQUEST RESPONSE	IG	MG		
B	15-02-2021	INFORMATION REQUEST RESPONSE	IG	MG		
A	20-11-2020	ORIGINAL ISSUE	BA	MG		

SCALE IN METRES

Scale 1:500 - Lengths are in Metres.
HOZ: 0 5 10 15 20 25 30 35 40

Scale 1:250 - Lengths are in Metres.
VERT: 0 2 4 6 8 10 12 14 16 18 20

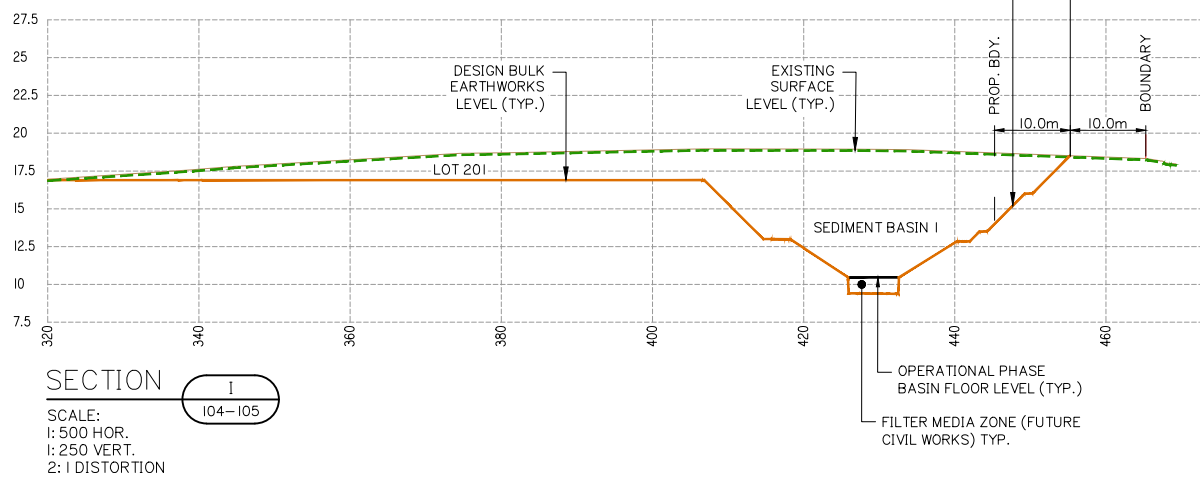
Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-06-2022

Drawing No:
5941 ENG BE2 152

Rev. No:
G

FINISHED BULK EARTHWORKS CROSS SECTIONS SHEET 3 OF 11



Project:	VantageYatala STAGE 2
Site Address:	60 STAPYLTON JACOBS WELL ROAD, STAPYLTON QLD 4207
<i>THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR</i>	

RPD:

Lot:	502
Plan:	SP316137
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

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DRAWING TITLE
FINISHED BULK
EARTHWORKS CROSS
SECTIONS SHEET 4 OF 11

D	17-12-2021	BATTER ALONG FAIRWAY STREET REDUCED	DV	MG	
C	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG	
B	31-03-21	INFORMATION REQUEST RESPONSE	IG	MG	
A	20-11-2020	ORIGINAL ISSUE	BA	MG	
Issue	Date	Description	DRN	CHK	

SCALE IN METRES

HOZ: Scale 1:500 - Lengths are in Metres.



A horizontal scale bar with a total length of 40 units. It is divided into 8 equal segments by vertical tick marks. The segments are numbered 0, 5, 10, 15, 20, 25, 30, 35, and 40 from left to right.

VERT: Scale 1:250 - Lengths are in Metres.



A vertical scale bar with a total length of 20 units. It is divided into 4 equal segments by horizontal tick marks. The segments are numbered 0, 2, 4, 6, 8, 10, 12, 14, 16, 18, and 20 from top to bottom.

Scale at A1:	AS SHOWN
Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	17-12-2021

Drawing No:	Rev. No:
5941 ENG BE2 153	D



Project: **VantageYatala**
STAGE 2

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	502
Plan:	SP316137
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

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DRAWING TITLE
FINISHED BULK
EARTHWORKS CROSS
SECTIONS SHEET 6 OF 11

C	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG	
B	31/03/21	INFORMATION REQUEST RESPONSE	IG	MG	
A	20-11-2020	ORIGINAL ISSUE	BA	MG	
Issue	Date	Description	DRN	Ch-K	

SCALE IN METRES

Scale 1:500 - Lengths are in Metres.

HOZ: 

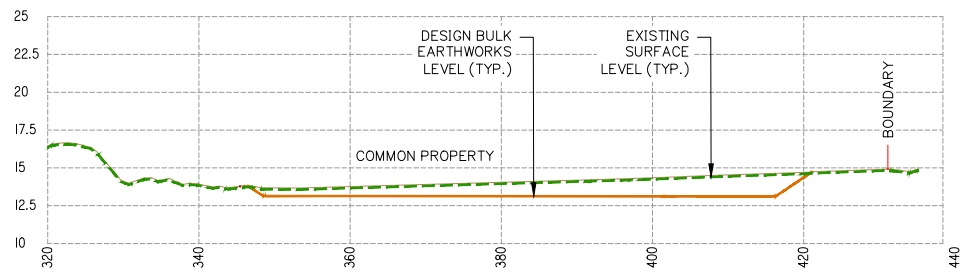
Scale 1:250 - Lengths are in Metres.

VERT: 

Scale at A1: AS SHOWN

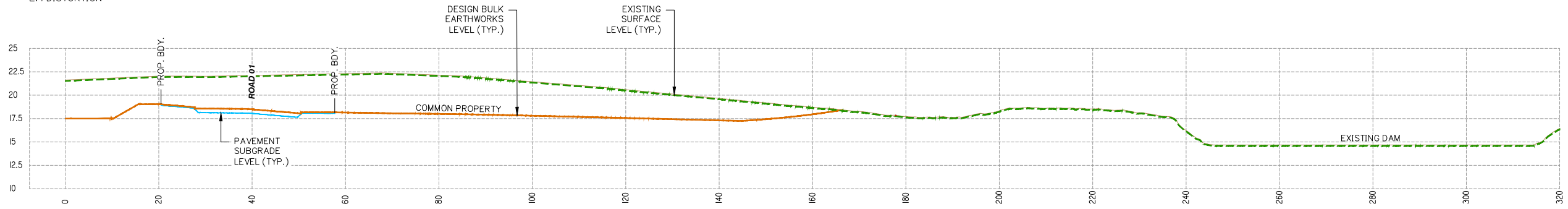
Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No:	Rev. No:
5941 ENG BE2 155	C



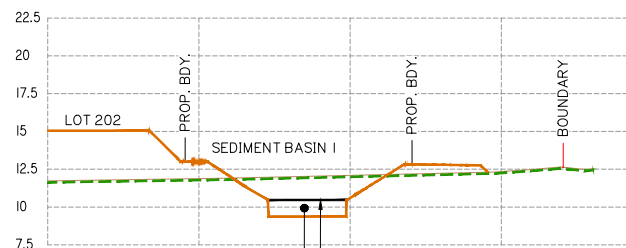
SECTION N
SCALE: 102-103

SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION



SECTION N
SCALE: 102-103

SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION

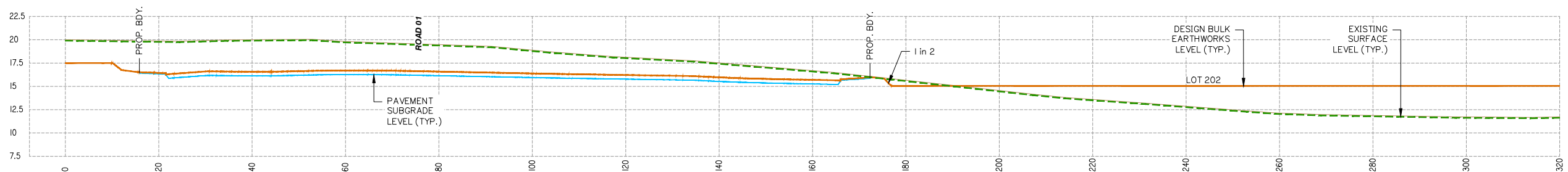


SECTION M
SCALE: 102-103

SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION

OPERATIONAL PHASE
BASIN FLOOR LEVEL (TYP.)

FILTER MEDIA ZONE
(FUTURE CIVIL WORKS) TYP.



SECTION M
SCALE: 102-103

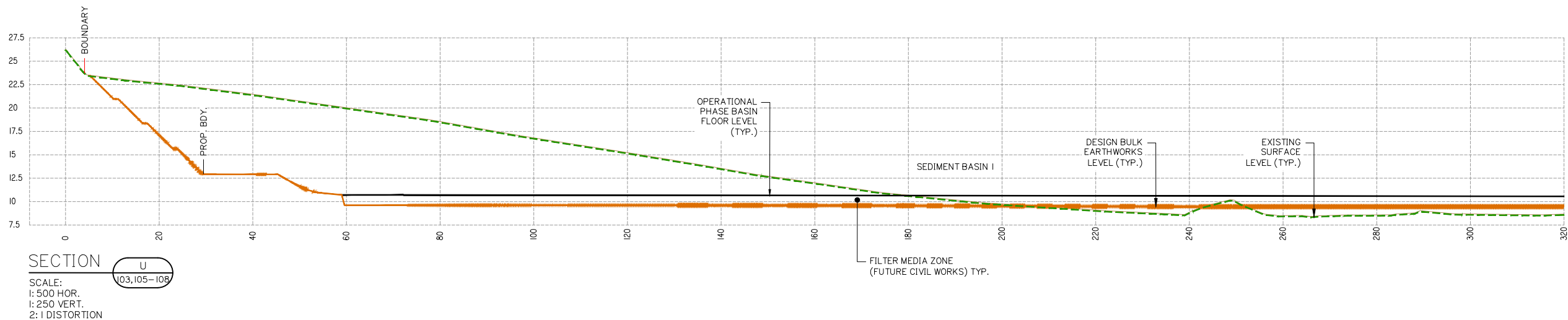
SCALE:
1: 500 HOR.
1: 250 VERT.
2: 1 DISTORTION

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

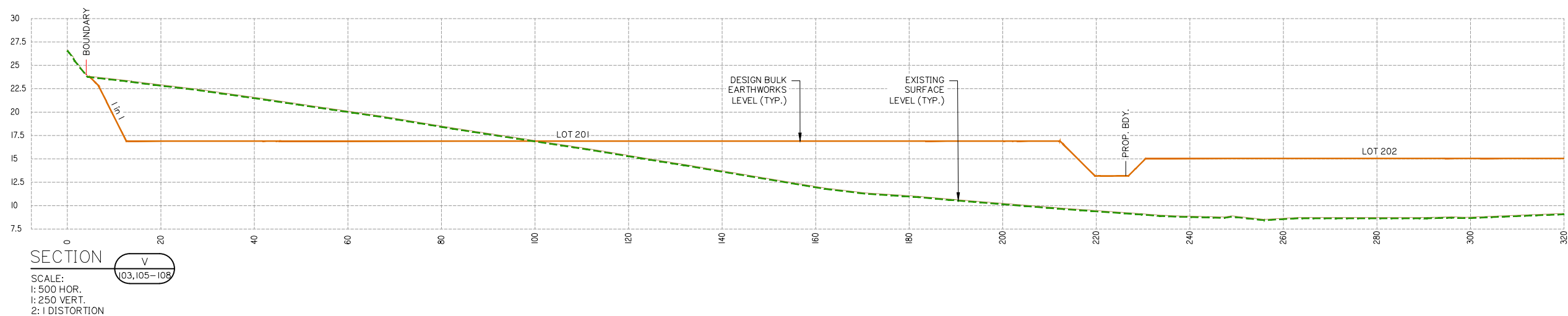
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



Drawing No:	Rev. No:
5941 ENG BE2 158	C



24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG
20-11-2020	ORIGINAL ISSUE	BA
Date	Description	DRN

Scale 1:500 - Lengths are in Metres.

HOZ:

0 2 4 6 8 10 12 14 16 18 20

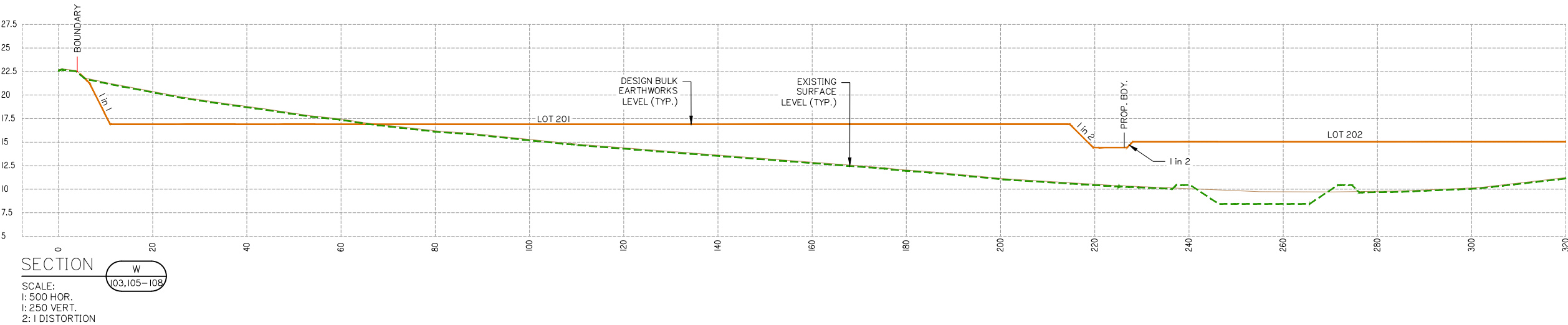
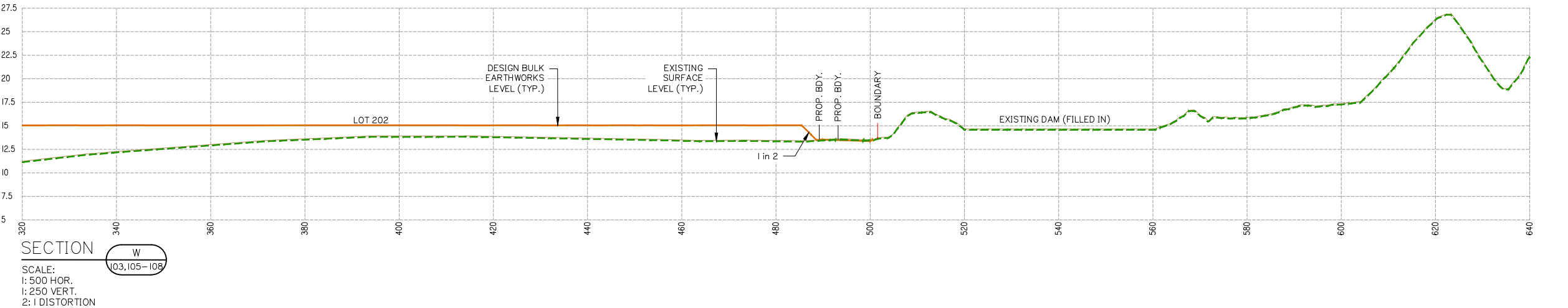
scale at A1: AS SHOWN

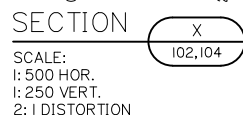
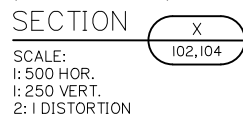
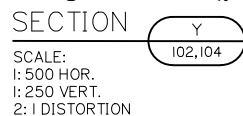
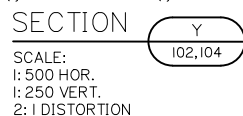
Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
PEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No: Rev. N
041 ENG BE2 160 B

Dated: 15 July 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies





Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

VantageYatala
STAGE 2

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

Lot:	502
Plan:	SP316137
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RI:	-

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
FINISHED BULK
EARTHWORKS CROSS
SECTIONS SHEET 11 OF 11

[illegible]

Scale 1:500 - Lengths are in Metres.

HOZ: 

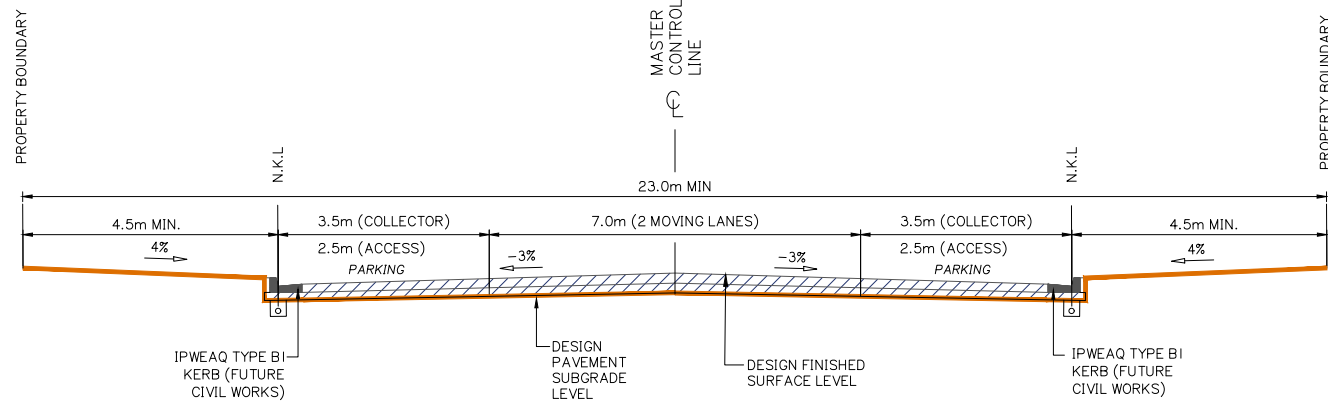
Scale 1:250 - Lengths are in Metres.

VERT: 

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-06-2022

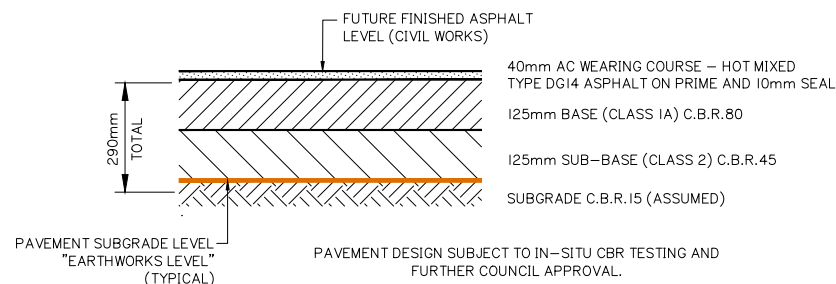
Drawing No:	Rev. No:
5941 ENG BE2 161	C



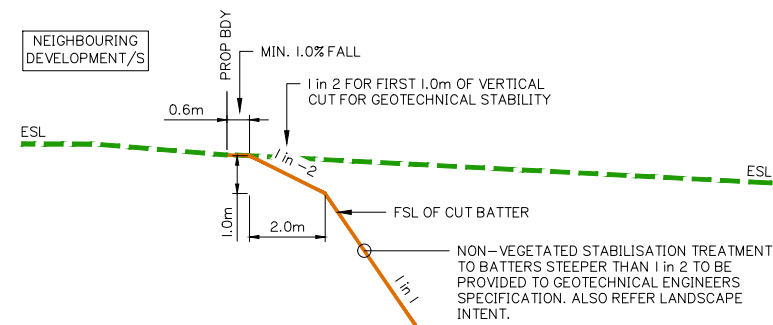
TYPICAL CROSS SECTION – INDUSTRIAL / COMMERCIAL
COLLECTOR AND ACCESS STREETS (23.0m)
FAIRWAY STREET AND ROAD 01

REFER ALSO CoGC STD DWG 05-02-2004 FOR DETAILS

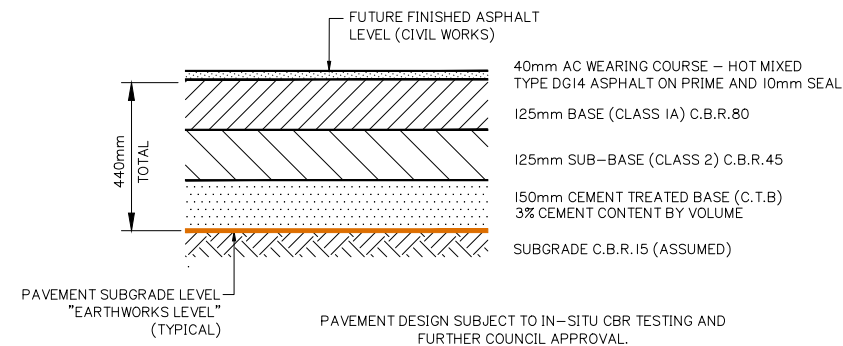
ONLY THE BULK EARTHWORKS IS APPLICABLE.
A SEPARATE APPLICATION WILL BE SUBMITTED
FOR THE CIVIL ROADWORKS ASSOCIATED WITH
THE RECONFIGURATION OF LOTS.



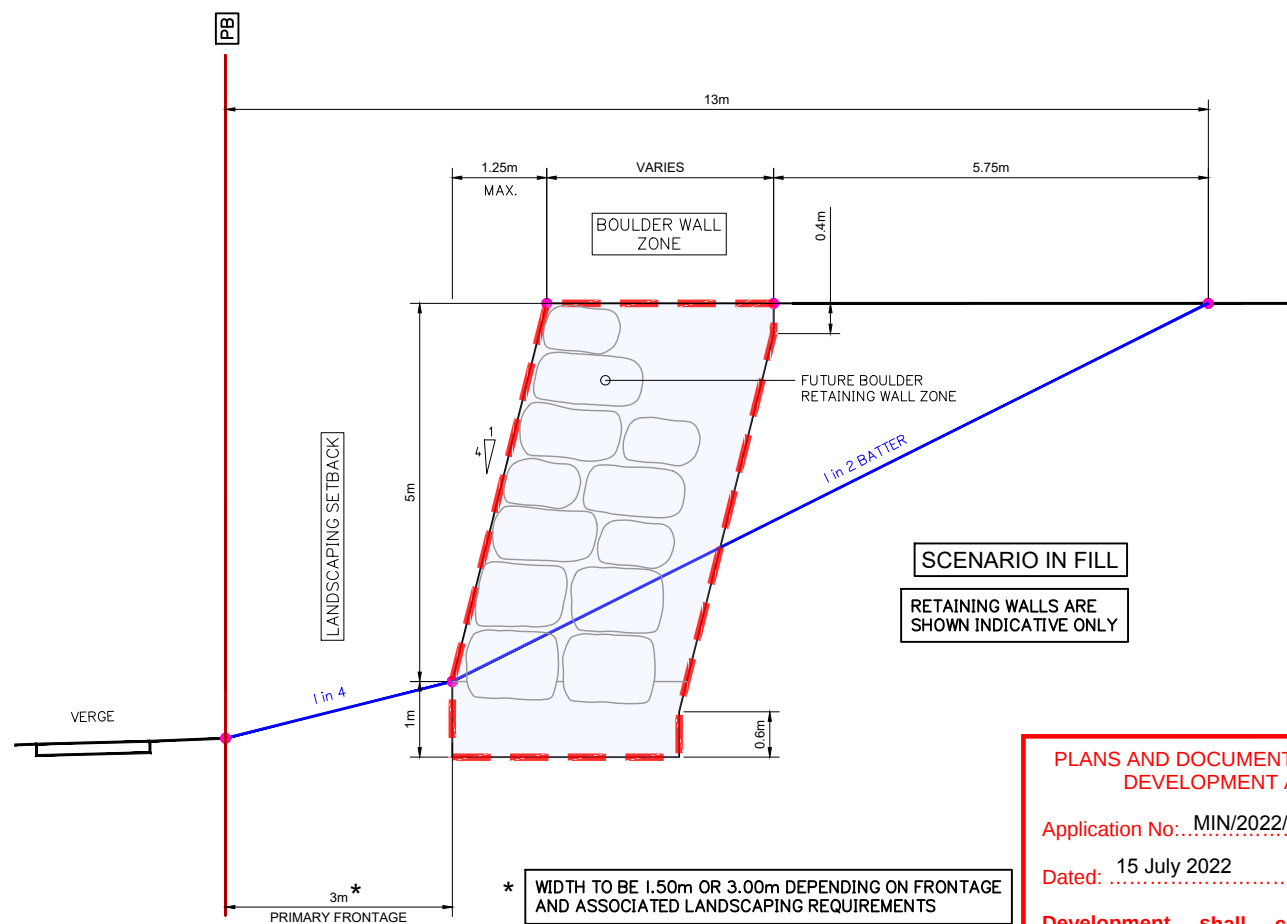
NOMINAL ROAD PAVEMENT DETAIL – IN FILL AREAS
INDUSTRIAL COLLECTOR & ACCESS STREET N.T.S



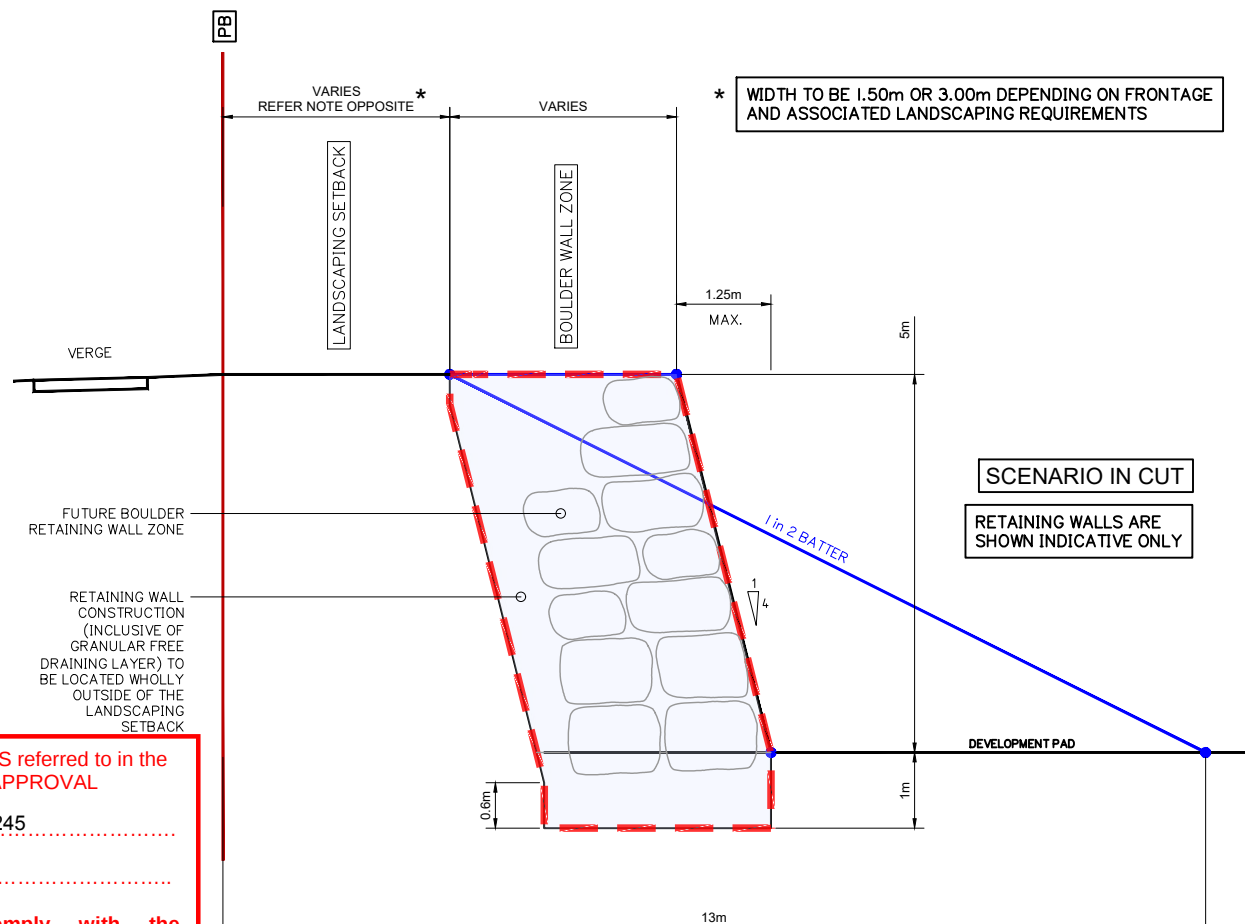
TYPICAL TOP OF CUT BATTER TREATMENT AT
NEIGHBOURING DEVELOPMENT INTERFACES SCALE 1: 100



NOMINAL ROAD PAVEMENT DETAIL – IN CUT AREAS
INDUSTRIAL COLLECTOR & ACCESS STREET N.T.S



TYPICAL SECTION OF:
BOULDER RETAINING WALL (2.5m to 5.0m MAXIMUM HEIGHT)
SHOWING TOE OF EMBANKMENT OFFSET FOR TEMPORARY CONSTRUCTION BATTERS – IN FILL



TYPICAL SECTION OF:
BOULDER RETAINING WALL (2.5m to 5.0m MAXIMUM HEIGHT)
SHOWING TOE OF EMBANKMENT OFFSET FOR TEMPORARY CONSTRUCTION BATTERS – IN CUT

BULK EARTHWORKS ROAD TYPICAL SECTIONS

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour interval: -
PSM: -
RL: -

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DRAWING TITLE

BULK EARTHWORKS ROAD
TYPICAL SECTIONS

Issue	Date	Description	BA	MG	DRN	CHK
C	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG		
B	15-02-2021	INFORMATION REQUEST RESPONSE	IG	MG		
A	20-11-2020	ORIGINAL ISSUE	BA	MG		

SCALE IN METRES

NOT APPLICABLE

Scale at A1:	NTS
Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No: 5941 ENG BE2 163
Rev. No: C



PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

VantageYatala
STAGE 2

Address:
STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

502
SP316137
CITY OF GOLD COAST
COUNCIL
AHD
-
-
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-

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DRAWING TITLE

CONTROL LINE LAYOUT PLAN

F	24-06-2022	LOT NUMBER UPDATED			LAB	MG
E	23-05-2022	LOT 207 BOUNDARY REMOVED			LAB	MG
D	10-02-2022	LOT 205 BOUNDARY AND EARTHWORKS			DV	MG
C	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED			IQ	MG
B	15-02-2021	INFORMATION REQUEST RESPONSE			IG	MG
A	20-11-2020	ORIGINAL ISSUE			BA	MG
ISSUE	Date	Description			DBN	CHK

SCALE IN METRES



A1: 1:1000

nd:	IG
	IG / BA / LAB
ed:	MG
	16939
	
	24-06-2022

g No:	Rev. No:
ING BE2 400	F

24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	
20-11-2020	ORIGINAL ISSUE	BA	
Date	Description	DRN	6

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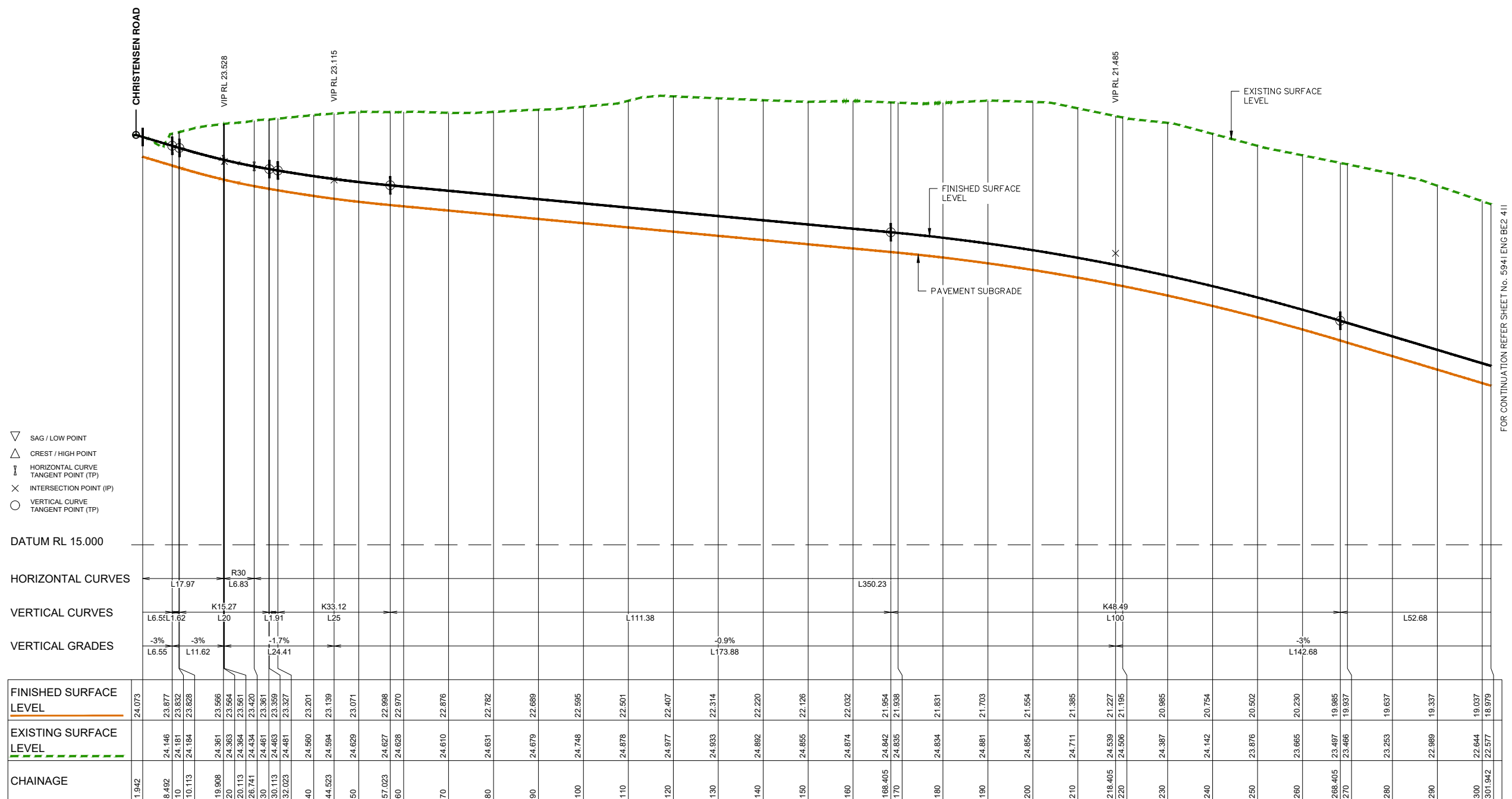
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Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
PEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No: 041 ENG BE2 410 Rev. No: B

Dated: 15 July 2022

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



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VantageYatala
STAGE 2

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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ROAD 01 LONGITUDINAL
SECTION SHEET 2 OF 2

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MO	
A	20-11-2020	ORIGINAL ISSUE	BA	MC	
Issue	Date	Description	DRN	CH	

Scale 1:500 - Lengths are in Metres.

HOZ:

Scale 1:100 - Lengths are in Metres.

VERT: 

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No:	Rev. No:
5941 ENG BE2 411	B





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Project:

VantageYatala

STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
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RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
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Level Datum: AHD
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Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE

FAIRWAY STREET LONGITUDINAL SECTION

B A Issue	24-09-2021 20-11-2020 Date	EXTENT OF STAGE 2 EARTHWORKS REDUCED ORIGINAL ISSUE Description	IQ BA DRN	MCM CH

SCALE IN METRES

Scale 1:500 - Lengths are in Metres.

HOZ: 

Scale 1:100 - Lengths are in Metres.

VERT:

Scale at A1:

AS SHOWN

Designed:

G

Drafted:

G / BA / LAB

Approved

MG

RPEQ

16939

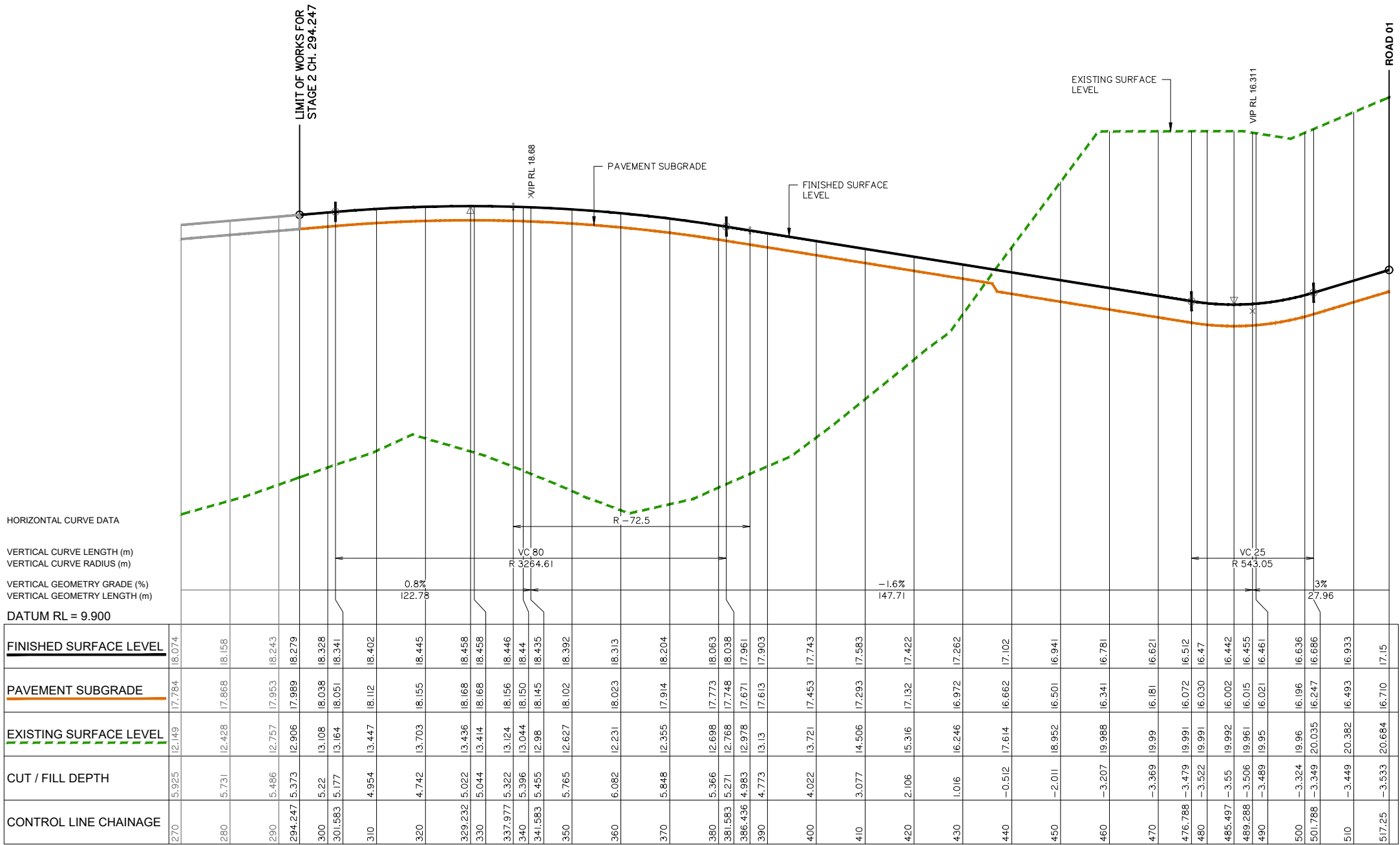
Signed:

Mitchell

Date:

24-09-2021

Drawing No:	Rev. No:
5941 ENG BE2 412	B



FAIRWAY STREET LONGITUDINAL SECTION

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies



planning | environment | landscape | engineering | survey
T: 3807 3333 | F: 3287 5461 | www.gassman.com.au
Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE

AMGROW DAM OVERFLOW DRAIN LONGITUDINAL SECTION

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
A	20-11-2020	ORIGINAL ISSUE	BA	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES

Scale 1:500 - Lengths are in Metres.
HOZ: 0 5 10 15 20 25 30 35 40

Scale 1:100 - Lengths are in Metres.
VERT: 0 1 2 3 4 5 6 7 8

Scale at A1: AS SHOWN

Designed: IG

Drafted: IG / BA / LAB

Approved: MG

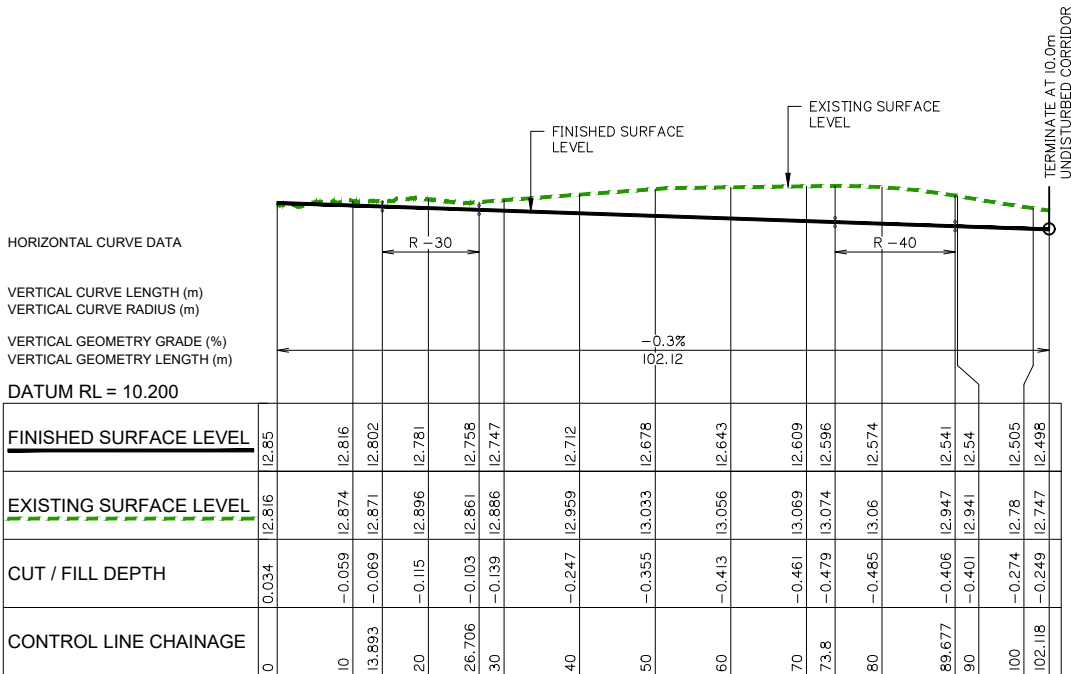
RPEQ: 16939

Signed:

Date: 24-09-2021

Drawing No:
5941 ENG BE2 414

Rev. No:
B



AMGROW DAM OVERFLOW DRAIN LONGITUDINAL SECTION



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Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST COUNCIL

Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RI :	-

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DRAWING TITLE

ROAD 01 CROSS SECTIONS
SHEET 1 OF 8

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IC	M
A	20-11-2020	ORIGINAL ISSUE	BA	M
ISSUE	Date	Description	DBN	CH

SCALE IN METRES

Scale 1:100 - Lengths are in Metres.

HOZ:

Scale 1:100 - Lengths are in Metres.

VERT:

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

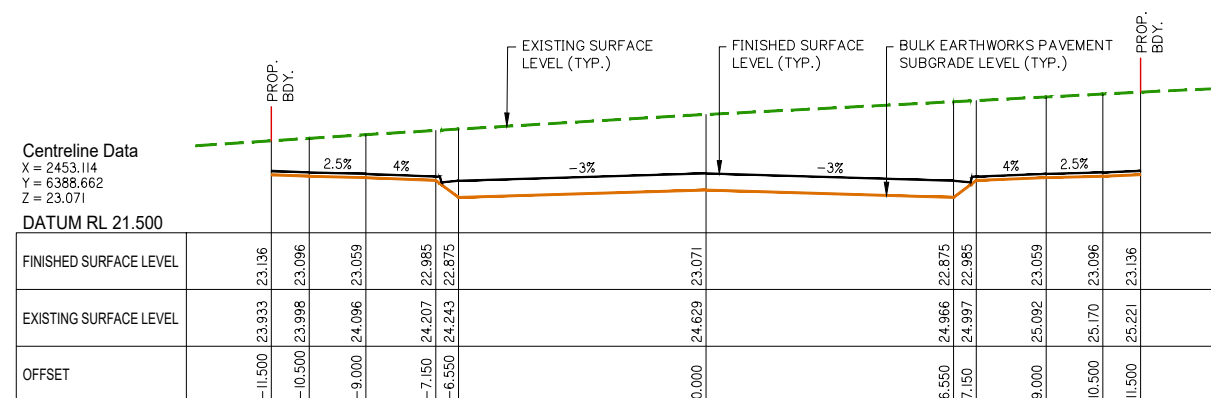
Drawing No:	Rev. No:
5941 ENG BE2 430	B

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

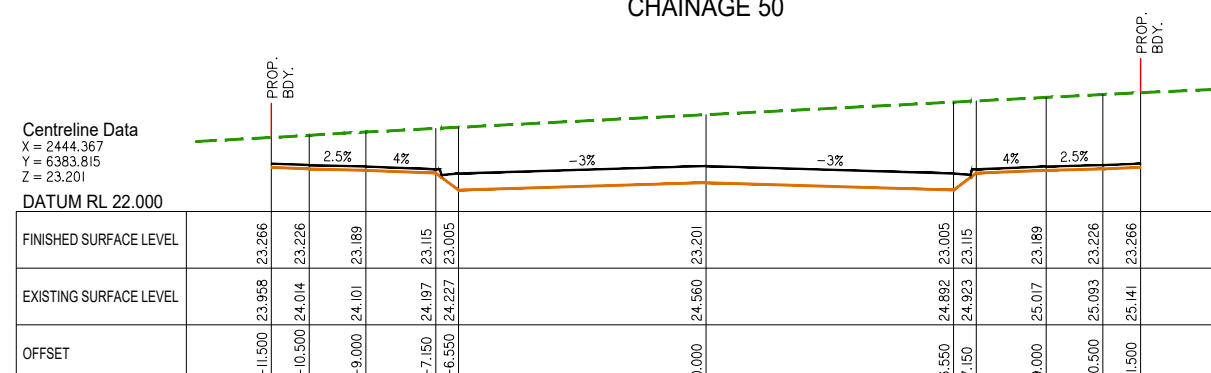
Application No: MIN/2022/245

Dated: 15 July 2022

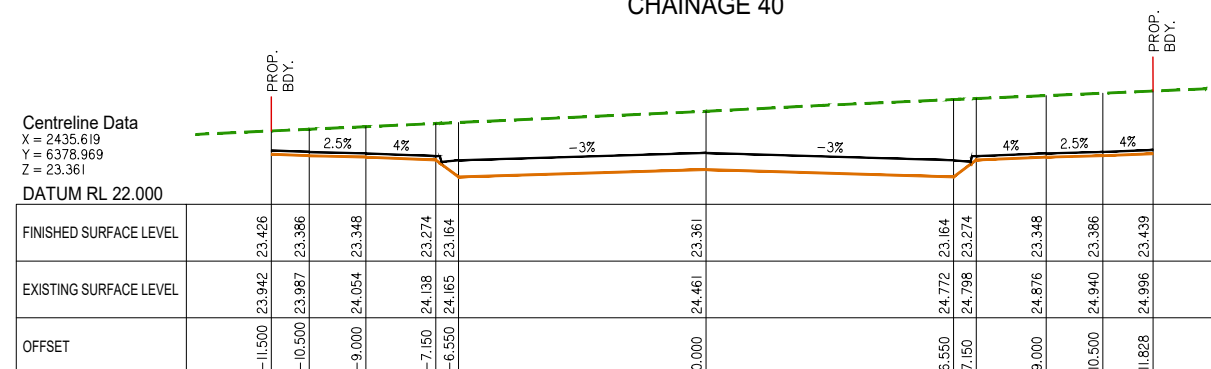
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



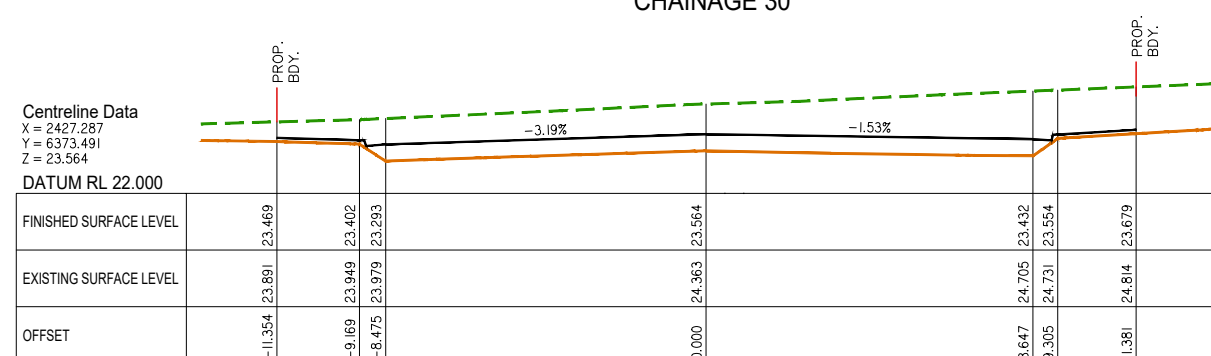
CHAINAGE 50



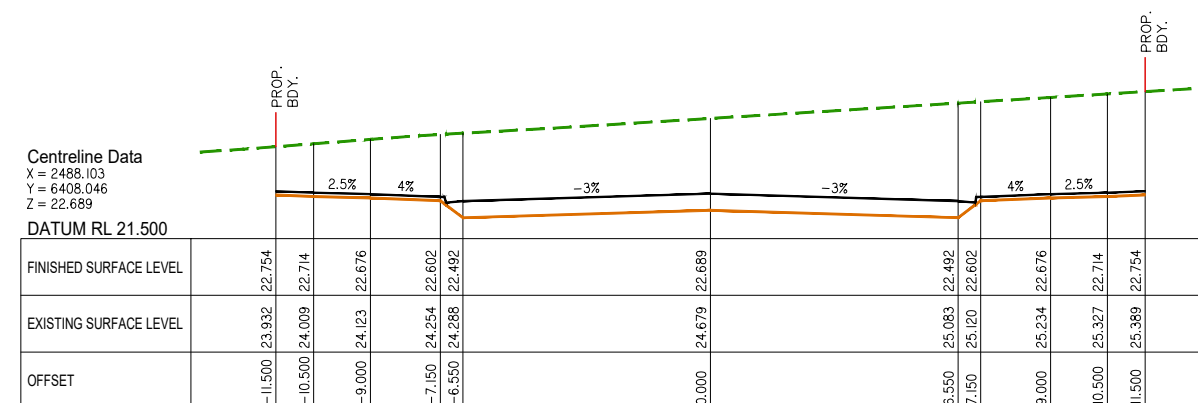
CHAINAGE 40



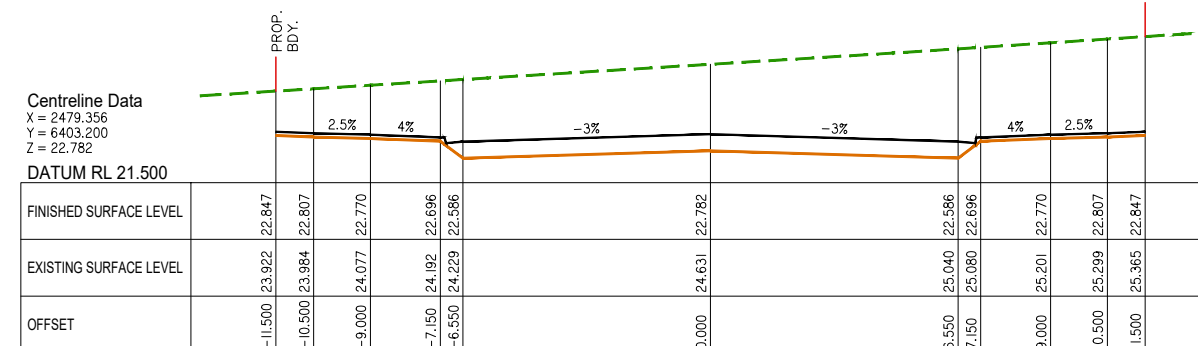
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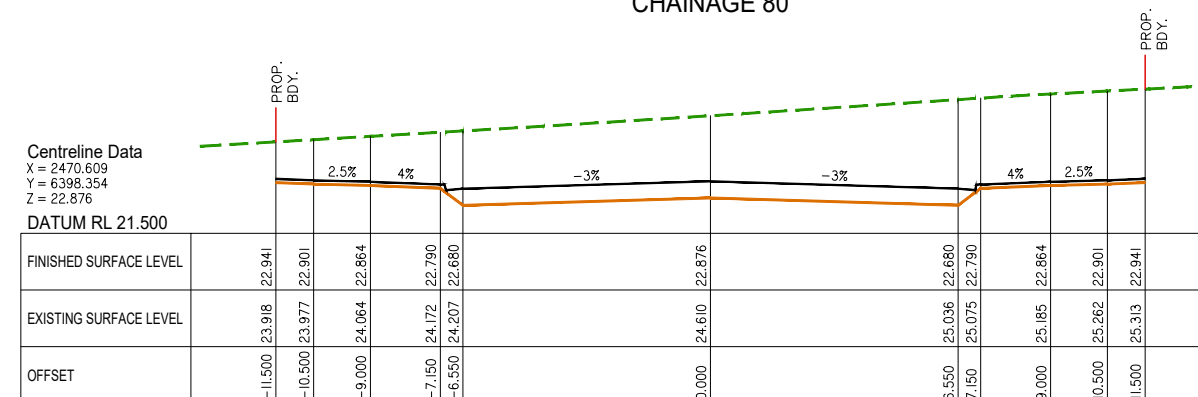
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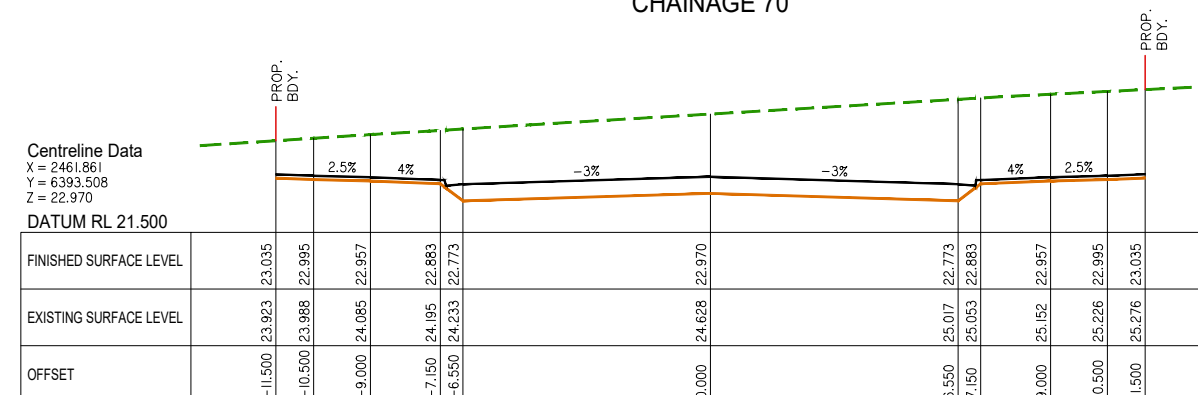
CHAINAGE 90



CHAINAGE 80



CHAINAGE 70



CHAINAGE 60

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



Project: **VantageYatala**
STAGE 2

Site Address:
60 STAPYLTON JACOBS WEL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	502
Plan:	SP316137
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
PSM:	-
RL:	-

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DRAWING TITLE

ROAD 01 CROSS SECTION
SHEET 2 OF 8

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED		IG
A	20-11-2020	ORIGINAL ISSUE		BA
Issue	Date	Description		DPR

SCALE IN METRES

HOZ: 

VERT: 

Scale at A1: AS SHOWN

Designed:	IG
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Drafted:	IG / BA / LAB
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Approved:	MG
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RPEQ:	169,39
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Signed:	
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Date:	24-09-2021
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Drawing No:	Rev. No:
5941 ENG BE2 431	B

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

CHAINAGE 210

Rev. No:
B

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IQ	MC
A	20-11-2020	ORIGINAL ISSUE	BA	MC
Issue	Date	Description	DRN	CH

SCALE IN METRES

Scale 1:100 - Lengths are in Metres.

Scale 1:100 - Lengths are in Metres.

VERT:

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No:
5941 ENG BE2 433

Rev. No:
B

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



Project: **VantageYatala**
STAGE 2

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
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RPD:

Lot:	502
Plan:	SP316137
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
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DRAWING TITLE

ROAD 01 CROSS SECTIONS
SHEET 5 OF 8

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG
A	20-11-2020	ORIGINAL ISSUE	BA
Issue	Date	Description	DRN

SCALE IN METRES

Scale 1:100 - Lengths are in Metres.

HOZ:

Scale 1:100 - Lengths are in Metres.

VERT:

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No:	Rev. No:
5941 ENG BE2 434	B

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



Project: **VantageYatala**
STAGE 2

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot:	502
Plan:	SP316137
Local Authority:	CITY OF GOLD COAST COUNCIL
Level Datum:	AHD
Meridian:	-
Contour Interval:	-
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RL:	-

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DRAWING TITLE

ROAD 01 CROSS SECTIONS
SHEET 6 OF 8

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG
A		ORIGINAL ISSUE	BA
Issue	Date	Description	DRN

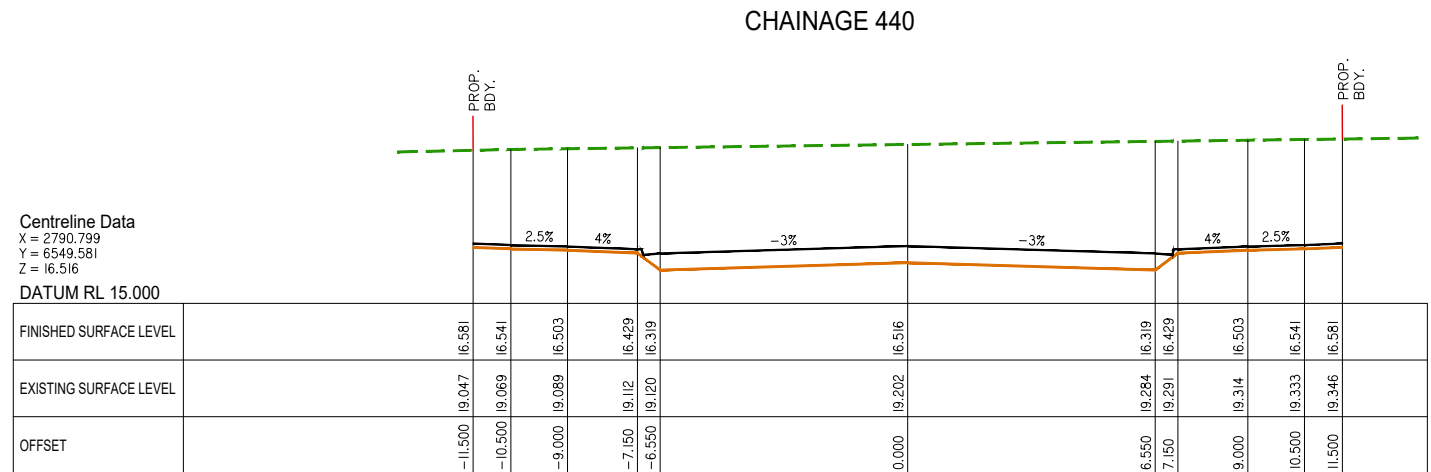
SCALE IN METRES

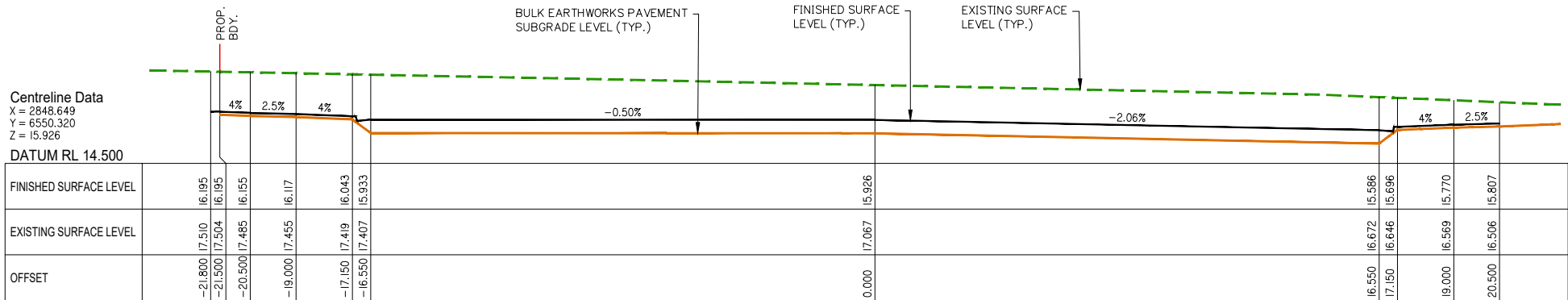


Scale at A1: AS SHOWN

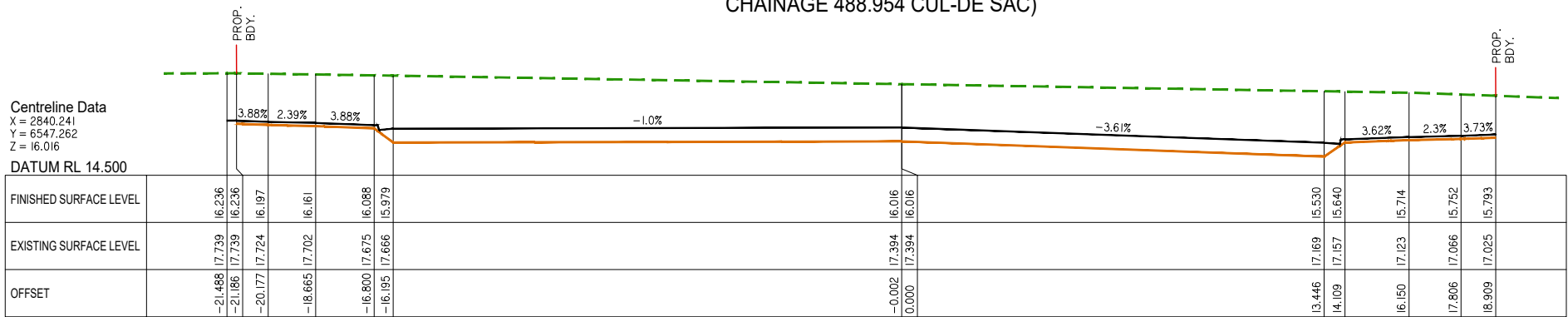
Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No:	Rev. No:
5941 ENG BE2 435	B

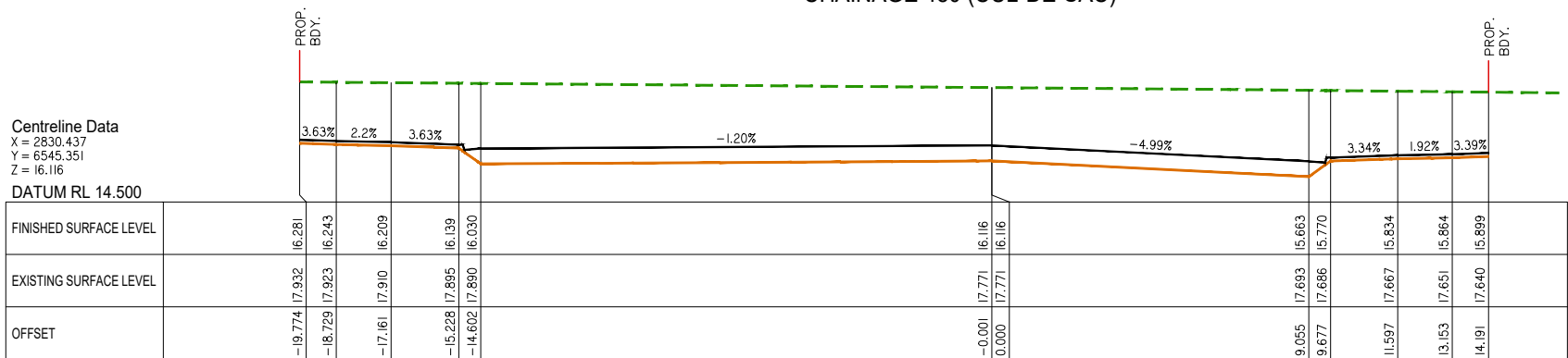




CHAINAGE 488.954 CUL-DE SAC)

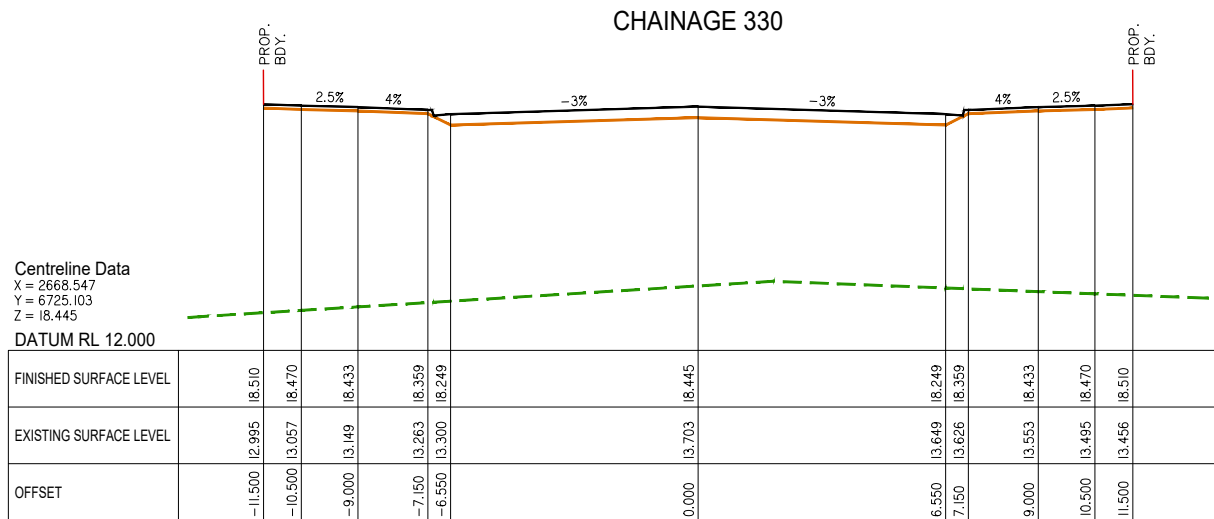
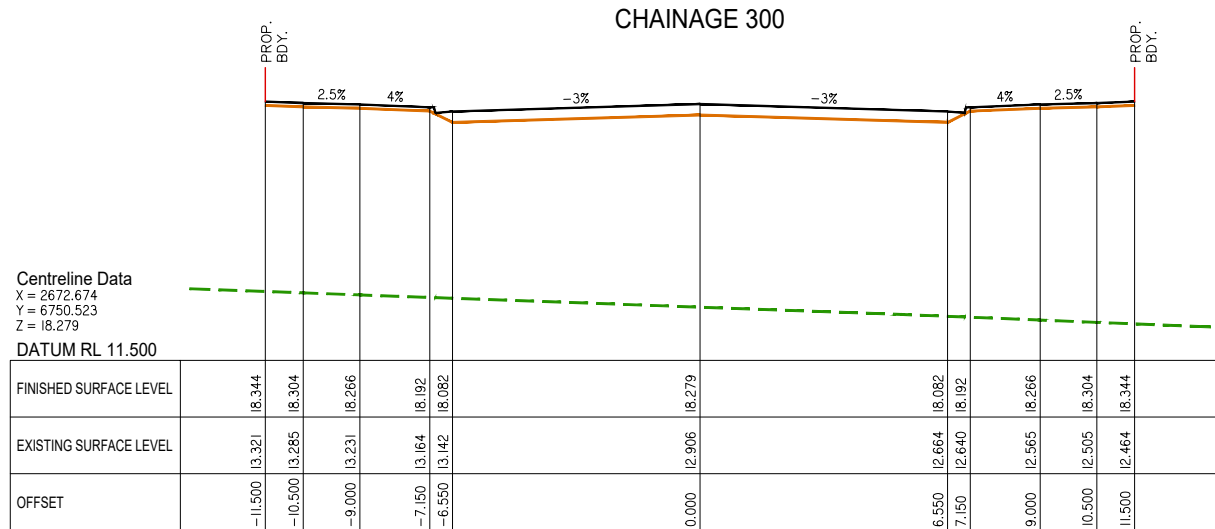


CHAINAGE 480 (CUL-DE-SAC)



CHAINAGE 470

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

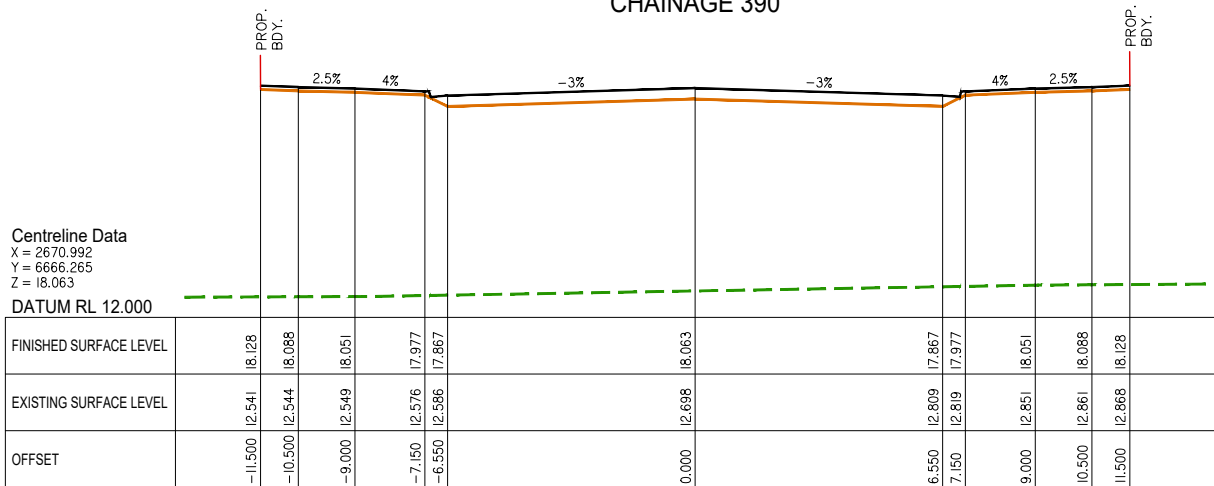
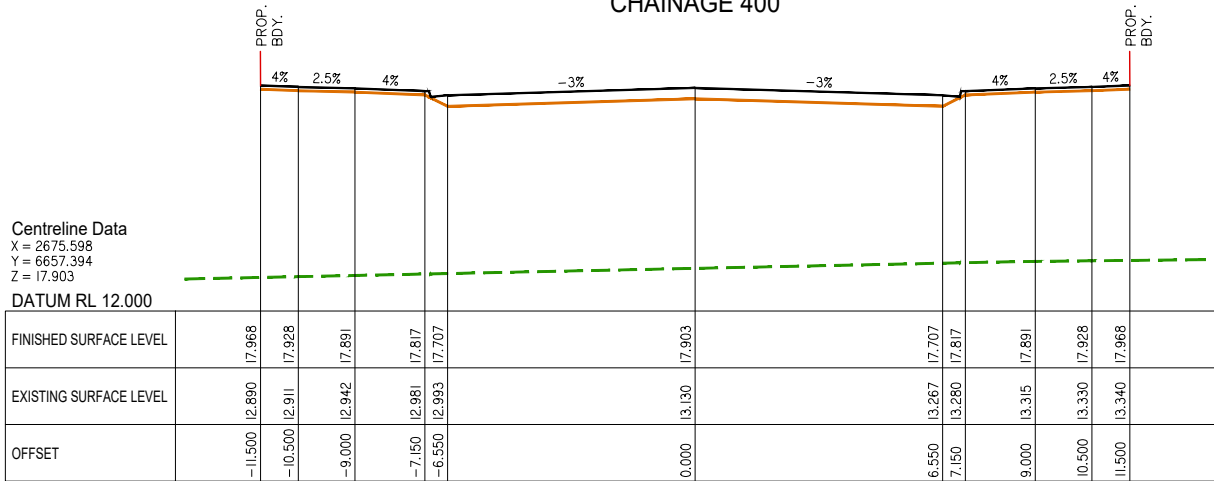
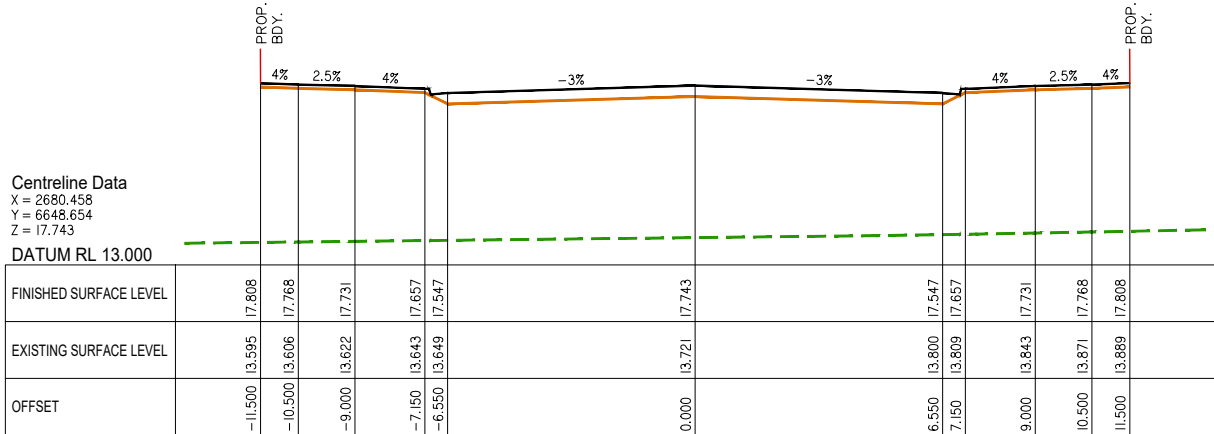
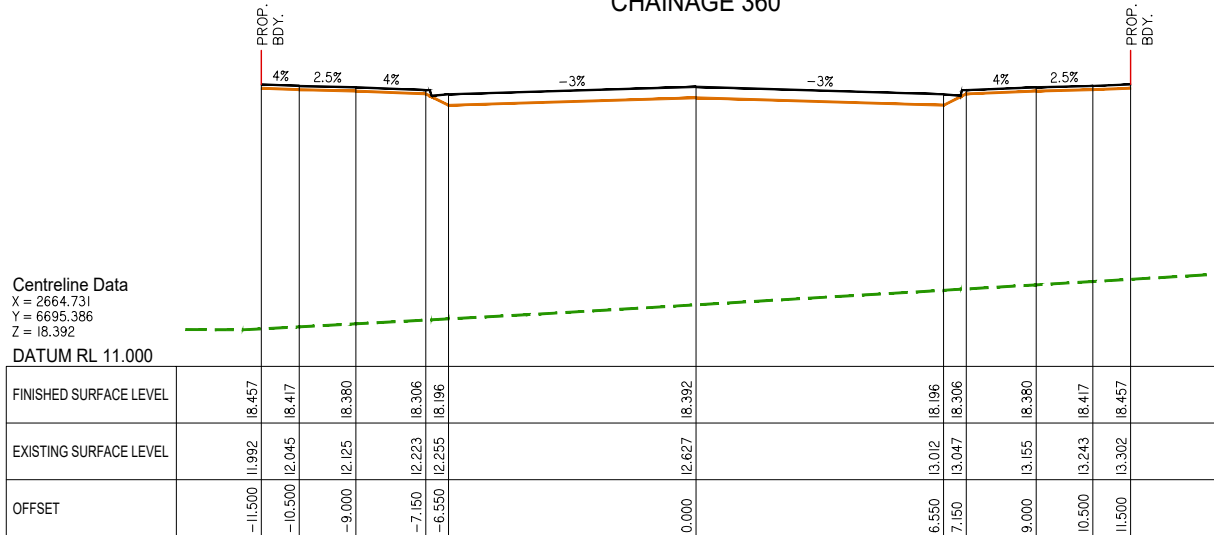
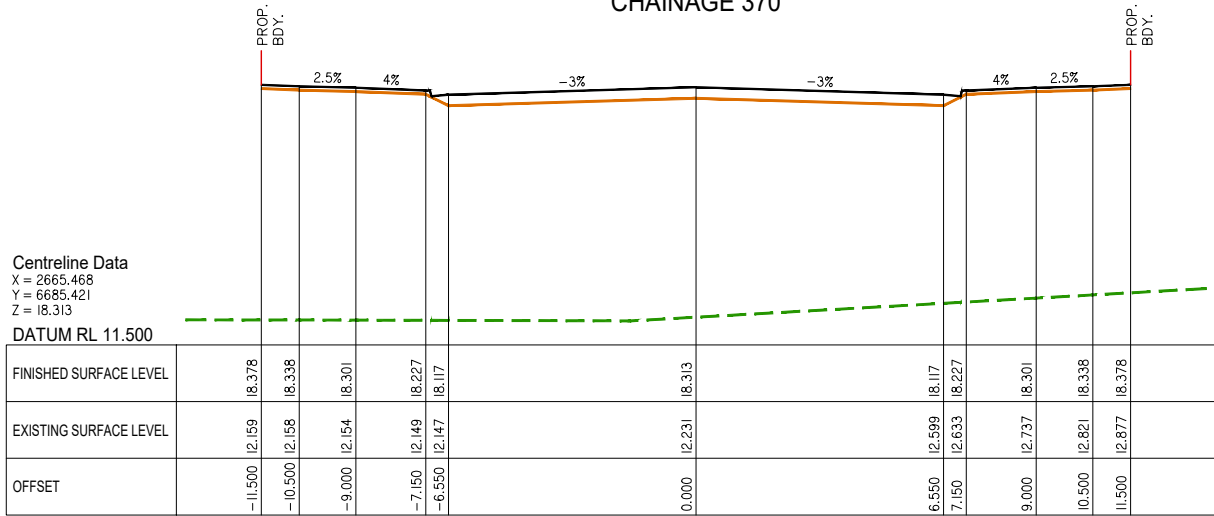
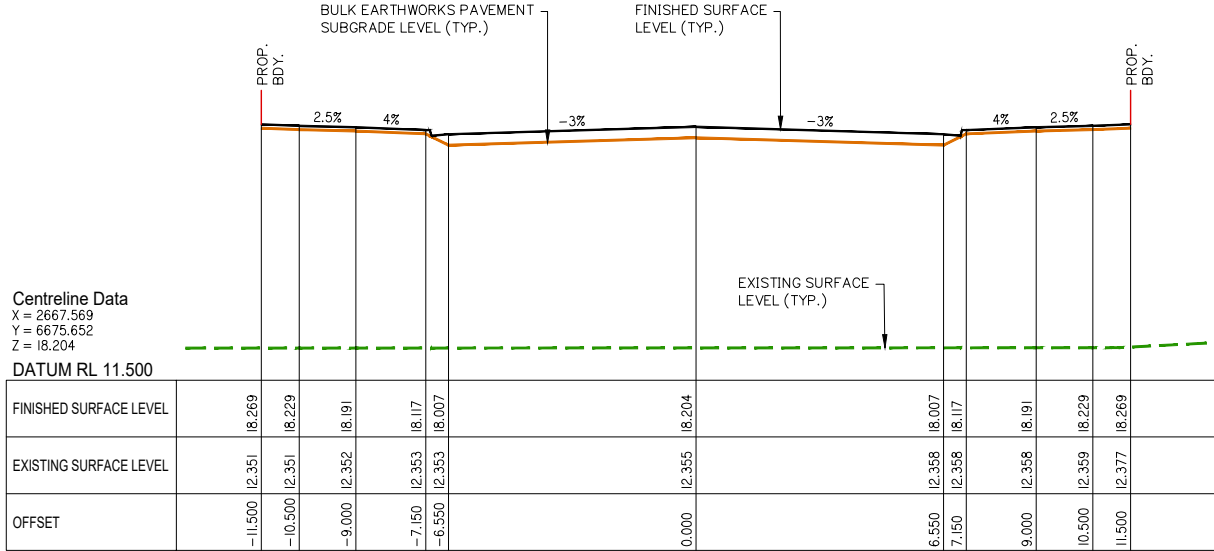


PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
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Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
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RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE

FAIRWAY STREET CROSS
SECTIONS SHEET 2 OF 4

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
A	20-11-2020	ORIGINAL ISSUE	BA	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES

Scale 1:100 - Lengths are in Metres.
HOZ: 0 1 2 3 4 5 6 7 8

Scale 1:100 - Lengths are in Metres.
VERT: 0 1 2 3 4 5 6 7 8

Scale at A1: AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No:
5941 ENG BE2 439

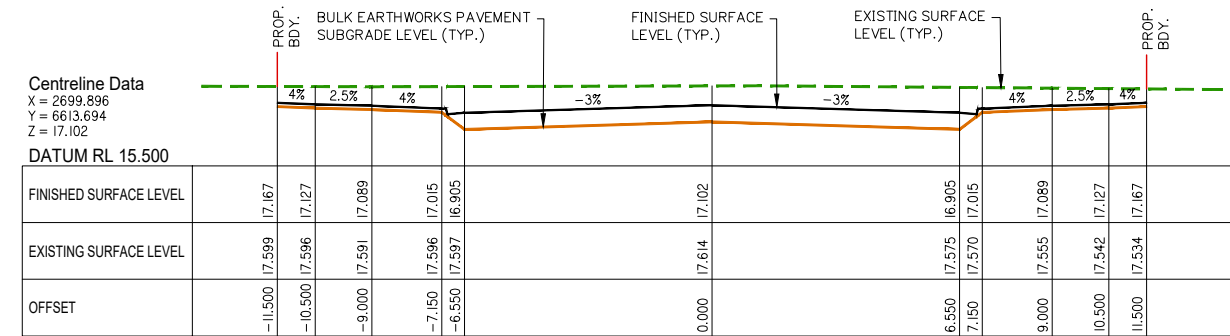
Rev. No:
B

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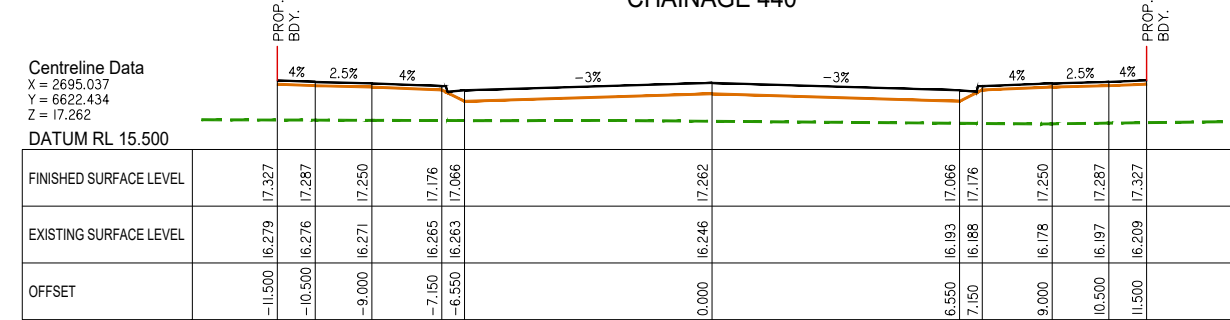
Application No.: MIN/2022/245

Dated: 15 July 2022

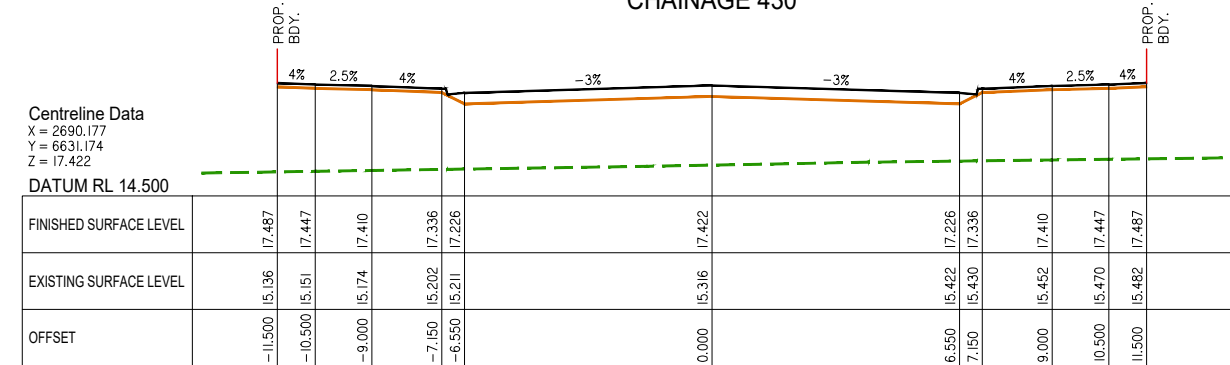
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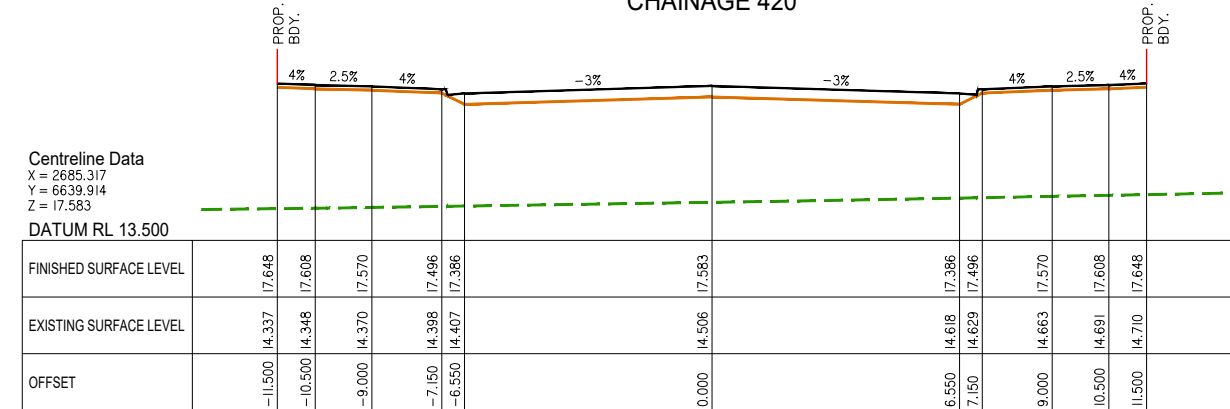
CHAINAGE 440



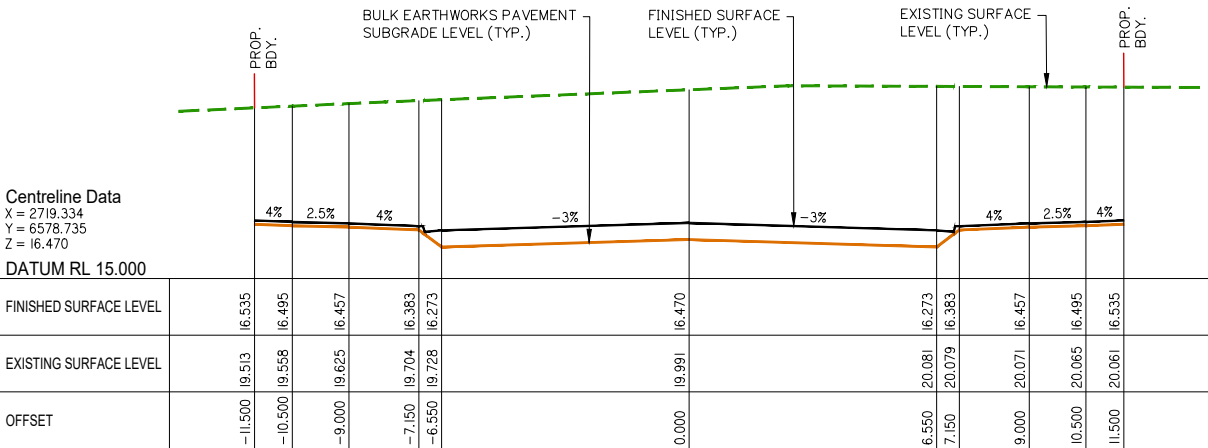
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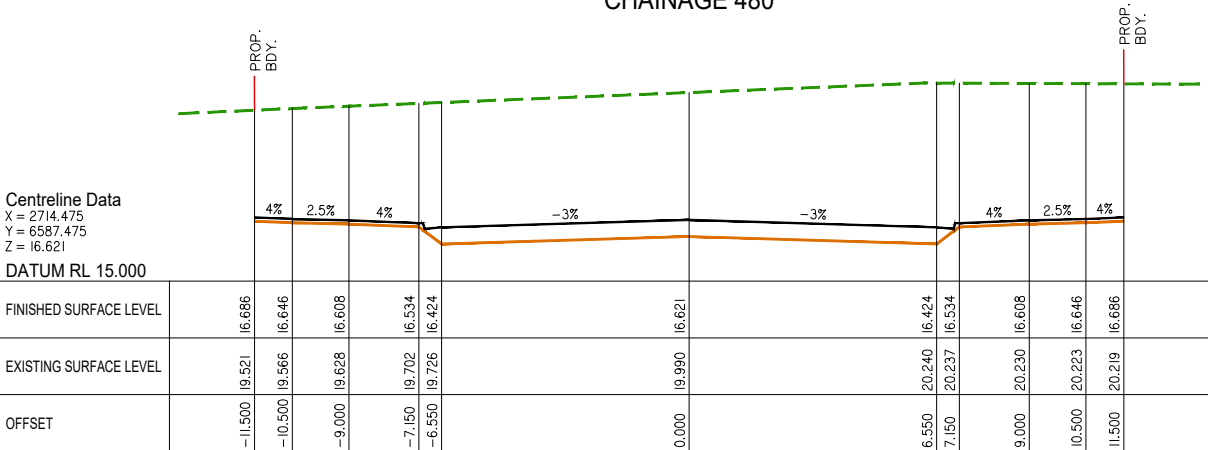
CHAINAGE 420



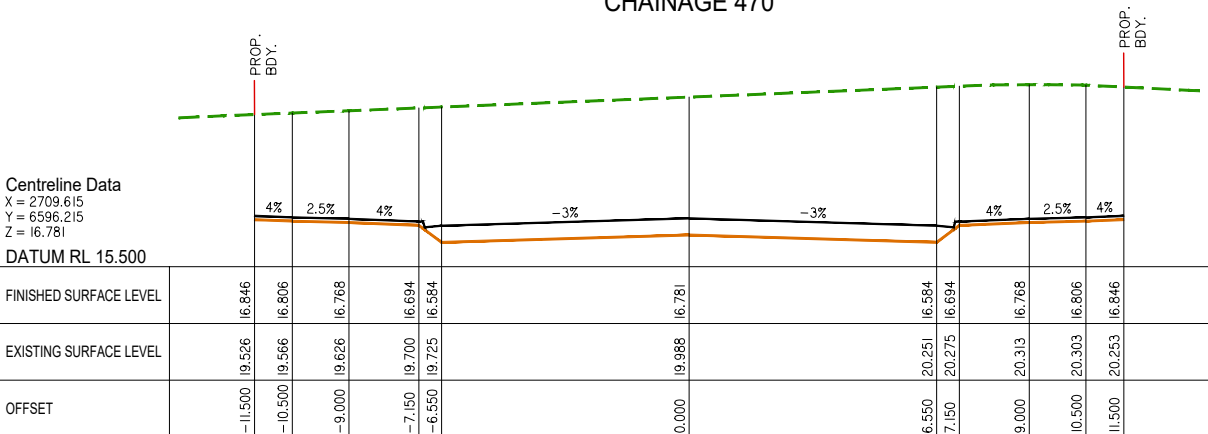
CHAINAGE 410



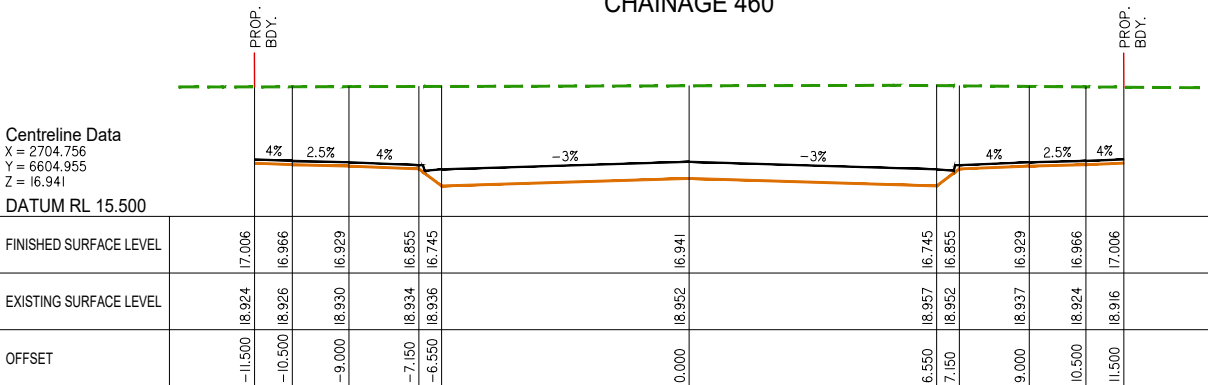
CHAINAGE 480



CHAINAGE 470



CHAINAGE 460



CHAINAGE 450

Client:



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Project:

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DRAWING TITLE

FAIRWAY STREET CROSS
SECTIONS SHEET 3 OF 4

Rev.	Date	Description	By	Check
B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
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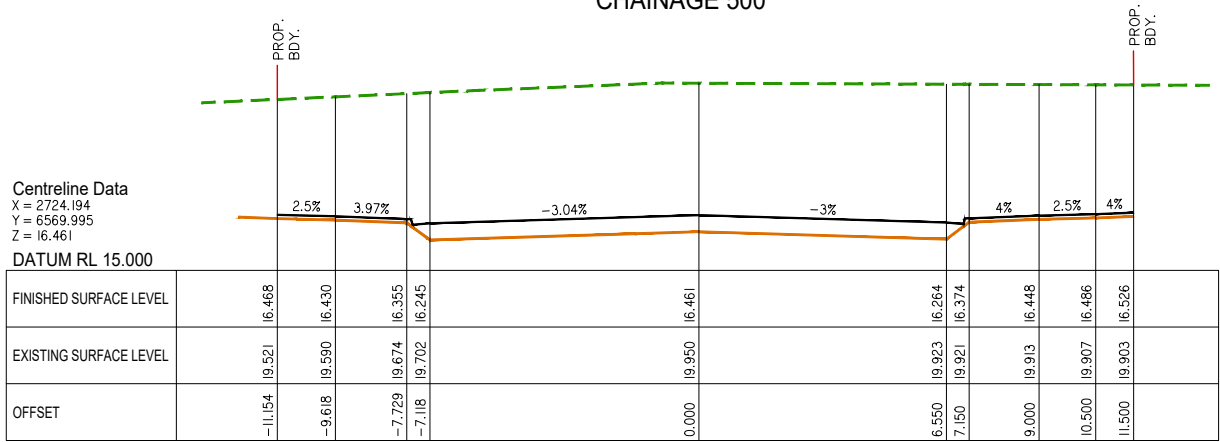
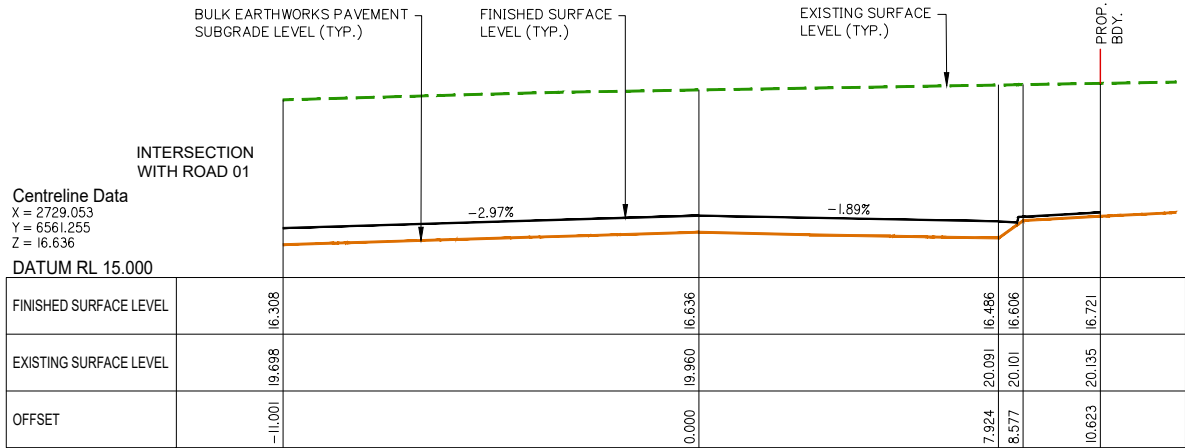
Scale at A1:

AS SHOWN

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No: 5941 ENG BE2 440
Rev. No: B

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B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MC
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Issue	Date	Description	DRN	CH

Scale 1:100 - Lengths are in Metres.

VERT: 

Scale at A1: AS SHOWN

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Date:	24-09-2021

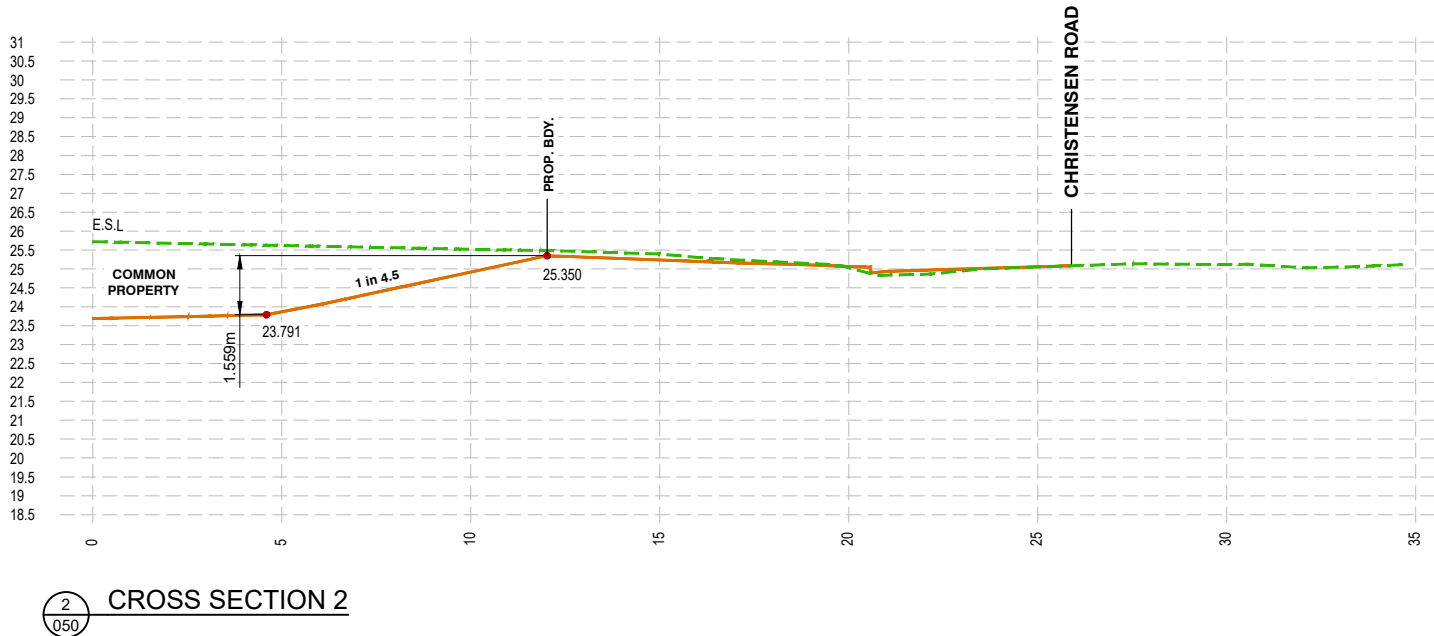
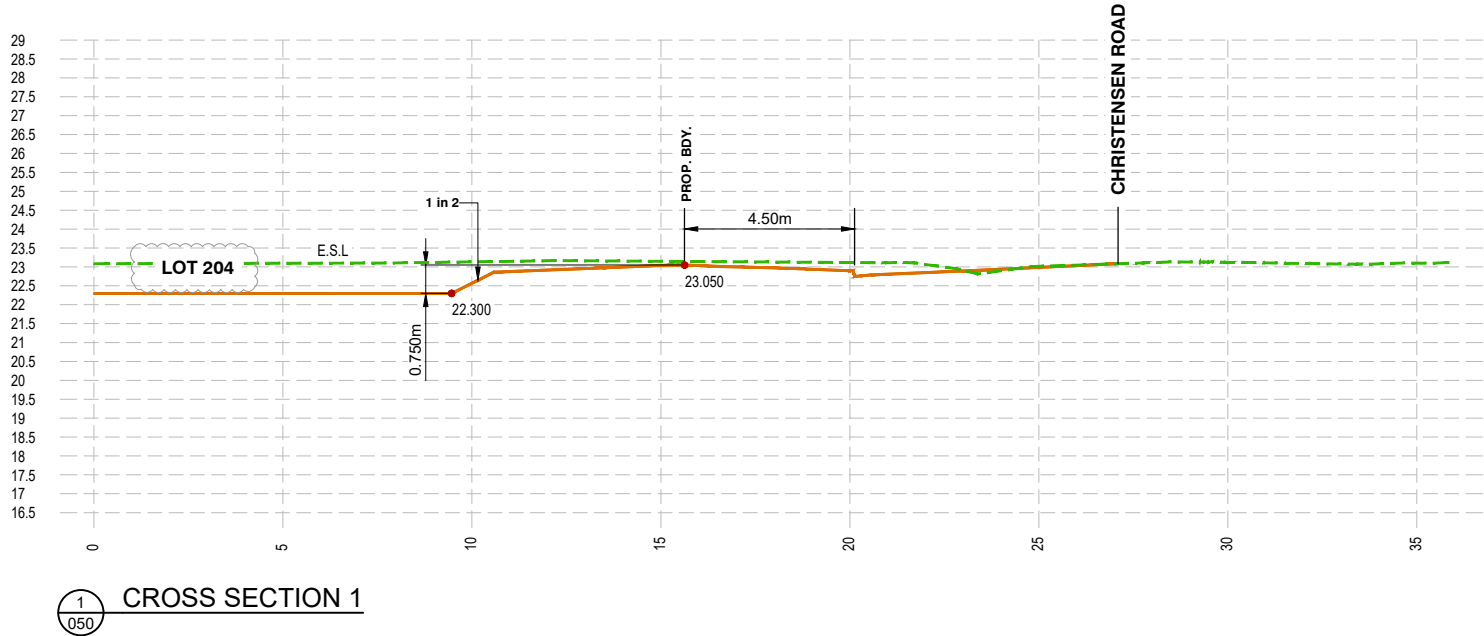
Drawing No:	Rev. No:
5941 ENG BE2 441	B

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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DRAWING TITLE

ROAD USER SAFETY CROSS
SECTIONS - SHEET 1 OF 5

C	24-06-2022	LOT NUMBER AMENDED	LAB	MG
B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
A	15-02-2021	ORIGINAL ISSUE	BA	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES



1:100 (FULL SIZE A1)
1:200 (HALF SIZE A3)

Scale at A1: 1:100

Designed: IG

Drafted: IG BA / LAB

Approved: MG

RPEQ: 16939

Signed:

Date: 24-06-2022

Drawing No:
5941 ENG BE2 442

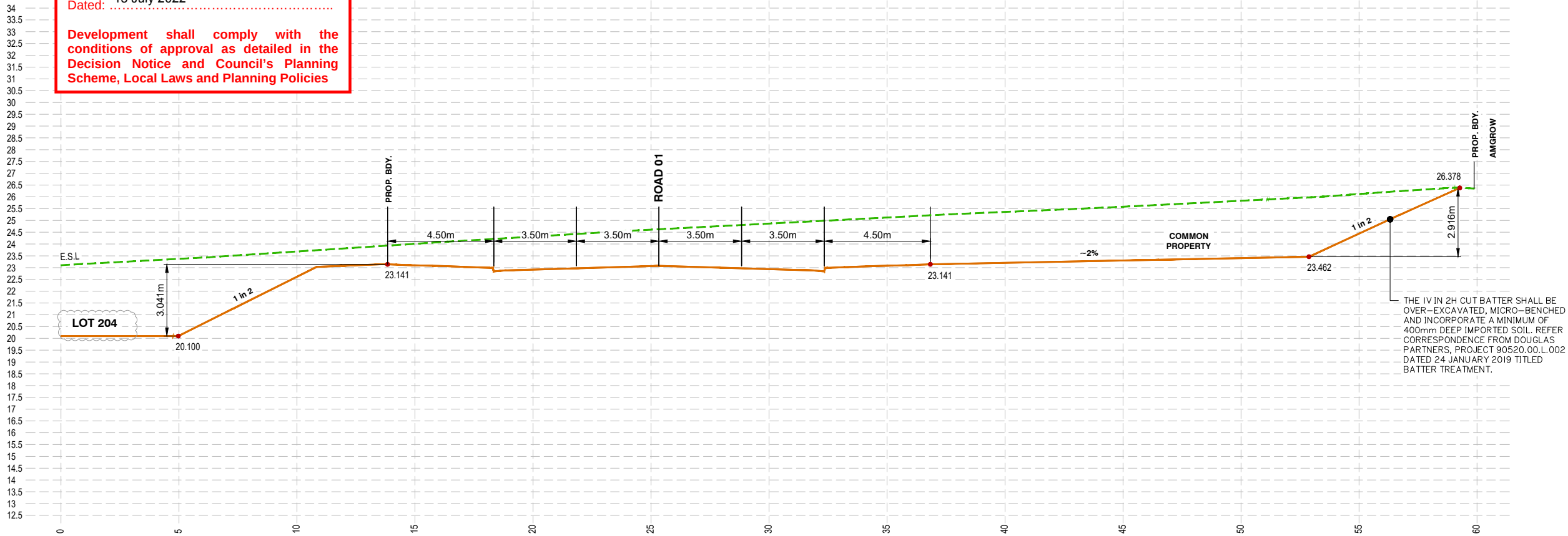
Rev. No:
C

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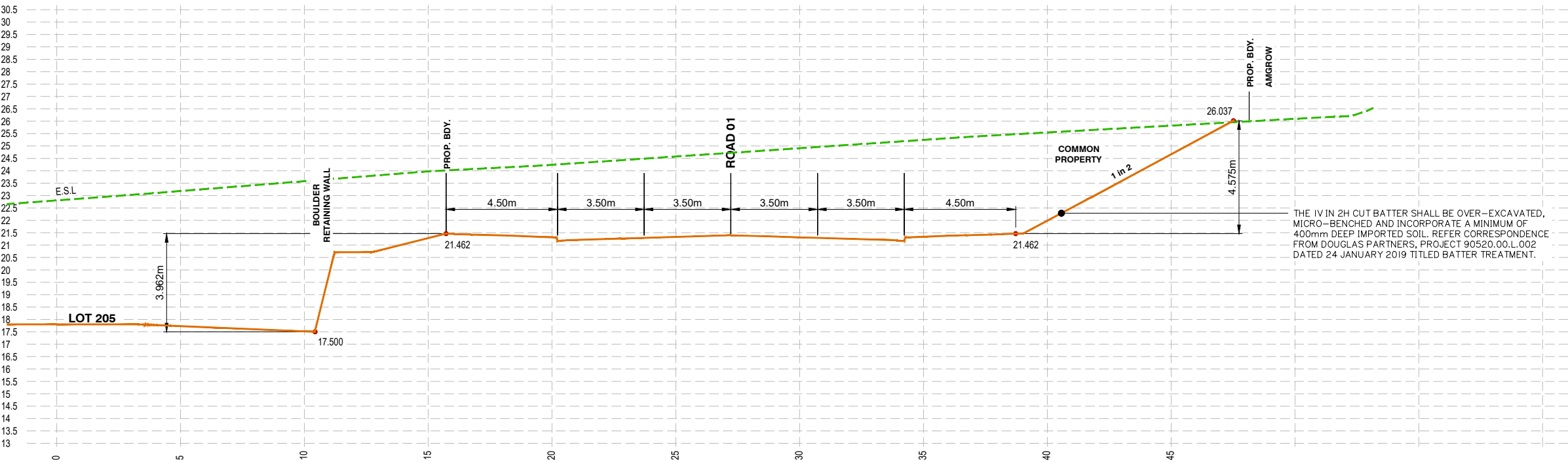
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3 CROSS SECTION 3
050



4 CROSS SECTION 4
050

Client:



Project:

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STAGE 2

Site Address:

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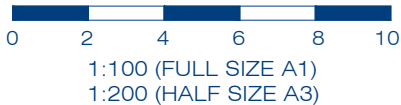
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DRAWING TITLE

ROAD USER SAFETY CROSS
SECTIONS - SHEET 2 OF 5

D	24-06-2022	LOT NUMBER AMENDED	LAB	MG
C	10-11-2021	LOT 205 RETAINING WALLS ADDED	IG	MG
B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
A	15-02-2021	ORIGINAL ISSUE	BA	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES



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Designed:	IG
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Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-06-2022

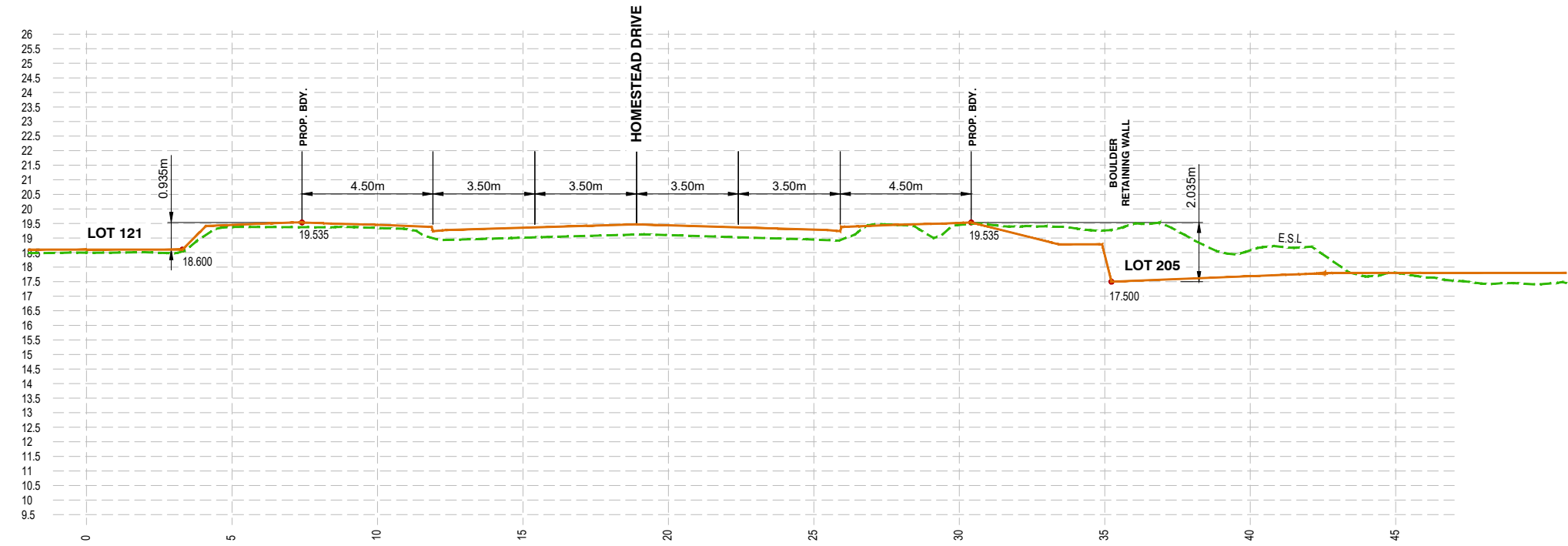
Drawing No: 5941 ENG BE2 443 Rev. No: D

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

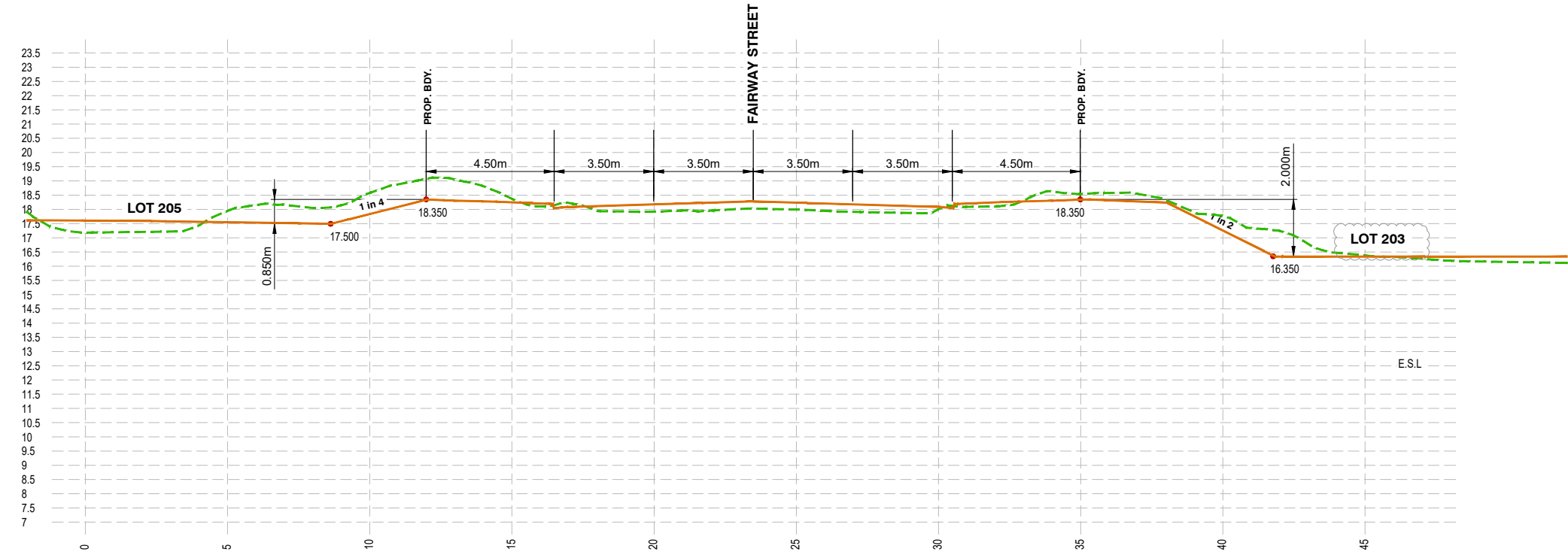
Application No: MIN/2022/245

Dated: 15 July 2022

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5
050 CROSS SECTION 5



6
051 CROSS SECTION 6



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Project:

VantageYatala
STAGE 2

Site Address:

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ROAD, STAPYLTON QLD 4207

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RPD:

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Plan: SP316137
Local Authority: CITY OF GOLD COAST
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ROAD USER SAFETY CROSS
SECTIONS - SHEET 3 OF 5

D	24-06-2022	LOT NUMBER AMENDED	LAB	MG	
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A	15-02-2021	ORIGINAL ISSUE	BA	MG	
Issue	Date	Description	DRN	CHK	

SCALE IN METRES



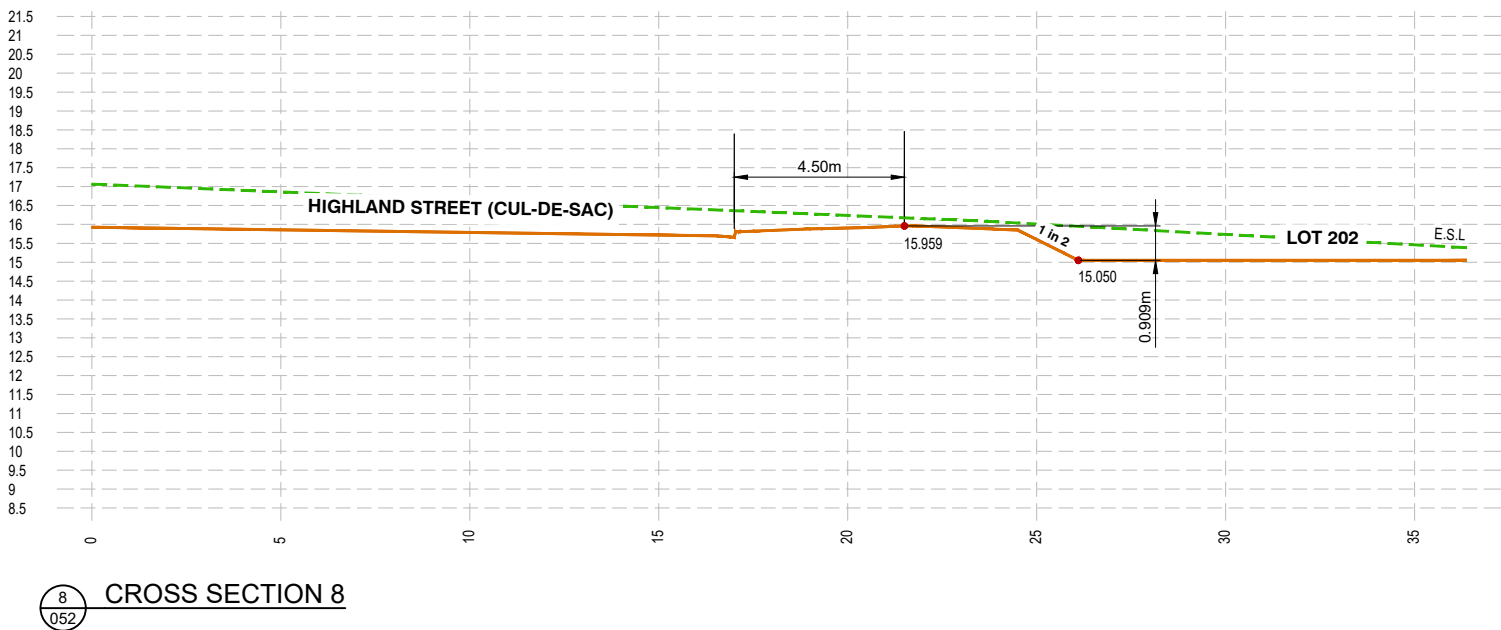
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1:200 (HALF SIZE A3)

Scale at A1: 1:100

Designed:	IG
Drafted:	IG BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-06-2022

Drawing No: 5941 ENG BE2 444 Rev. No: D

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



Drawing No:	Rev. No:
5941 ENG BE2 445	C

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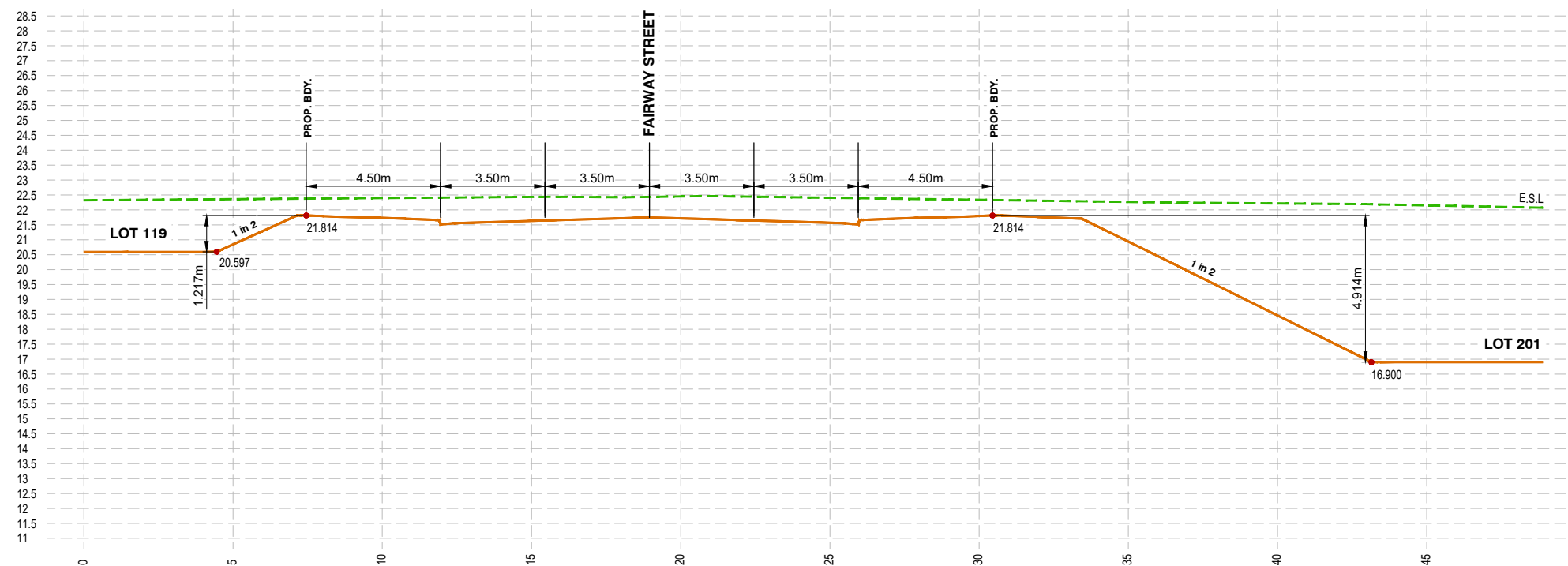
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Local Authority:	CITY OF GOLD COAST COUNCIL
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DRAWING TITLE

ROAD USER SAFETY CROSS
SECTIONS - SHEET 5 OF 5

CROSS SECTION 9

ROAD USER SAFETY CROSS SECTIONS – SHEET 5 OF 5

B	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MO
A	15-02-2021	ORIGINAL ISSUE	BA	MO
Issue	Date	Description	DRN	CH

SCALE IN METRES



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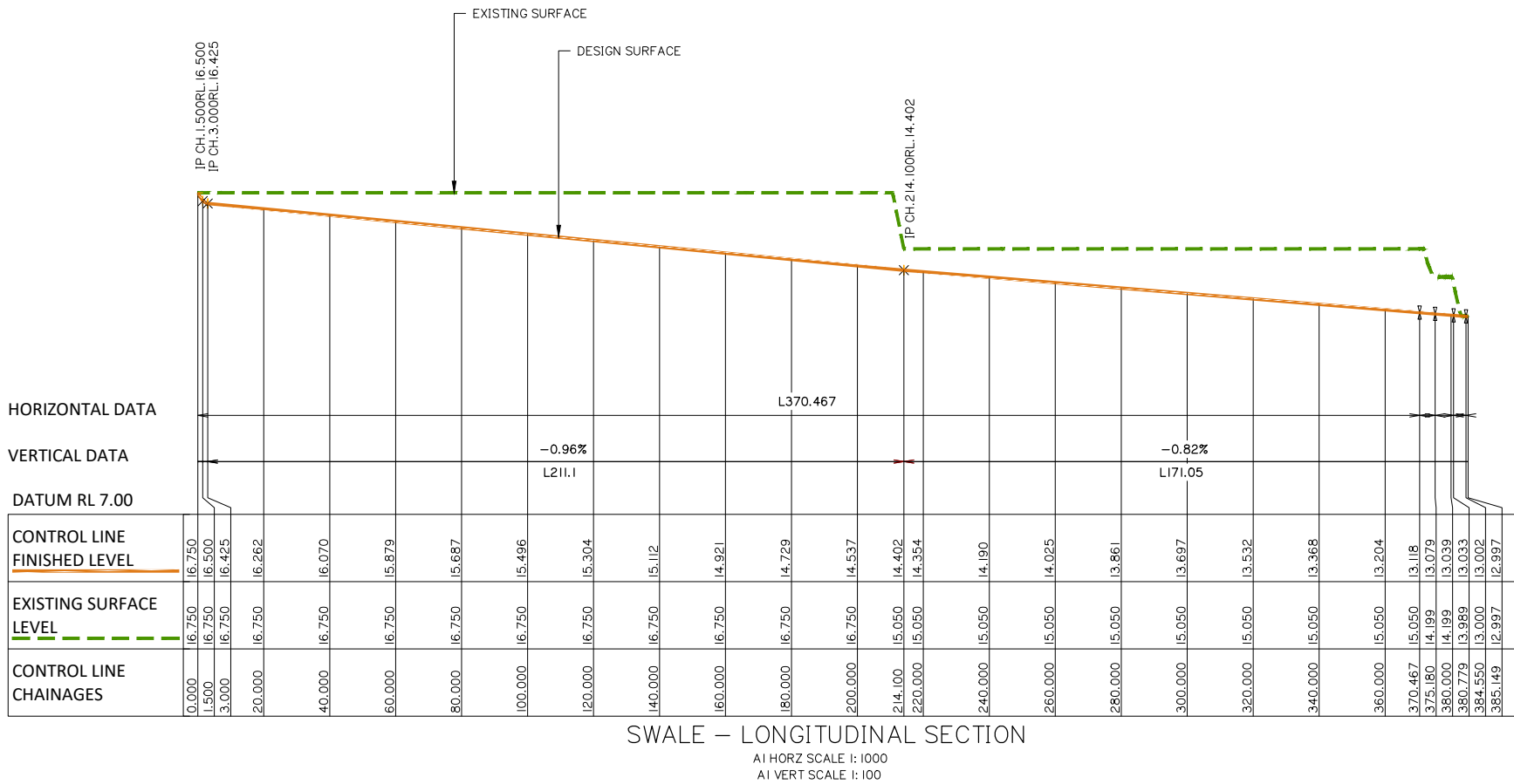
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Designed:	IG
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Drawing No:	Rev. No:
5941 ENG BE2 446	B

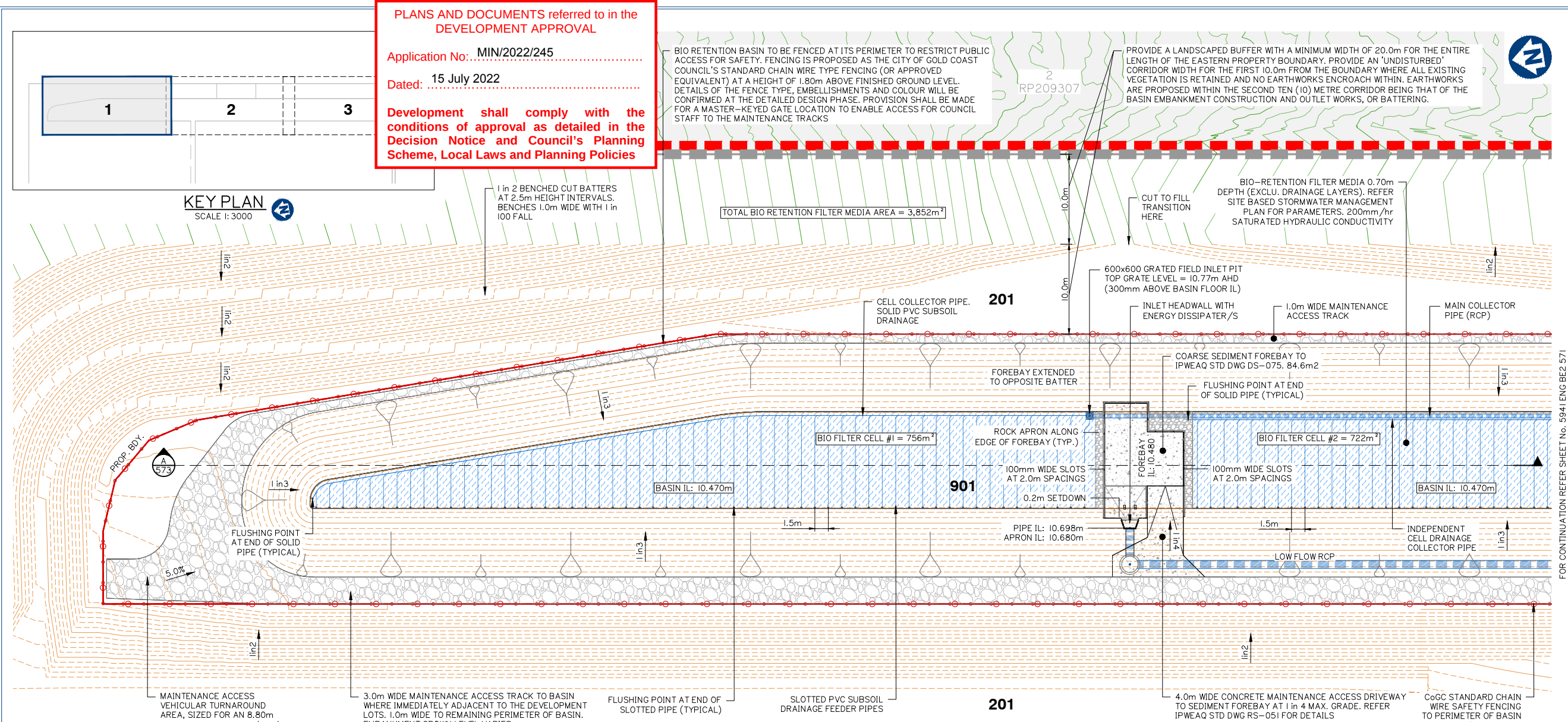
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SWALE – CONTROL LINE								
PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL	A.LENGTH	DEFL.ANGLE
IP 1	0.000	2698.826	6808.023	16.750	99°13'15.50"			
	20.000	2718.567	6804.818	16.262	99°13'15.50"			
	40.000	2738.309	6801.613	16.070	99°13'15.50"			
	60.000	2758.050	6798.409	15.879	99°13'15.50"			
	80.000	2777.792	6795.204	15.687	99°13'15.50"			
	100.000	2797.533	6791.999	15.496	99°13'15.50"			
	120.000	2817.275	6788.794	15.304	99°13'15.50"			
	140.000	2837.017	6785.589	15.112	99°13'15.50"			
	160.000	2856.758	6782.384	14.921	99°13'15.50"			
	180.000	2876.500	6779.179	14.729	99°13'15.50"			
	200.000	2896.241	6775.975	14.537	99°13'15.50"			
	220.000	2915.983	6772.770	14.354	99°13'15.50"			
	240.000	2935.724	6769.565	14.190	99°13'15.50"			
	260.000	2955.466	6766.360	14.025	99°13'15.50"			
	280.000	2975.207	6763.155	13.861	99°13'15.50"			
	300.000	2994.949	6759.950	13.697	99°13'15.50"			
	320.000	3014.691	6756.746	13.532	99°13'15.50"			
	340.000	3034.432	6753.541	13.368	99°13'15.50"			
	360.000	3054.174	6750.336	13.204	99°13'15.50"			
TC	370.467	3064.506	6748.659	13.118	99°13'15.50"			
IP 2	372.824	3067.467	6748.178	13.098		R = -3.000	4.713	90°00'28.56"
CT	375.180	3067.948	6751.139	13.079	9°12'46.95"			
	380.000	3068.719	6755.897	13.039	9°12'46.95"			
TC	380.779	3068.844	6756.666	13.033	9°12'46.95"			
IP 3	382.664	3069.229	6759.036	13.018		R = 2.400	3.770	90°00'26.57"
CT	384.550	3071.598	6758.651	13.002	99°13'13.51"			
IP 4	385.149	3072.189	6758.555	12.997	99°13'13.51"			



SWALE LONGITUDINAL SECTION AND SETOUT TABLE

Rev. No:
A



DETENTION BASIN VOLUME TABLE *

- 14,789m³ TO CROWN (RL. 12.651)
- 8,076m³ TO 1% AEP WSL (RL. 11.946)
- 5,073m³ TO WEIR LEVEL (RL. 11.570)

* DEDUCTING 0.30m EXTENDED DETENTION VOLUME OF 1,446m³

BIO-RETENTION NOTES:

MINIMUM BIO-RETENTION 'PROFILE' IS TO BE 1.10m AND IS TO CONSIST OF THE FOLLOWING:

* 0.70 OF SANDY LOAM MATERIAL WITH A HYDRAULIC CONDUCTIVITY OF 200mm/h AND A PARTICLE SIZE OF 0.45-0.50mm.

* 0.15m OF COURSE SAND. PARTICLE SIZE TYPICALLY 0.5-2.0mm.

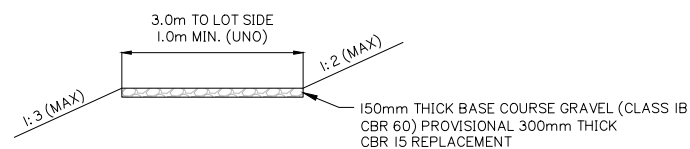
* 0.25m OF GRAVEL DRAINAGE. PARTICLE SIZE 5-7mm SCREENING.

BIO RETENTION - COARSE SEDIMENT FOREBAY SIZING GUIDE CALCULATIONS	
$V_s = A_c \times R \times L_o \times F$	= 11.0722m ³
$R = 1 - \left[1 + \frac{1}{n} \times \frac{V_s}{Q/A_f} \right]^n$	
$0.8 = 1 - \left[1 + \frac{0.10}{0.5 \times 2.7508/A_f} \right]^{-0.5}$	$A_f = 330.1 \text{ m}^2$
$D_s = \frac{V_s}{A_f}$	$D_s = \frac{11.0722}{330.1} = 0.034 \text{ m}$
OPTIMIZATION OF MINIMUM FOREBAY SIZE:	
$D_s = \frac{11.0722 \text{ m}^3}{253.977 \text{ m}^2}$	= 0.044 m
CALCULATED FOR 3 FOREBAYS AT 84.659m ² ea.	
$V_s = 11.0722 \text{ m}^3$ (Workings Above)	
$A_c = 23.067 \text{ ha}$ (Refer Catchment Plans)	
UNMITIGATED POST-DEVELOPMENT FLOW $Q = 2.7508 \text{ m}^3/\text{s}$ (3 month ARI)	
$V_s = 0.1 \text{ m}^3/\text{s}$ (Recommended for Imm Particle)	
$R = 0.8$ (Recommended 80% Capture)	
$L_o = 0.6$ (From Healthy Waterways Guide)	
$n = 0.5$ (Recommended Turbulence)	
$F_c = 1.0$ (Frequency of Clean Out / Yr)	
REFER TO BIO RETENTION TECHNICAL DESIGN GUIDELINES FOR FURTHER INFORMATION	

AEP (%)	MAX. WATER ELEVATION (m) A.H.D.	MAX. WATER DEPTH (m)
63.2	11.484	1.014
0.5EY	11.627	1.157
20	11.722	1.252
10	11.789	1.319
5	11.844	1.374
2	11.902	1.432
1	11.946	1.476

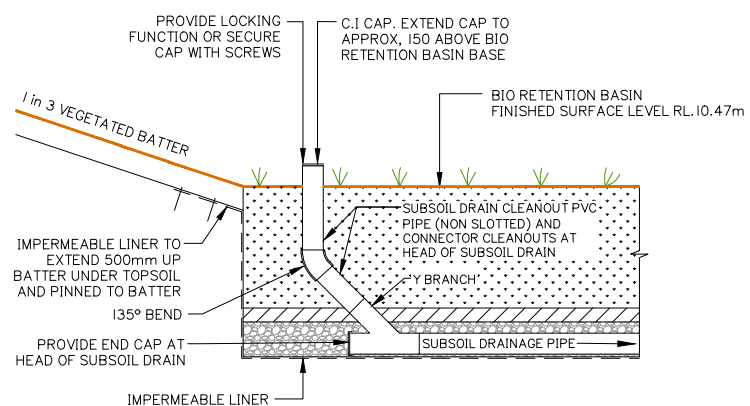
BIORETENTION BASIN I LAYOUT PLAN

SCALE 1: 250 (A1)



MAINTENANCE ACCESS TRACK - TYPICAL SECTION

N.T.S. UNO DENOTES 'UNLESS NOTED OTHERWISE'

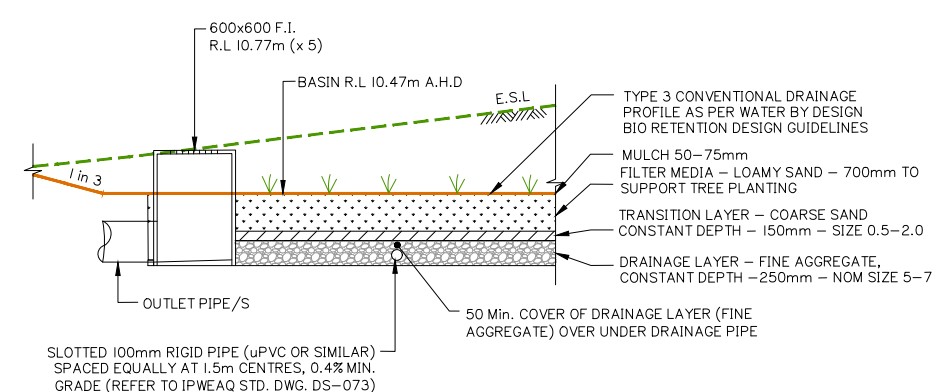
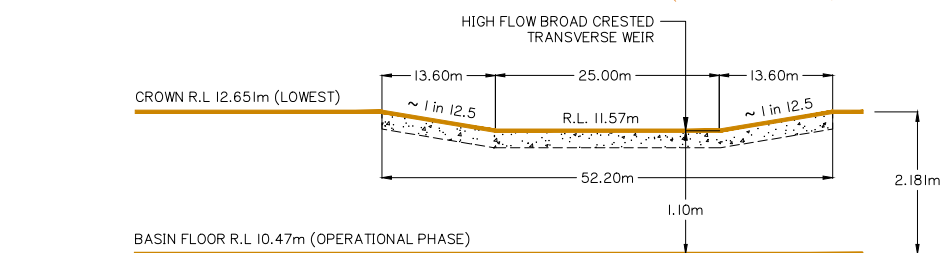


SUBSOIL DRAIN CLEANOUT - IN BASIN

N.T.S.

WEIR / SPILLWAY - TYPICAL ELEVATION

N.T.S.



TYPICAL BIO-RETENTION BASIN DETAIL

N.T.S.

Client:



Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
OPERATIONAL PHASE
BIORETENTION BASIN
SHEET 1 OF 4

D	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
C	31-03-2021	INFORMATION REQUEST RESPONSE	IG	MG
B	15-02-2021	INFORMATION REQUEST RESPONSE	IG	MG
A	20-11-2020	ORIGINAL ISSUE	BA	MG
Issue	Date	Description	BA	CHK

SCALE IN METRES



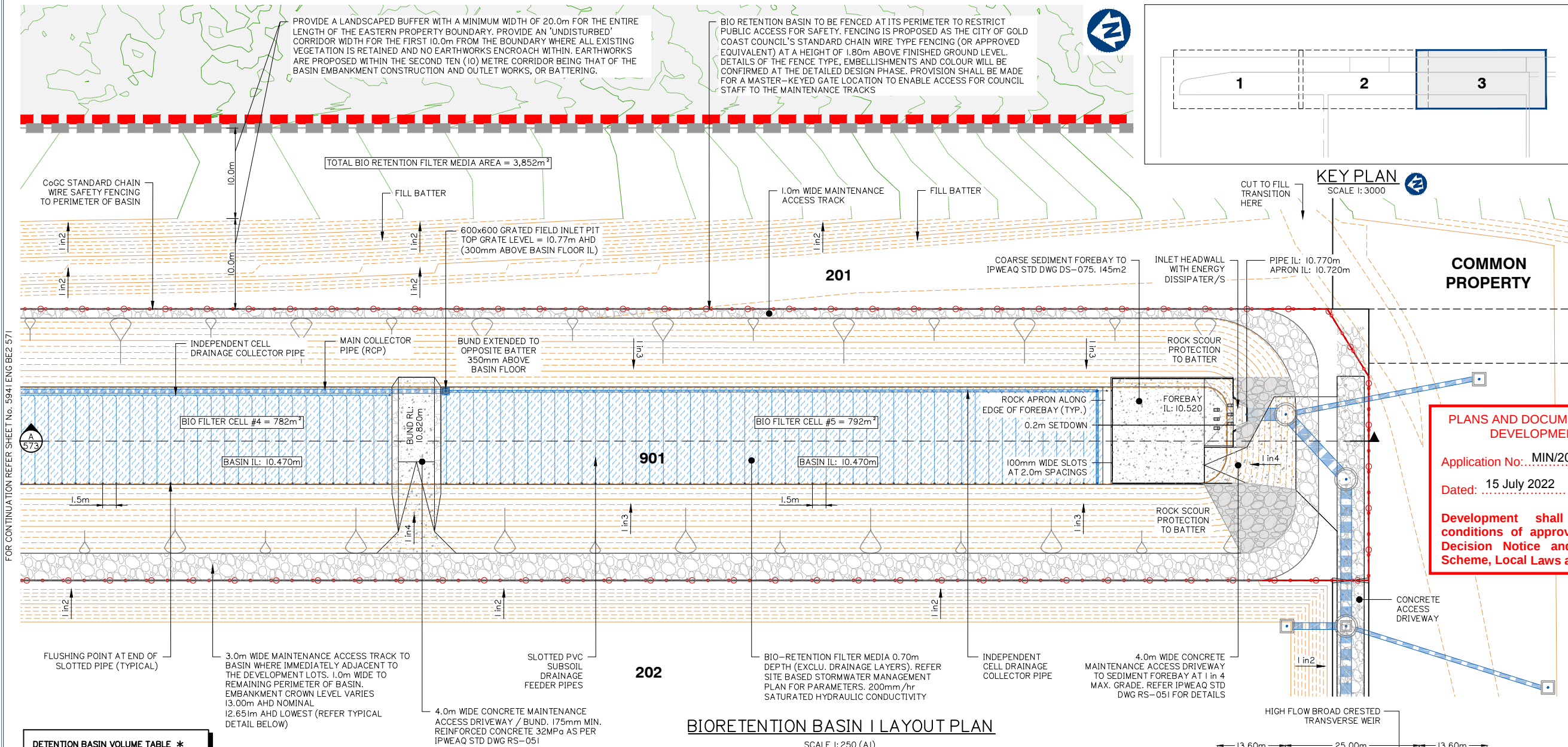
1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1:	1:250
Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No: 5941 ENG BE2 570
Rev. No: D



FOR CONTINUATION REFER SHEET No. 5941 ENG BE2 571



DETENTION BASIN VOLUME TABLE *

- 14,789m³ to CROWN (RL.12.651)
- 8,076m³ to 1% AEP WSL (RL.11.946)
- 5,073m³ to WEIR LEVEL (RL.11.570)

* DEDUCTING 0.30m EXTENDED DETENTION VOLUME OF 1,446m³

BIO-RETENTION NOTES:

MINIMUM BIO-RETENTION 'PROFILE' IS TO BE 1.10m AND IS TO CONSIST OF THE FOLLOWING:

* 0.70 OF SANDY LOAM MATERIAL WITH A HYDRAULIC CONDUCTIVITY OF 200mm/h AND A PARTICLE SIZE OF 0.45-0.50mm.

* 0.15m OF COURSE SAND. PARTICLE SIZE TYPICALLY 0.5-2.0mm.

* 0.25m OF GRAVEL DRAINAGE. PARTICLE SIZE 5-7mm SCREENING.

BIO RETENTION - COARSE SEDIMENT FOREBAY SIZING GUIDE CALCULATIONS

$$V_s = A_c \times R \times L_o \times F = 6.495 \text{ m}^3$$

$$R = 1 - \left[1 + \frac{1.1 \times V_s}{0.7 A_c} \right]^{-n}$$

$$0.8 = 1 - \left[1 + \frac{0.10}{0.5 \times 1.6156/A_c} \right]^{-0.5} \quad A_c = 193.87 \text{ m}^2$$

$$D_s = \frac{V_s}{A_c} \quad D_s = \frac{6.495}{193.868} = 0.034 \text{ m}$$

OPTIMIZATION OF MINIMUM FOREBAY SIZE:

$$D_s = \frac{6.495 \text{ m}^3}{145.007 \text{ m}^2} = 0.045 \text{ m}$$

CALCULATED FOR 1 FOREBAY AT 145.007m²

$V_s = 11.0722 \text{ m}^3$ (Workings Above)

$A_c = 13.532 \text{ ha}$ (Refer Catchment Plans)

UNMITIGATED POST-DEVELOPMENT FLOW $Q = 1.61557 \text{ m}^3/\text{s}$ (3 month ARI)

$V_s = 0.1 \text{ m/s}$ (Recommended for Imm Particle)

$R = 0.8$ (Recommended 80% Capture)

$L_o = 0.6$ (From Healthy Waterways Guide)

$n = 0.5$ (Recommended Turbulence)

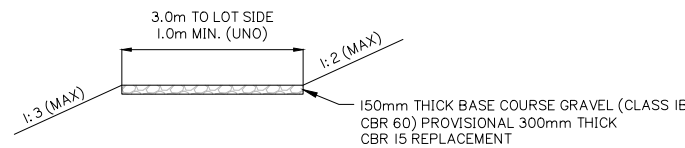
$F_c = 1.0$ (Frequency of Clean Out / Yr)

REFER TO BIO RETENTION TECHNICAL DESIGN GUIDELINES FOR FURTHER INFORMATION

AEP (%)	MAX. WATER ELEVATION (m) A.H.D.	MAX. WATER DEPTH (m)
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1	11.946	1.476

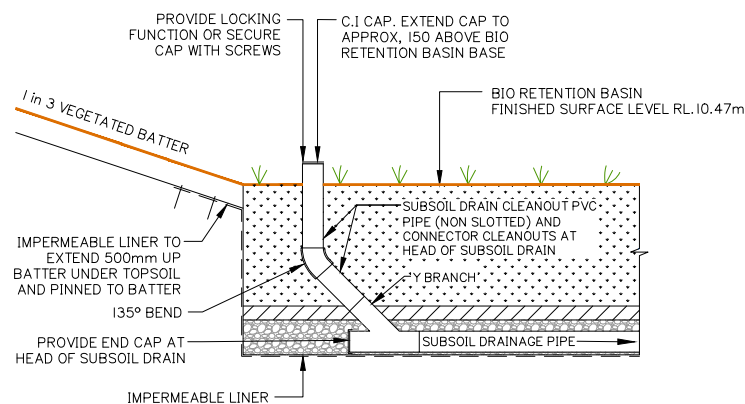
BIORETENTION BASIN LAYOUT PLAN

SCALE 1:250 (A1)



MAINTENANCE ACCESS TRACK - TYPICAL SECTION

N.T.S. UNO DENOTES 'UNLESS NOTED OTHERWISE'

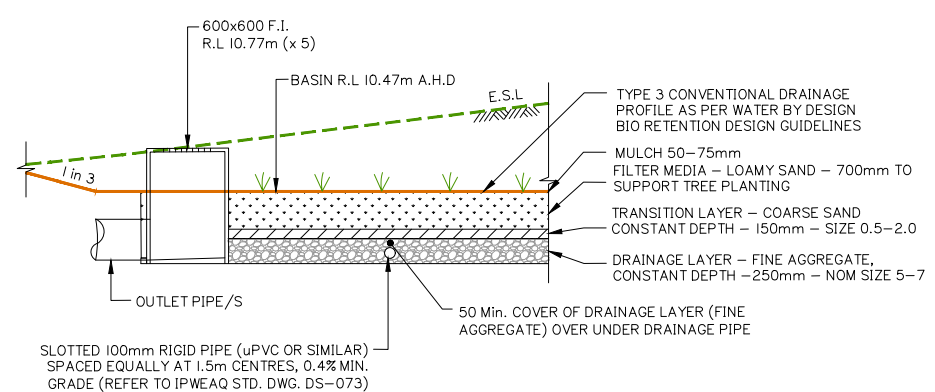
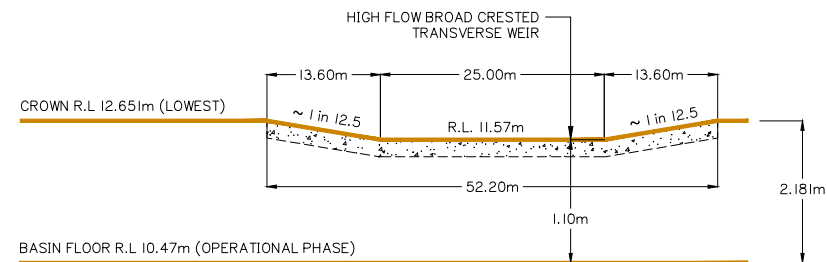


SUBSOIL DRAIN CLEANOUT - IN BASIN

N.T.S.

WEIR / SPILLWAY - TYPICAL ELEVATION

N.T.S.



TYPICAL BIO-RETENTION BASIN DETAIL

N.T.S.

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No.: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
conditions of approval as detailed in the
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Scheme, Local Laws and Planning Policies

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE OPERATIONAL PHASE BIORETENTION BASIN SHEET 3 OF 4

D	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
C	31-03-2021	INFORMATION REQUEST RESPONSE	IG	MG
B	15-02-2021	INFORMATION REQUEST RESPONSE	IG	MG
A	20-11-2020	ORIGINAL ISSUE	BA	MG
ISSUE	Date	Description	BA	CHK

SCALE IN METRES



1:250 (FULL SIZE A1)
1:500 (HALF SIZE A3)

Scale at A1: 1:250

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No:
5941 ENG BE2 572

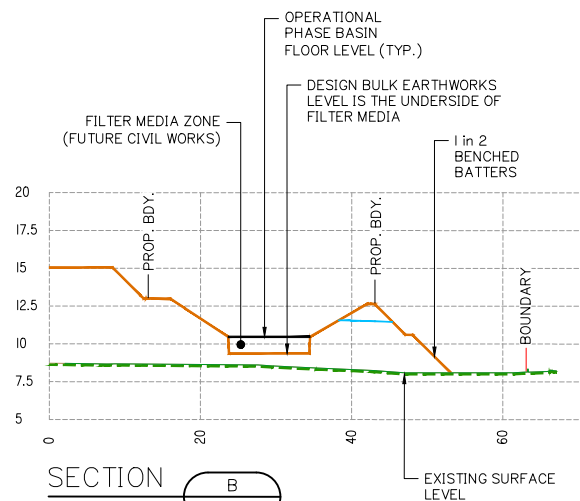
Rev. No:
D

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

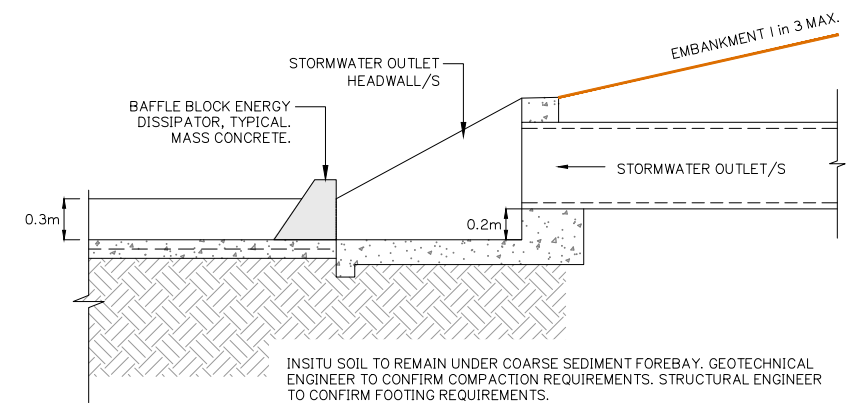
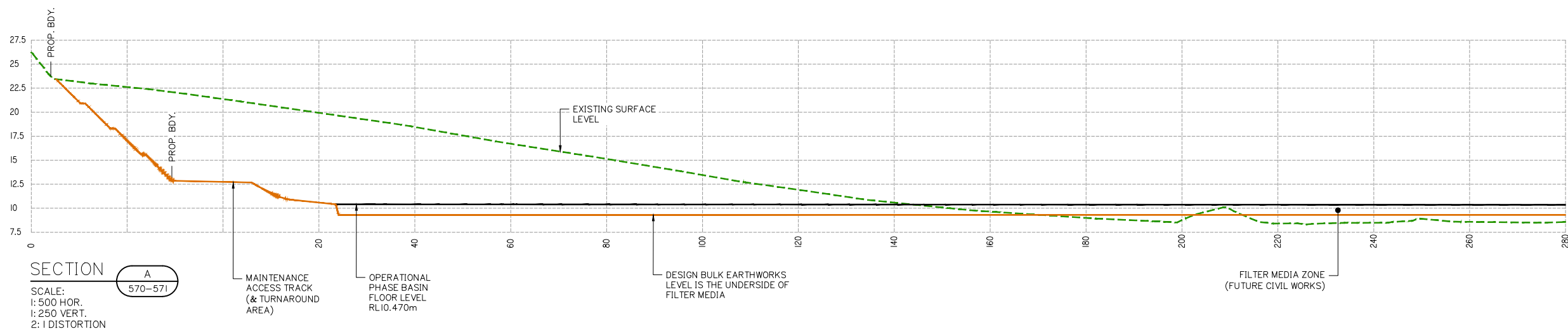
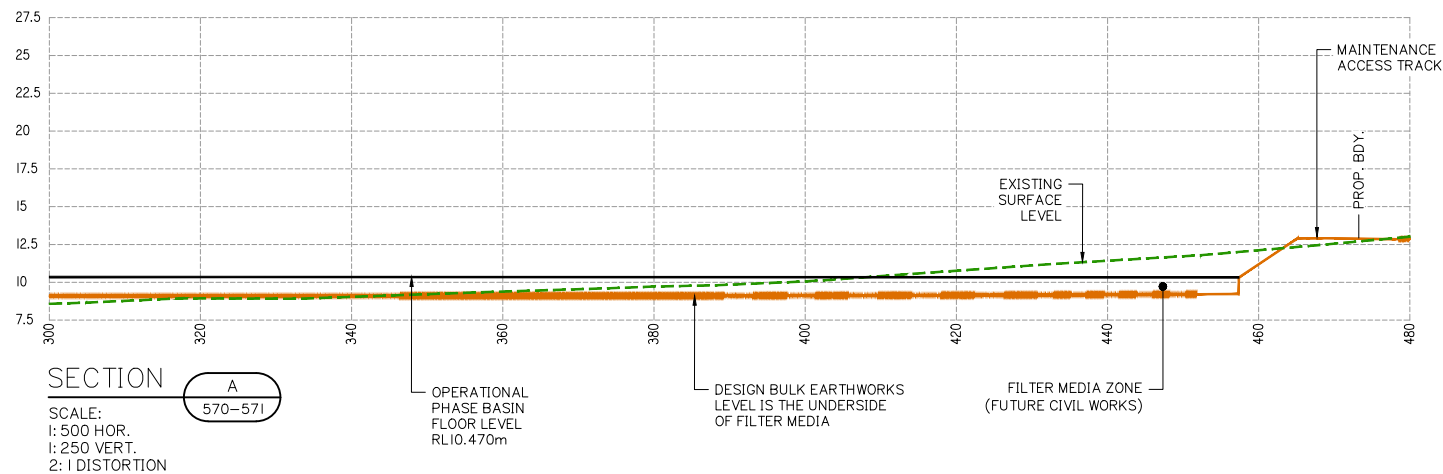
Dated: 15 July 2022

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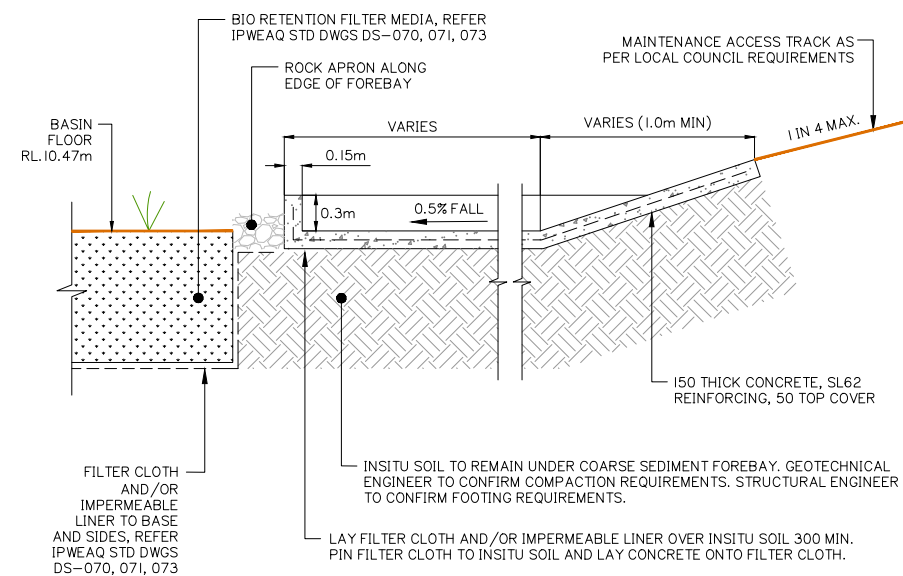
NOTE:

- I. BASIN INUNDATION DEPTHS OMITTED FROM CROSS SECTIONS FOR CLARITY. REFER TO CALCULATION TABLES ON DRAWINGS 5941 ENG BE2 570-572



TYPICAL STORMWATER OUTLET TO SEDIMENT FOREBAY

N.T.S.



COARSE SEDIMENT FOREBAY TYPICAL SECTION

N.T.S.



planning | environment | landscape | engineering | survey
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Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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RPD:

Lot: 502
Plan: SP316137
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RL: -

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DRAWING TITLE
OPERATIONAL PHASE
BIORETENTION BASIN
SHEET 4 OF 4

C	24-09-2021	EXTENT OF STAGE 2 EARTHWORKS REDUCED	IG	MG
B	31/03/21	INFORMATION REQUEST RESPONSE	IG	MG
A	20-11-2020	ORIGINAL ISSUE	BA	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES



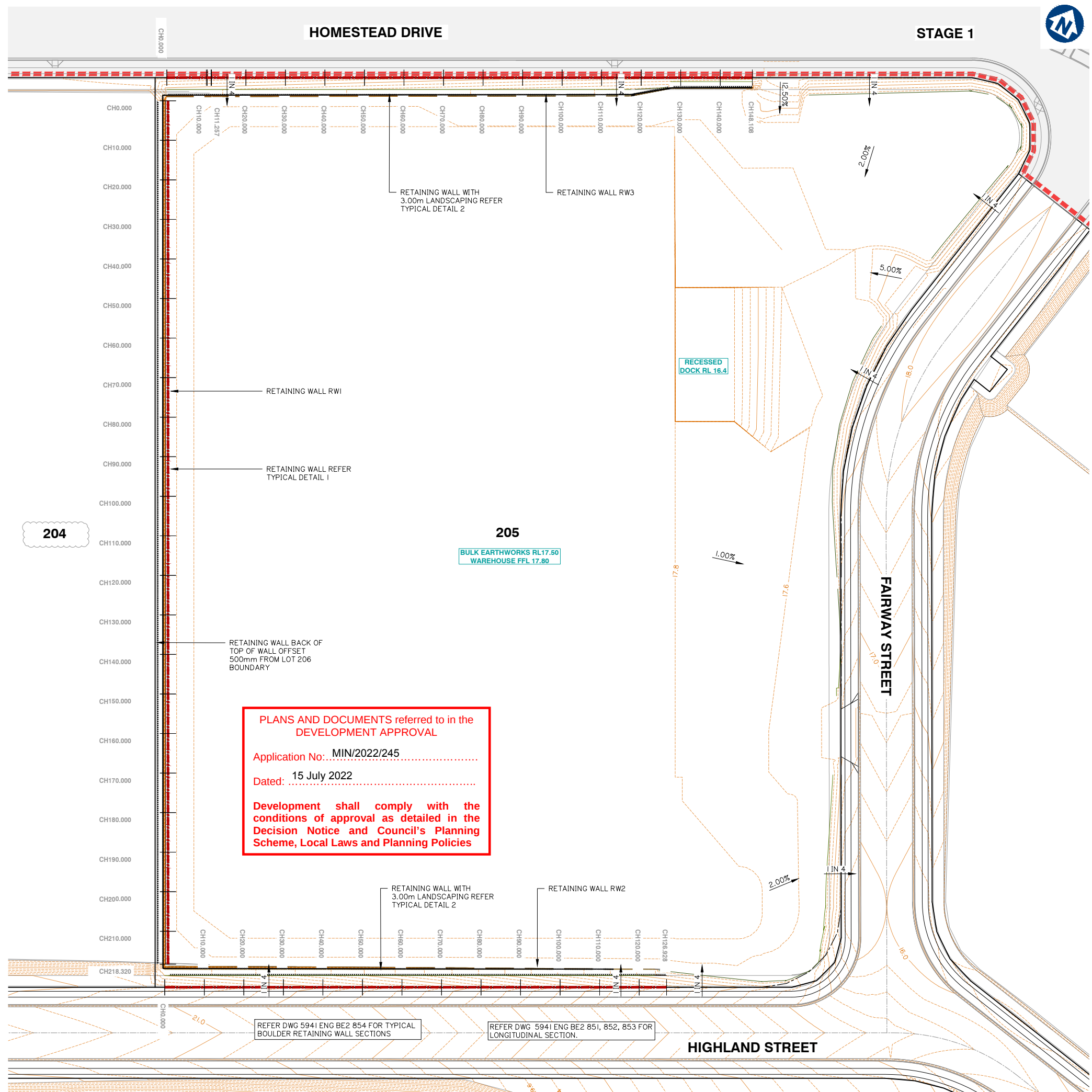
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1:1000 (HALF SIZE A3)

Scale at A1: 1:500

Designed:	IG
Drafted:	IG / BA / LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-09-2021

Drawing No: 5941 ENG BE2 573
Rev. No: C

RETAINING WALL 3					
PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING
IP 1	0.000	2461.057	6669.171	19.640	61°00'47.00"
	10.000	2469.804	6674.018	19.576	61°00'47.00"
IP 2	10.257	2470.029	6674.142	19.575	
IP 3	10.257	2470.029	6674.142	19.575	
IP 4	10.257	2470.029	6674.142	19.575	
IP 5	10.257	2470.029	6674.142	19.575	
IP 6	11.257	2470.904	6674.627	19.568	
IP 7	11.257	2470.904	6674.627	19.568	
	20.000	2478.552	6678.864	19.513	61°00'47.00"
	30.000	2487.299	6683.710	19.449	61°00'47.00"
	40.000	2496.046	6688.556	19.385	61°00'47.00"
	50.000	2504.793	6693.402	19.321	61°00'47.00"
	60.000	2513.541	6698.248	19.257	61°00'47.00"
	70.000	2522.288	6703.094	19.194	61°00'47.00"
	80.000	2531.035	6707.940	19.130	61°00'47.00"
	90.000	2539.783	6712.786	19.066	61°00'47.00"
	100.000	2548.530	6717.633	19.002	61°00'47.00"
	110.000	2557.277	6722.479	18.938	61°00'47.00"
	120.000	2566.025	6727.325	18.875	61°00'47.00"
	130.000	2574.772	6732.171	18.811	61°00'47.00"
	140.000	2583.519	6737.017	18.747	61°00'47.00"
IP 8	148.108	2590.611	6740.946	18.695	61°00'47.00"



Client:



Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour Interval: -
PSM: -
RI: -

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
LOT 205 BOULDER
RETAINING WALL CONTROL
LINE AND SETOUT TABLE

C	24-06-2022		LOT NUMBER AMENDED	LAB	MG
B	23-05-2022		DRAWING NUMBER AND DRAFTING AMENDED	LAB	MG
A	10-02-2022		ISSUED FOR APPROVAL	DV	MG
A	27-01-2022		ISSUED FOR TENDER	DV	MG
Issue	Date		Description	DRN	CHK

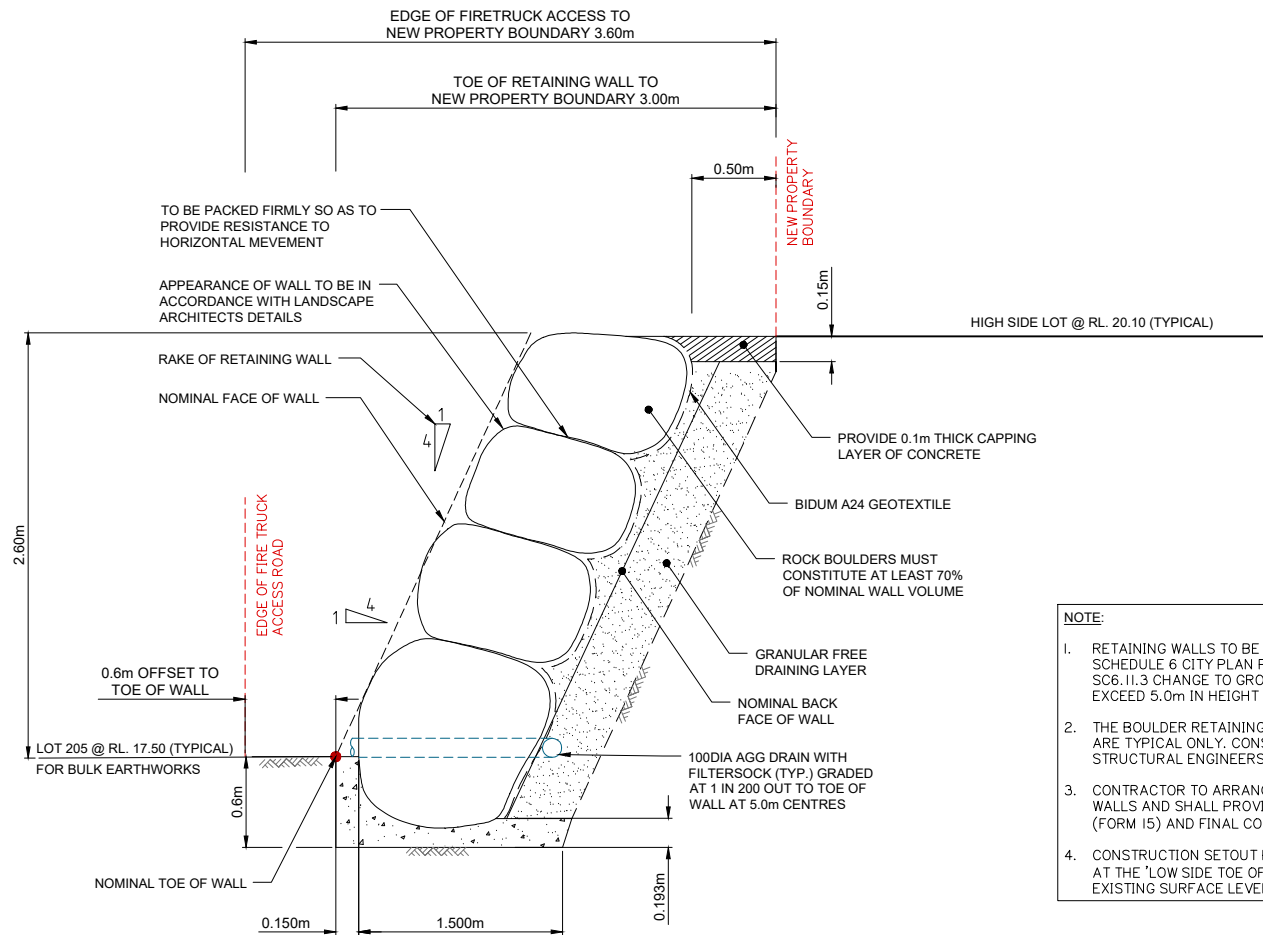
SCALE IN METRES



Scale at A1: 1:500

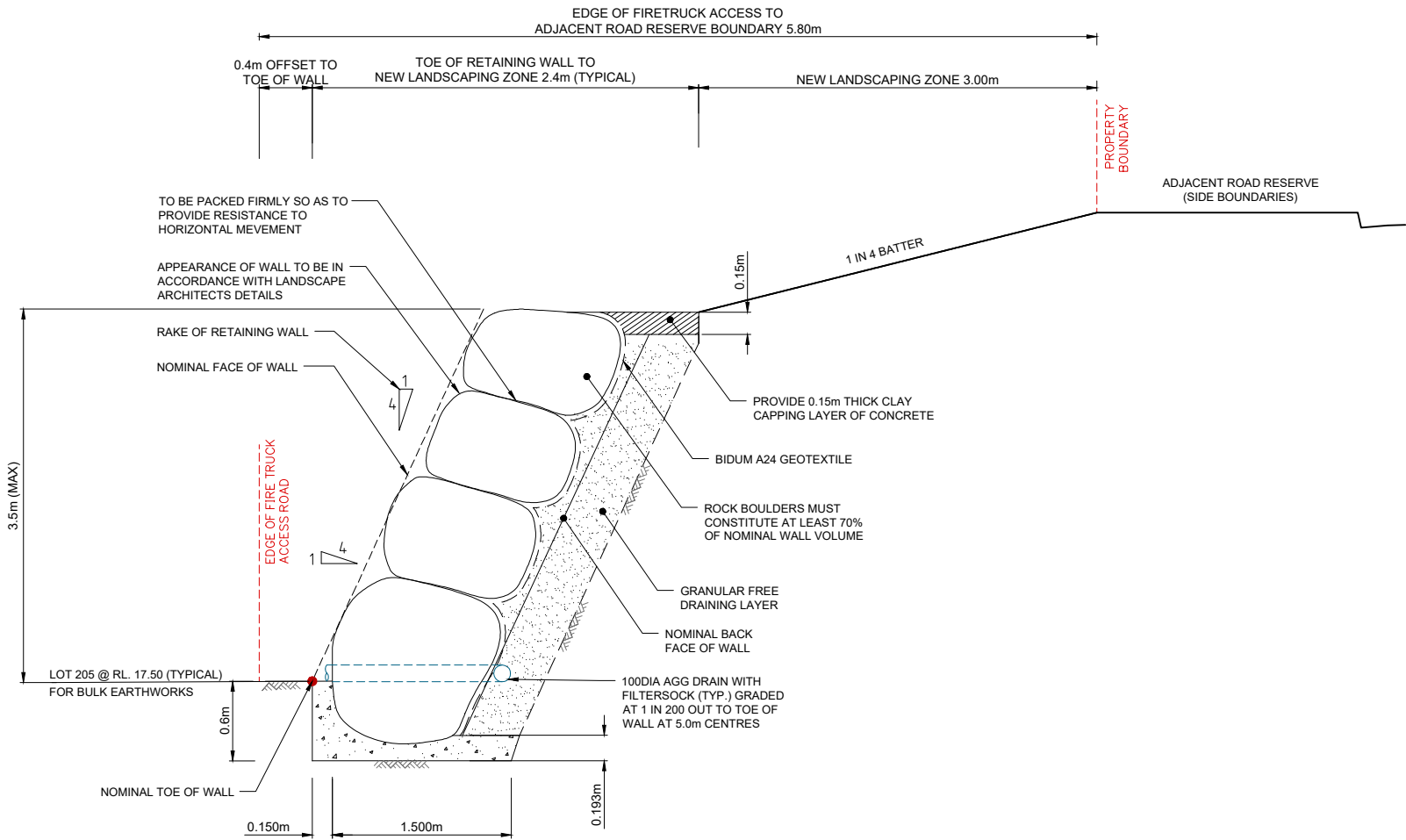
Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	24-06-2022

Drawing No:	Rev. No:
5941 ENG BE2 850	C



TYPICAL I SECTION BOULDER
RETAINING WALL ALONG REAR BOUNDARY

- NOTE:
- RETAINING WALLS TO BE IN ACCORDANCE WITH CITY OF GOLD COAST SCHEDULE 6 CITY PLAN POLICY — LAND DEVELOPMENT GUIDELINES SC6.II.3 CHANGE TO GROUND LEVEL STANDARDS. THEY SHALL NOT EXCEED 5.0m IN HEIGHT UNLESS SUITABLY BENCHED.
 - THE BOULDER RETAINING WALL DETAILS SHOWN ON THIS DRAWING ARE TYPICAL ONLY. CONSTRUCTION TO BE UNDERTAKEN TO STRUCTURAL ENGINEERS SPECIFICATION.
 - CONTRACTOR TO ARRANGE FOR DESIGN AND CONSTRUCTION OF WALLS AND SHALL PROVIDE STRUCTURAL CERTIFICATION OF DESIGN (FORM I5) AND FINAL CONSTRUCTION (FORM I6).
 - CONSTRUCTION SETOUT POINT FOR BOULDER WALLS IS TYPICALLY AT THE 'LOW SIDE TOE OF WALL' WHERE IT INTERFACES WITH EXISTING SURFACE LEVEL OR THE LOW SIDE PAD FSL.



TYPICAL SECTION 2 BOULDER RETAINING
WALL WITH 3m LANDSCAPING

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour interval: -
PSM: -
RL: -

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

BOULDER RETAINING WALL TYPICAL DETAILS

B	23-05-2022	DRAWING NUMBER	LAB	MG	
A	10-02-2022	ISSUED FOR APPROVAL	DV	MG	
A	27-01-2022	ISSUED FOR TENDER	DV	MG	
Issue	Date	Description	DRN	CHK	

SCALE IN METRES

NOT APPLICABLE

Scale at A1: NTS

Designed: IG

Drafted: LAB

Approved: MG

RPEQ: 16939

Signed:

Date: 23-05-2022

Drawing No:
5941 ENG BE2 854

Rev. No:
B

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
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Scheme, Local Laws and Planning Policies

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

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DATUM 14.00

TOP DESIGN SURFACE LEVEL	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100
HEIGHT OF FACE OF RETAINING WALL	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600
BOTTOM OF WALL DESIGN LEVELS	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500
EXISTING SURFACE LEVEL	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100
CONTROL LINE CHAINAGES	0.000	10.000	20.000	30.000	40.000	50.000	60.000	70.000	80.000	90.000	100.000	110.000	

RETAINING WALL 1 ELEVATION

MAXIMUM HEIGHT OF WALL: 2.600m

FACE AREA: 572m2

A1 SCALE: HOR 1:200
VERT 1:50

DATUM 14.00

TOP DESIGN SURFACE LEVEL	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.189
HEIGHT OF FACE OF RETAINING WALL	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600	2.600
BOTTOM OF WALL DESIGN LEVELS	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500
EXISTING SURFACE LEVEL	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.100	20.189
CONTROL LINE CHAINAGES	110.000	120.000	130.000	140.000	150.000	160.000	170.000	180.000	190.000	200.000	210.000	218.320	

RETAINING WALL 1 ELEVATION

A1 SCALE: HOR 1:200
VERT 1:50



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Gold Coast & Logan | 76 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS
PROPERTY

FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
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RPD:

Lot: 501

Plan: SP295994

Local Authority: CITY OF GOLD COAST
COUNCIL

Level Datum: AHD

Meridian: -

Contour interval: -

PSM: -

RL: -

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
LOT 205 BOULDER
RETAINING WALL
LONGITUDINAL SECTION RW1

B	23-05-2022	DRAWING NUMBER	LAB	MG
A	10-02-2022	ISSUED FOR APPROVAL	DV	MG
A	27-01-2022	ISSUED FOR TENDER	DV	MG
Issue	Date	Description	DRN	CHK

SCALE IN METRES



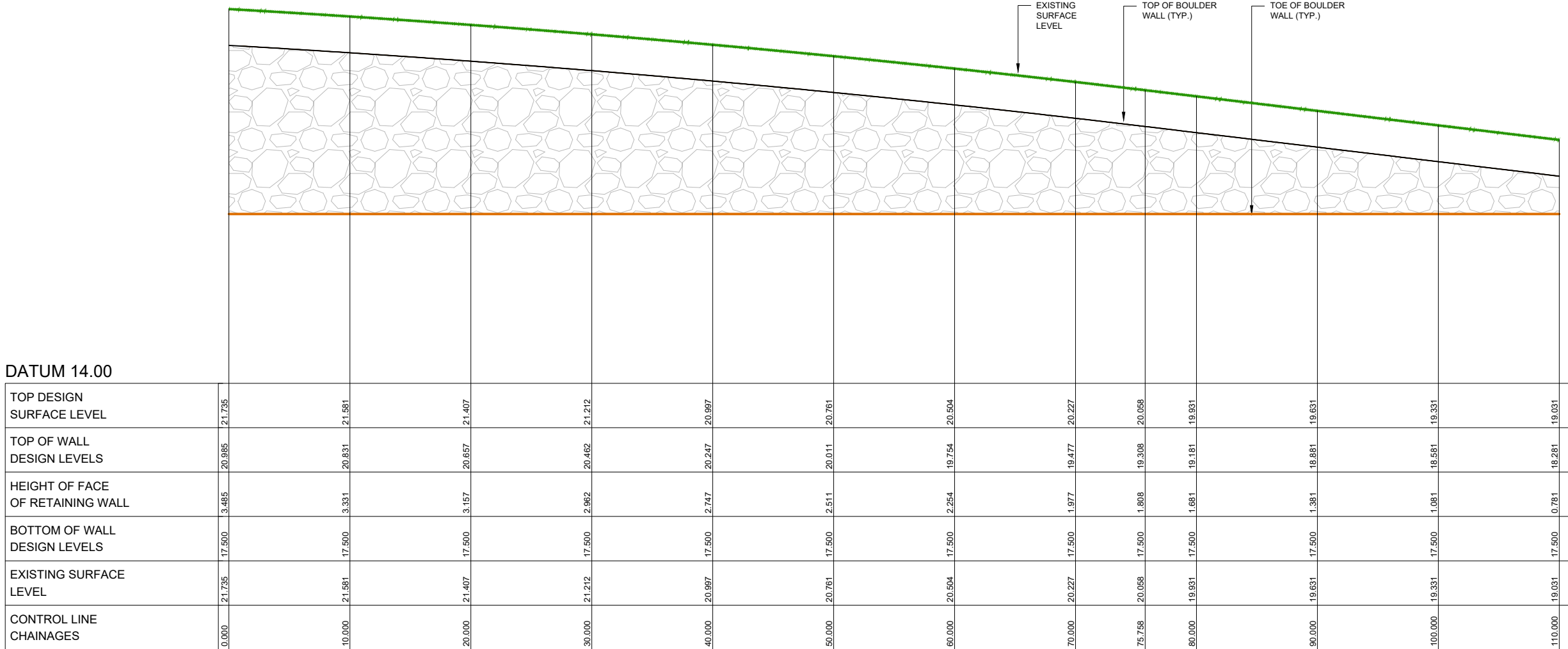
1:200 (FULL SIZE A1)
1:400 (HALF SIZE A3)

Scale at A1: AS NOTED

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	23-05-2022

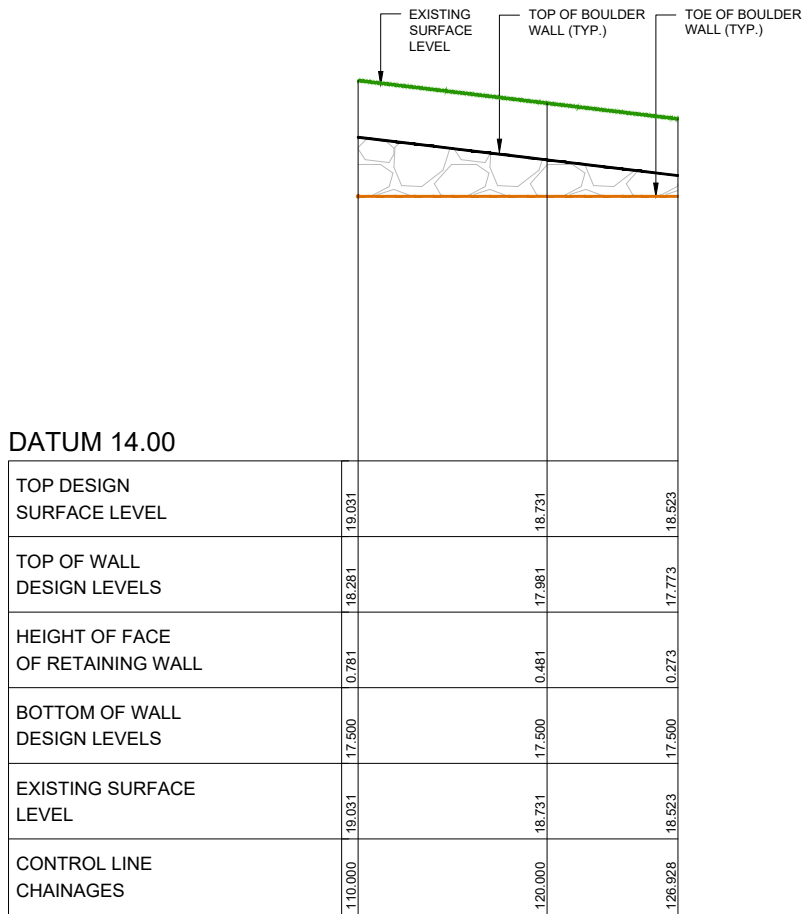
Drawing No: 5941 ENG BE2 851

Rev. No: B



DATUM 14.00

TOP DESIGN SURFACE LEVEL	21.735	21.581	21.407	21.212	20.997	20.761	20.504	20.227	20.058	19.931	19.631	19.331	19.031
TOP OF WALL DESIGN LEVELS	20.985	20.831	20.657	20.462	20.247	20.011	19.754	19.477	19.308	19.181	18.881	18.581	18.281
HEIGHT OF FACE OF RETAINING WALL	3.485	3.331	3.157	2.962	2.747	2.511	2.254	1.977	1.808	1.681	1.381	1.081	0.781
BOTTOM OF WALL DESIGN LEVELS	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500	17.500
EXISTING SURFACE LEVEL	21.735	21.581	21.407	21.212	20.997	20.761	20.504	20.227	20.058	19.931	19.631	19.331	19.031
CONTROL LINE CHAINAGES	0.000	10.000	20.000	30.000	40.000	50.000	60.000	70.000	75.758	80.000	90.000	100.000	110.000



DATUM 14.00

TOP DESIGN SURFACE LEVEL	19.031	18.731	18.523
TOP OF WALL DESIGN LEVELS	18.281	17.981	17.773
HEIGHT OF FACE OF RETAINING WALL	0.781	0.481	0.273
BOTTOM OF WALL DESIGN LEVELS	17.500	17.500	17.500
EXISTING SURFACE LEVEL	19.031	18.731	18.523
CONTROL LINE CHAINAGES	110.000	120.000	126.928

RETAINING WALL 2 ELEVATION

A1 SCALE: HOR 1:200
VERT 1:50

RETAINING WALL 2 ELEVATION

A1 SCALE: HOR 1:200
VERT 1:50

MAXIMUM HEIGHT OF WALL: 3.485m

FACE AREA: 259m2



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Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR

RPD:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD
Meridian: -
Contour interval: -
PSM: -
RL: -

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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE
LOT 205 BOULDER RETAINING
WALL LONGITUDINAL
SECTION RW2

B	23-05-2022	DRAWING NUMBER	LAB	MG	
A	10-02-2022	ISSUED FOR APPROVAL	DV	MG	
A	27-01-2022	ISSUED FOR TENDER	DV	MG	
Issue	Date	Description	DRN	CHK	

SCALE IN METRES

0 4 8 12 16 20
1:200 (FULL SIZE A1)
1:400 (HALF SIZE A3)

Scale at A1: AS NOTED

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	23-05-2022

Drawing No: 5941 ENG BE2 850 Rev. No: B

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL
Application No: MIN/2022/245
Dated: 15 July 2022
Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

DATUM 14.00

TOP DESIGN SURFACE LEVEL	19.640		19.576		19.513		19.449		19.385		19.321		19.257		19.194		19.130		19.066		19.002		18.938
TOP OF WALL DESIGN LEVELS	18.880		18.826		18.763		18.699		18.635		18.571		18.507		18.444		18.380		18.316		18.252		18.188
HEIGHT OF FACE OF RETAINING WALL	1.390		1.326		1.263		1.199		1.135		1.071		1.007		0.994		0.880		0.816		0.752		0.688
BOTTOM OF WALL DESIGN LEVELS	17.500		17.500		17.500		17.500		17.500		17.500		17.500		17.500		17.500		17.500		17.500		17.500
EXISTING SURFACE LEVEL	19.640		19.576		19.513		19.449		19.385		19.321		19.257		19.194		19.130		19.066		19.002		18.938
CONTROL LINE CHAINAGES	0.000		10.000		20.000		30.000		40.000		50.000		60.000		70.000		80.000		90.000		100.000		110.000

RETAINING WALL 3 ELEVATION

A1 SCALE: HOR 1:200
VERT 1:50

MAXIMUM HEIGHT OF WALL: 1.390m

FACE AREA: 150m2

DATUM 14.00

TOP DESIGN SURFACE LEVEL	18.938		18.875		18.811		18.747		18.695
TOP OF WALL DESIGN LEVELS	18.188		18.156		18.561		18.497		18.445
HEIGHT OF FACE OF RETAINING WALL	0.688		0.720		1.061		0.997		0.945
BOTTOM OF WALL DESIGN LEVELS	17.500		17.405		17.500		17.500		17.500
EXISTING SURFACE LEVEL	18.938		18.875		18.811		18.747		18.695
CONTROL LINE CHAINAGES	110.000		120.000		130.000		140.000		148.108

RETAINING WALL 3 ELEVATION

A1 SCALE: HOR 1:200
VERT 1:50

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project:

VantageYatala
STAGE 2

Site Address:

60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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LOT 205 BOULDER RETAINING
WALL LONGITUDINAL
SECTION RW3

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A	27-01-2022	ISSUED FOR TENDER	DV	MG	
Issue	Date	Description	DRN	CHK	

SCALE IN METRES



1:200 (FULL SIZE A1)
1:400 (HALF SIZE A3)

Scale at A1: AS NOTED

Designed:	IG
Drafted:	LAB
Approved:	MG
RPEQ:	16939
Signed:	
Date:	23-05-2022

Drawing No:
5941 ENG BE2 853

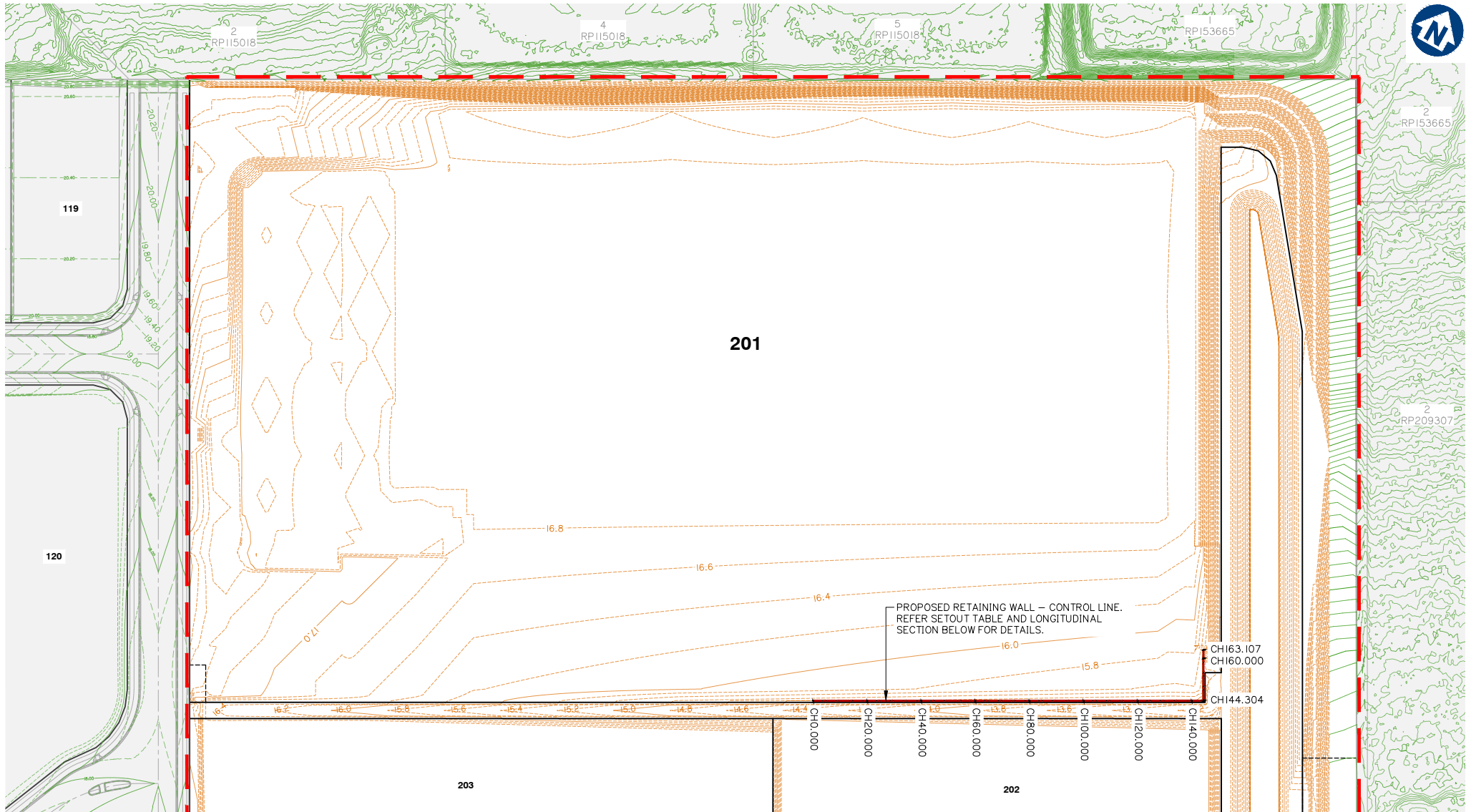
Rev. No:
B

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MIN/2022/245

Dated: 15 July 2022

Development shall comply with the
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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No.: MIN/2022/245

Dated: 15 July 2022

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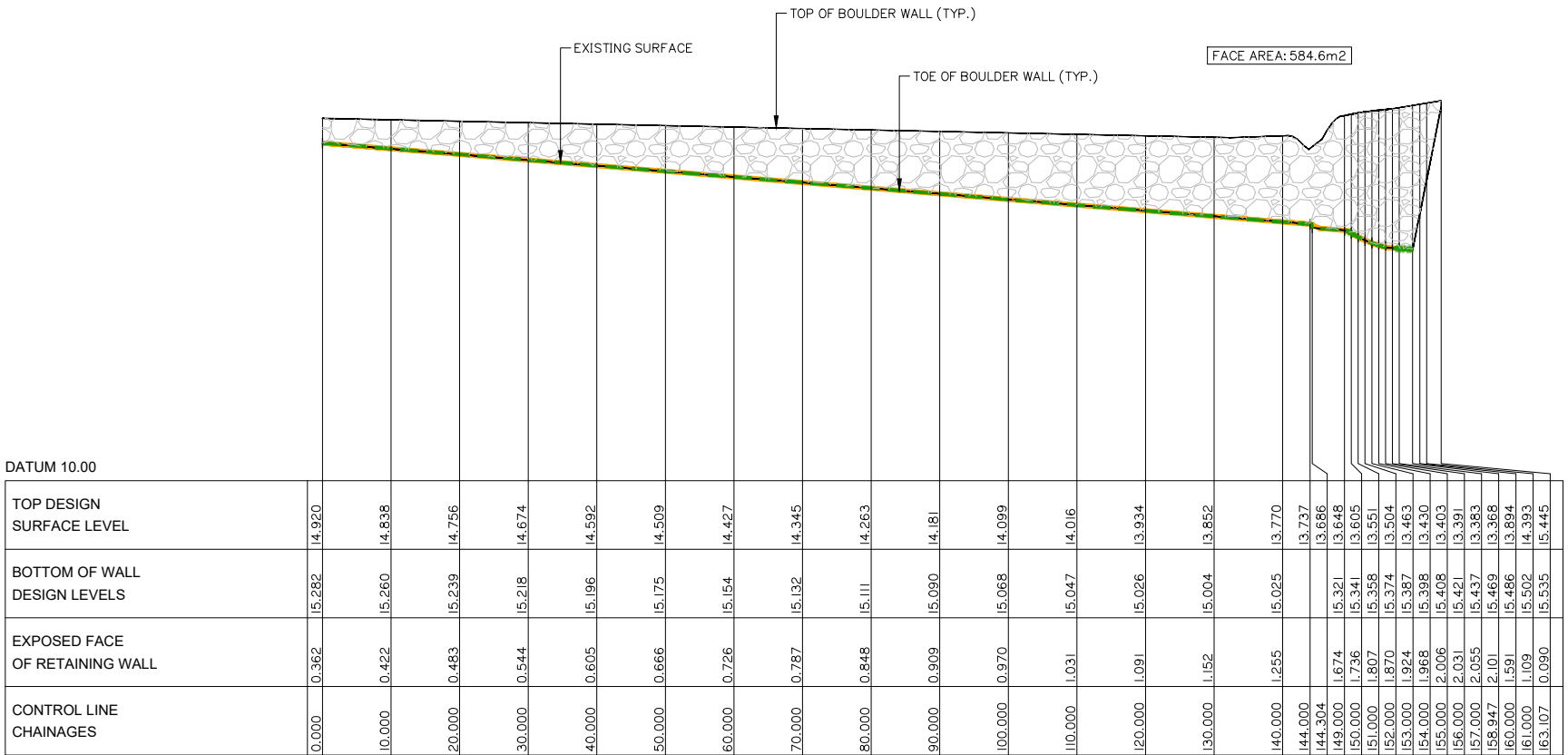
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ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH GENERAL NOTES

DRAWING TITLE

LOT 201 BOULDER
RETAINING WALL LAYOUT
PLAN AND DETAILS

RETAINING WALL LOT 201 - CONTROL LINE					
PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING
IP 1	0.000	2922.049	6775.431	14.920	99°13'16.76"
	10.000	2931.920	6773.828	14.838	99°13'16.76"
	20.000	2941.790	6772.226	14.756	99°13'16.76"
	30.000	2951.661	6770.623	14.674	99°13'16.76"
	40.000	2961.532	6769.021	14.592	99°13'16.76"
	50.000	2971.403	6767.418	14.509	99°13'16.76"
	60.000	2981.273	6765.816	14.427	99°13'16.76"
	70.000	2991.144	6764.213	14.345	99°13'16.76"
	80.000	3001.015	6762.611	14.263	99°13'16.76"
	90.000	3010.886	6761.008	14.181	99°13'16.76"
	100.000	3020.756	6759.406	14.099	99°13'16.76"
	110.000	3030.627	6757.803	14.016	99°13'16.76"
	120.000	3040.498	6756.201	13.934	99°13'16.76"
	130.000	3050.369	6754.598	13.852	99°13'16.76"
	140.000	3060.239	6752.996	13.770	99°13'16.76"
IP 2	144.304	3064.488	6752.306	13.686	
	150.000	3065.400	6757.928	13.605	9°12'28.03"
	160.000	3067.000	6767.799	13.894	9°12'28.03"
IP 3	163.107	3067.497	6770.866	15.445	9°12'28.03"



RETAINING WALL 01 - LOT 201

SCALE: HOR 1:500/VERT 1:50

LOT 201 BOULDER RETAINING WALL LAYOUT PLAN AND DETAILS