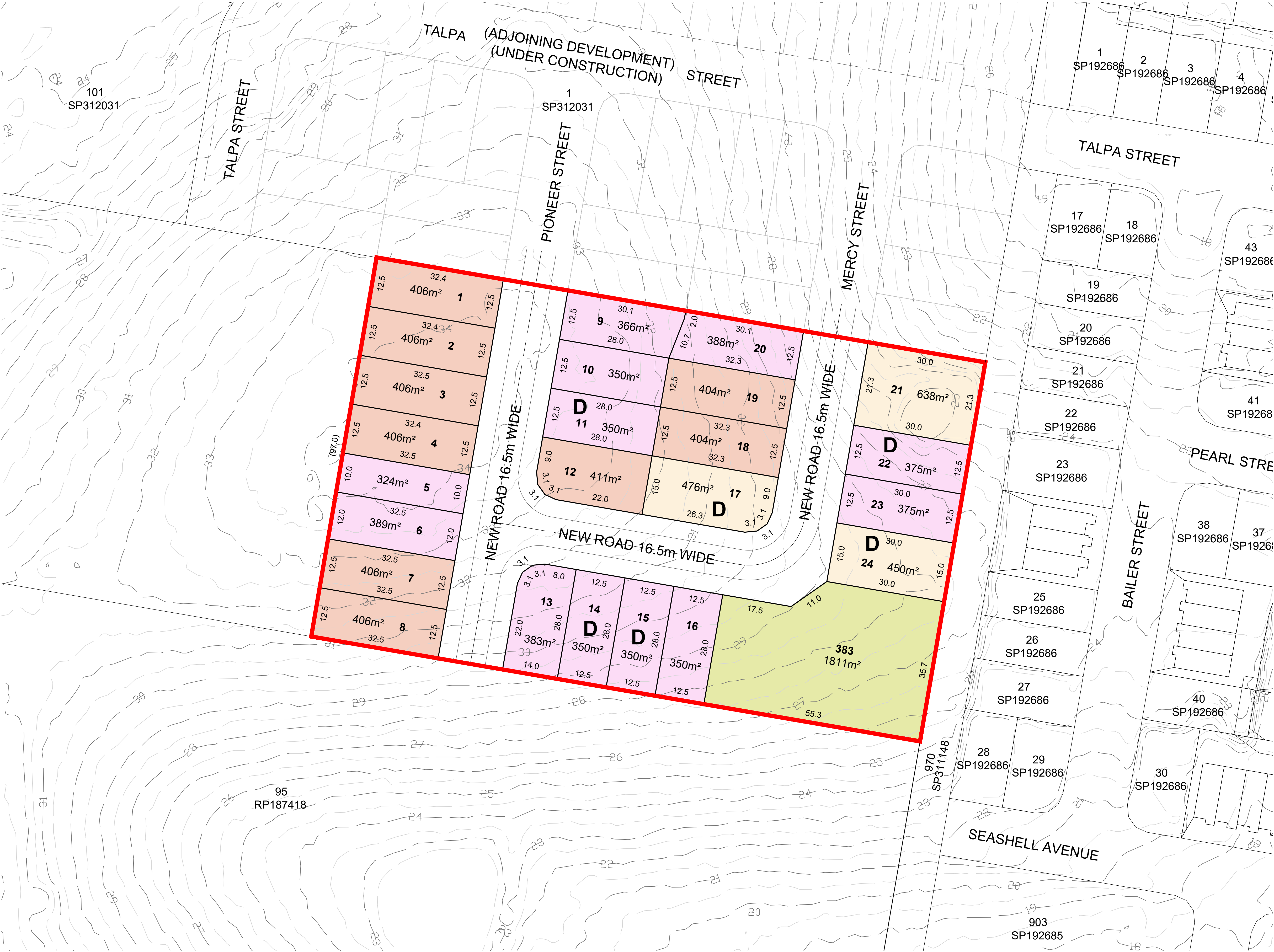


STAGE 2 - PROPOSAL PLAN



NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

NOTES

This plan was prepared as a provisional layout to accompany a development application. The information on this plan is not suitable for any other purpose.

Property dimensions, areas, numbers of lots and contours and other physical features shown have been compiled from existing information and may not have been verified by field survey. These may need verification if the development application is approved and development proceeds, and may change when a full survey is undertaken or in order to comply with development approval conditions.

No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

Saunders Havill Group therefore disclaims any liability for any loss or damage whatsoever or howsoever incurred, arising from any party using or relying upon this plan for any purpose other than as a document prepared for the sole purpose of accompanying a development application and which may be subject to alteration beyond the control of the Saunders Havill Group. Unless a development approval states otherwise, this is not an approved plan.

DCDB © State of Queensland (Department of Natural Resources and Mines) 2019. Lidar Data © State of Queensland (Department of Natural Resources and Mines) 2016.

* This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.

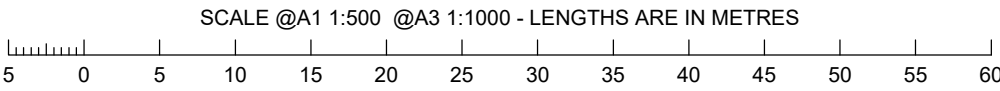
SUBJECT BOUNDARIES FROM LOT CALCULATIONS BY SAUNDERS HAVILL GROUP DATED 12/01/2023

LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.5m interval)
- D Dual Occupancy Lots

DEVELOPMENT STATISTICS			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
350m² - < 400m²	12	50.0%	0.435 ha
400m² - < 450m²	9	37.5%	0.365 ha
> 450m²	3	12.5%	0.156 ha
Total Residential Allotments	24	100.0%	0.956 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	3.010 ha	—	
Net Residential Area (no roads)	0.956 ha	31.761%	
Detention / Drainage	0.181 ha	6.013%	
Road Areas	0.373 ha	12.392%	
Balance (Lot 900)	1.50 ha	49.834%	

RP DESCRIPTION: LOT 96 on RP187417



COOMERA GA PTY LTD ATF THE COOMERA GA UNIT

PLAN OF DEVELOPMENT

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

This plan was prepared as a provisional layout to accompany a development application. The information on this plan is not suitable for any other purpose.

Property dimensions, areas, numbers of lots and contours and other physical features shown have been compiled from existing information and may not have been verified by field survey. These may need verification if the development application is approved and development proceeds, and may change when a full survey is undertaken or in order to comply with development approval conditions.

No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

Saunders Havill Group therefore disclaims any liability for any loss or damage whatsoever or howsoever incurred, arising from any party using or relying upon this plan for any purpose other than as a document prepared for the sole purpose of accompanying a development application and which may be subject to alteration beyond the control of the Saunders Havill Group. Unless a development approval states otherwise, this is not an approved plan.

DCDB © State of Queensland (Department of Natural Resources and Mines) 2019.
Lidar Data © State of Queensland (Department of Natural Resources and Mines) 2016.

* This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.

SUBJECT BOUNDARIES FROM LOT CALCULATIONS BY SAUNDERS
HAVILL GROUP DATED 12/01/2023

LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.5m interval)
- Dual Occupancy Lots
- Optional Built to Boundary Wall
- Indicative Driveway Location

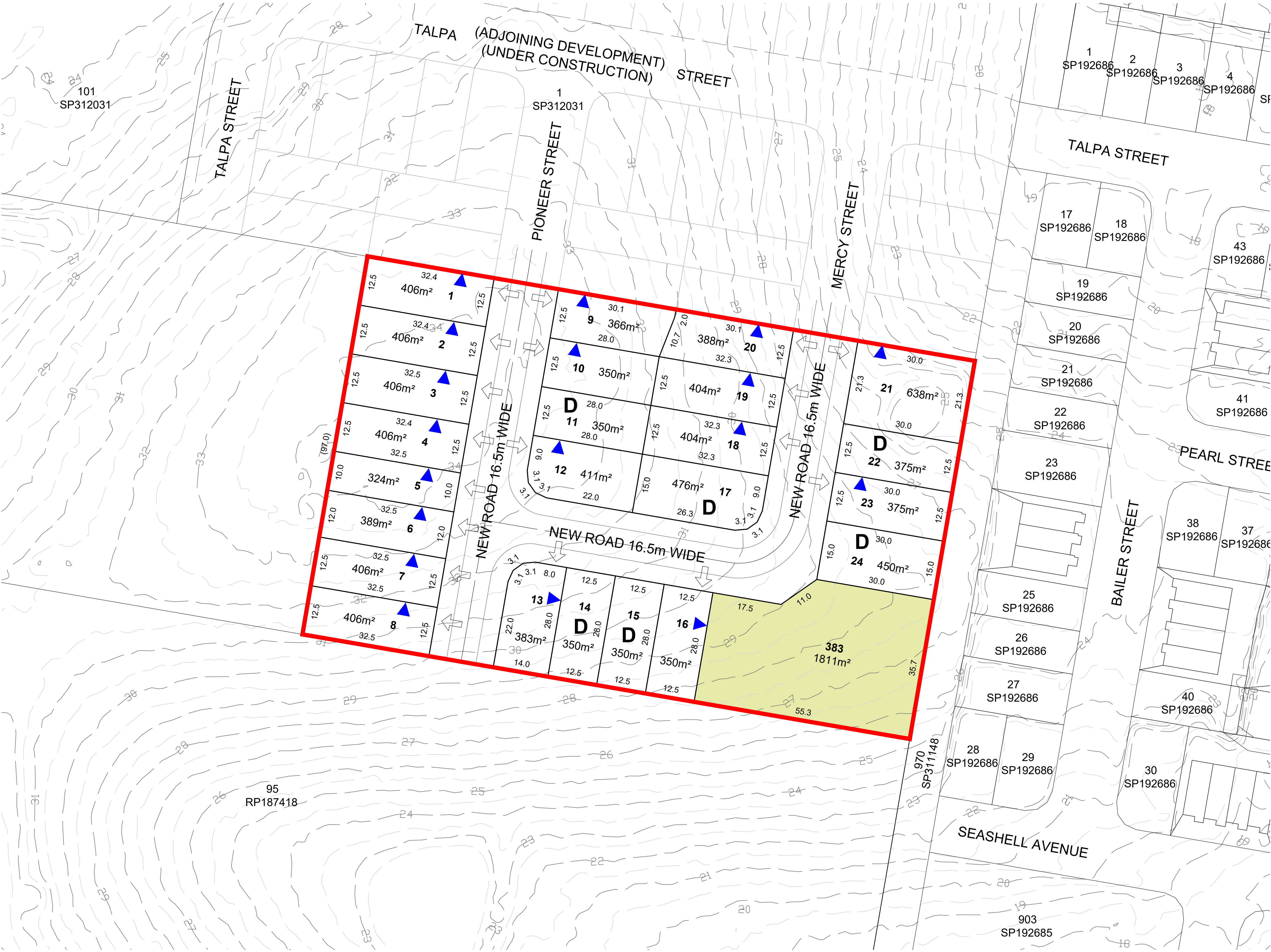
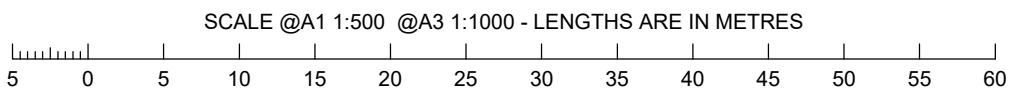
GENERAL NOTES:

- Lots with an area <400m² to comply with City Plan v9 Small Lot Housing (infill) code and relevant zone code except as varied in Table 1.
- Lots with an area between 400m² to 499m² to comply with Queensland Development Code MP1.1 except as varied in Table 1.
- Lots with an area >450m² and over to comply with Queensland Development Code MP1.2 except as varied in Table 1.
- Building Height does not exceed 2 storeys and maximum of 9m.
- Optional Built to Boundary Wall Location
 - Built to boundary walls are permitted on specified boundaries only.
 - Built to boundary walls are to have a maximum length of 3.5m. No windows or openings are to be built along the built to boundary wall.

Table 1:

Minimum Requirements	Ground Floor	First Floor
Front Setback - Primary Frontage	3m to OMP	4.5m to OMP
Front Setback - Garage	6m	N/A
	1m behind front wall or balcony	
Side & Rear (where not built to boundary)	1m to OMP	1.5m to OMP
Secondary Frontage (Corner Lot)	2m OMP	
Site Cover	60% maximum	

RP DESCRIPTION: LOT 96 on RP187417



DUAL-OCCUPANCY DWELLINGS

54 GEORGE ALEXANDER WAY COOMERA QLD
ON BUNDJALUNG / YUGGERA LAND



DRAWING INDEX		
DRG NO	DRAWING NAME	REV
00	COVER	
01	SITE PLAN	
02	TYPE 1 GROUND FLOOR PLAN	
03	TYPE 1 LEVEL 1 FLOOR PLAN	
04	TYPE 2 GROUND FLOOR PLAN	
05	TYPE 2 LEVEL 1 FLOOR PLAN	
06	TYPE 3 GROUND FLOOR PLAN	
07	TYPE 3 LEVEL 1 FLOOR PLAN	
08	ELEVATIONS TYPE 1 OPTION A	
09	ELEVATIONS TYPE 1 OPTION B	
10	ELEVATIONS TYPE 2	
11	ELEVATIONS TYPE 3	
12	PERSPECTIVE TYPE 1 OPTION A	
13	PERSPECTIVE TYPE 1 OPTION B	
14	PERSPECTIVE TYPE 2	
15	PERSPECTIVE TYPE 3	



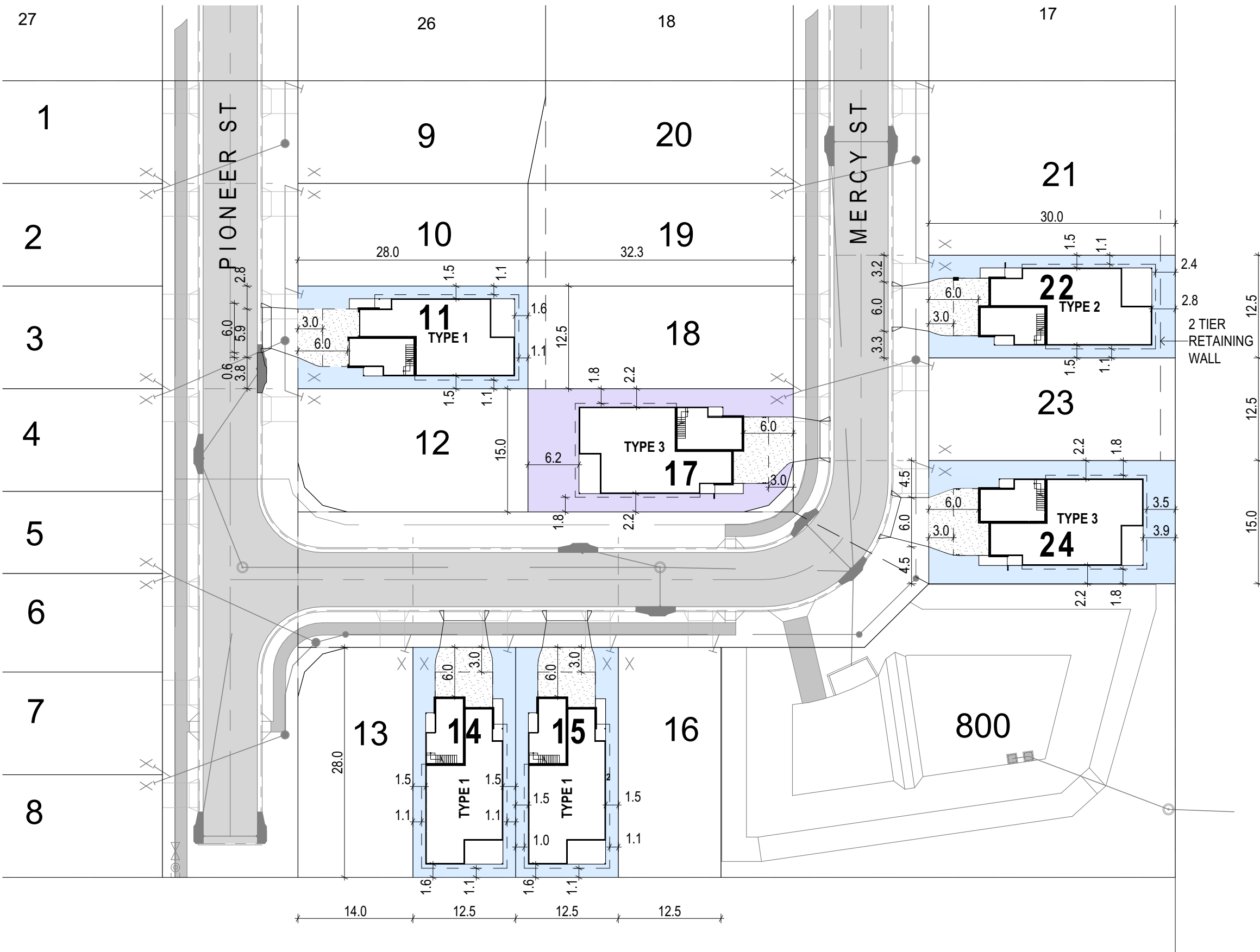
1 CONTEXT PLAN
1:5000

PO BOX 1491
NEW FARM QLD 4005
Nominated Architect - John Ford QLD 3411 NSW 9664

P: 07 3172 0150
www.ultralinea.com.au

COVER

2229 01/02/23
SK 00



SITE COVER (MAX 60%)

LOT	LOT AREA	SITE COVER	% SITE COVER
LOT 11	350 m ²	207 m ²	59 %
LOT 14	350 m ²	207 m ²	59 %
LOT 15	350 m ²	207 m ²	59 %
LOT 17	475 m ²	231 m ²	49 %
LOT 22	375 m ²	214 m ²	57 %
LOT 24	450 m ²	231 m ²	51 %
TOTAL	2,350 m ²	1,297 m ²	55 %

PARKING

LOT	PARKING SPACES
LOT 11	3
LOT 14	4
LOT 15	4
LOT 17	2
LOT 22	4
LOT 24	4
TOTAL	21

1 SITE PLAN
1:500

REVDATEDESCRIPTIONNOCHANGE DESCRIPTION

21CURRENT\Keylin George Alexander 22295.0 CAD\Keylin George Alexander 2229 v5.pln

PRELIMINARY - NOT FOR
TENDER, NOT FOR
CONSTRUCTION

N

COOMERA GA PTY LTD
DUAL-OCCUPANCY DWELLINGS
54 GEORGE ALEXANDER WAY
COOMERA,QLD

PO BOX 1491
NEW FARM QLD 4005

P: 07 3172 0150
www.ultralinea.com.au

Nominated Architect - John Ford QLD 3411 NSW 9664

Drawing:
SK SITE PLAN

Date:
01/02/23

Scale @ A3:
1:500

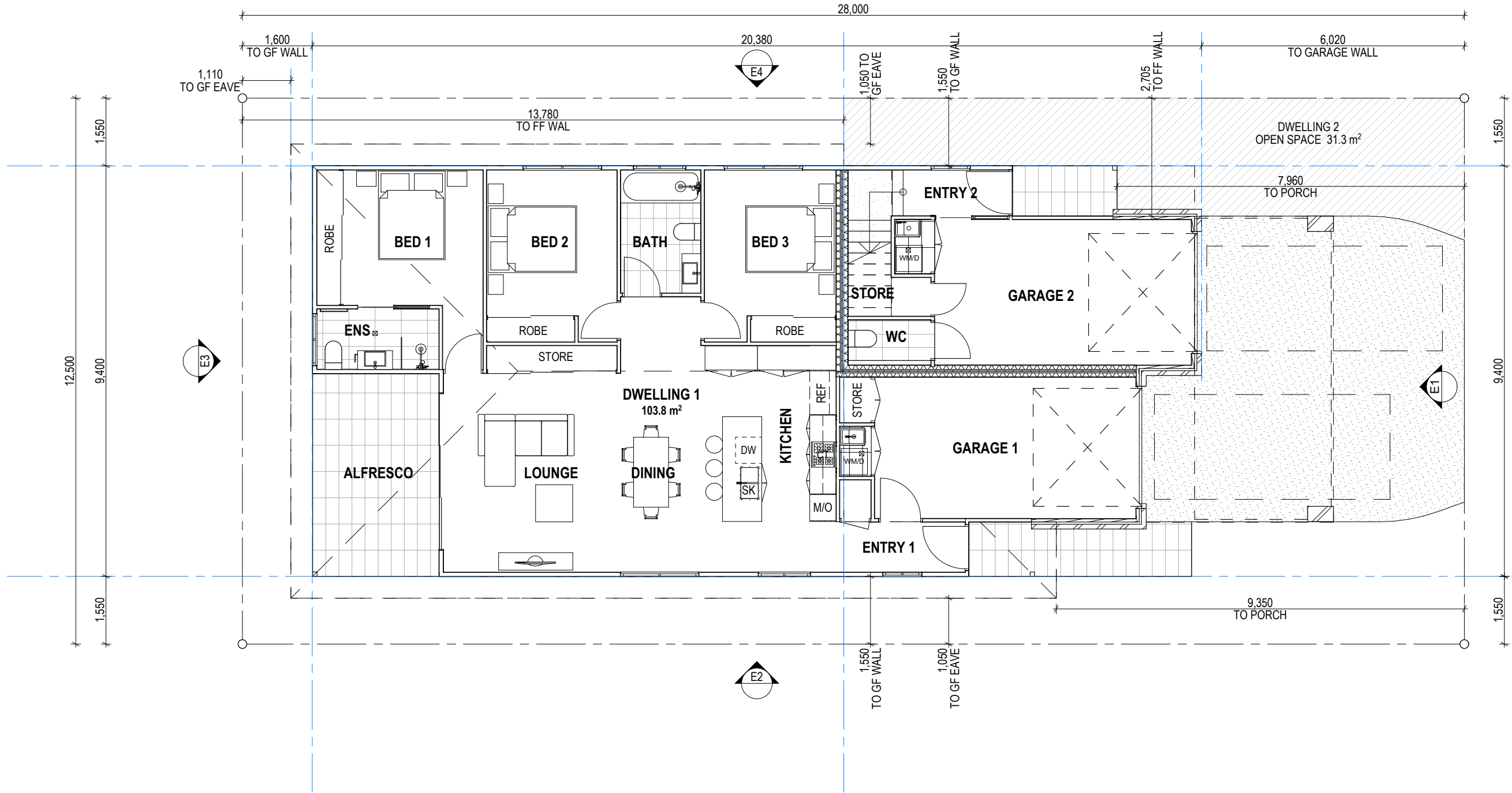
Proj. No:
2229

Dwg. No:
SK 01

Rev:
B

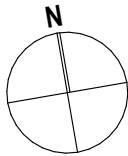
© Architect retains copyright. Do not copy any or all parts without permission.

AREAS - TYPE 1 (m2)	
ALFRESCO	13
DECK	22
DWELLING 1	104
DWELLING 2 LOWER	12
DWELLING 2 UPPER	61
GARAGE 1	24
GARAGE 2	21
PORCH 1	3
PORCH 2	3



1 TYPE 1 GROUND
1:100

PRELIMINARY - NOT FOR TENDER, NOT FOR CONSTRUCTION				
REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION
21\CURRENT\Keylin George Alexander 2229\5.0 CAD\Keylin George Alexander 2229 v5.pjn				



COOMERA GA PTY LTD
DUAL-OCCUPANCY DWELLINGS
54 GEORGE ALEXANDER WAY
COOMERA, QLD

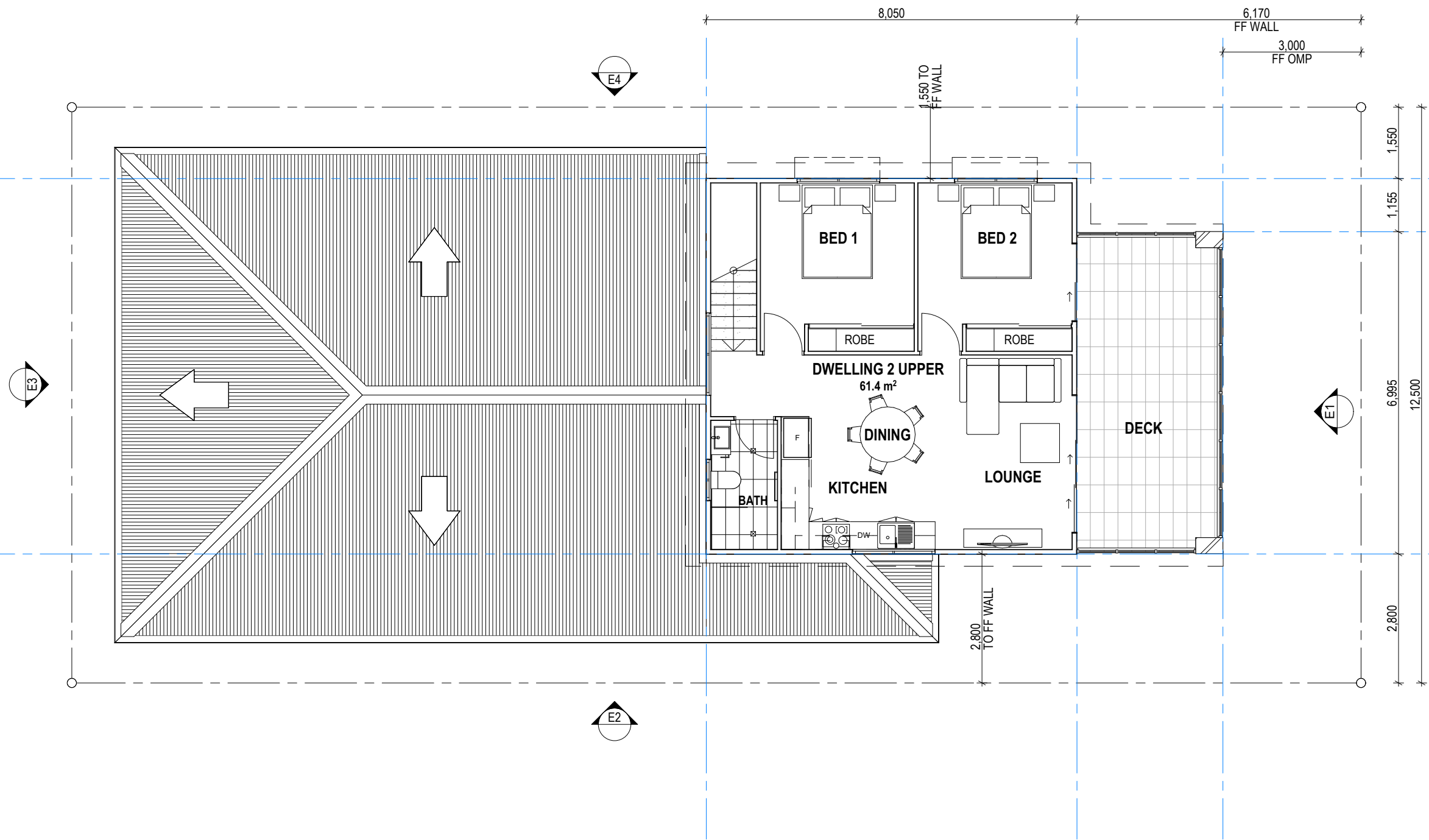


PO BOX 1491
NEW FARM QLD 4005
P: 07 3172 0150
www.ultralinea.com.au
Nominated Architect - John Ford QLD 3411 NSW 9664

Drawing: SK TYPE 1 GROUND FLOOR PLAN			
Date: 01/02/23	Scale @ A3: 1:100, 1:1		
Proj. No: 2229	Dwg. No: SK 02	Rev: B	

© Architect retains copyright. Do not copy any or all parts without permission.

AREAS - TYPE 1 (m2)	
ALFRESCO	13
DECK	22
DWELLING 1	104
DWELLING 2 LOWER	12
DWELLING 2 UPPER	61
GARAGE 1	24
GARAGE 2	21
PORCH 1	3
PORCH 2	3



1 TYPE 1 LEVEL 1
1:100

PRELIMINARY - NOT FOR TENDER, NOT FOR CONSTRUCTION					COOMERA GA PTY LTD DUAL-OCCUPANCY DWELLINGS 54 GEORGE ALEXANDER WAY COOMERA, QLD	
REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION		

Z:\CURRENT\Keylin George Alexander 22295.0 CAD\Keylin George Alexander 2229 v5.pjn

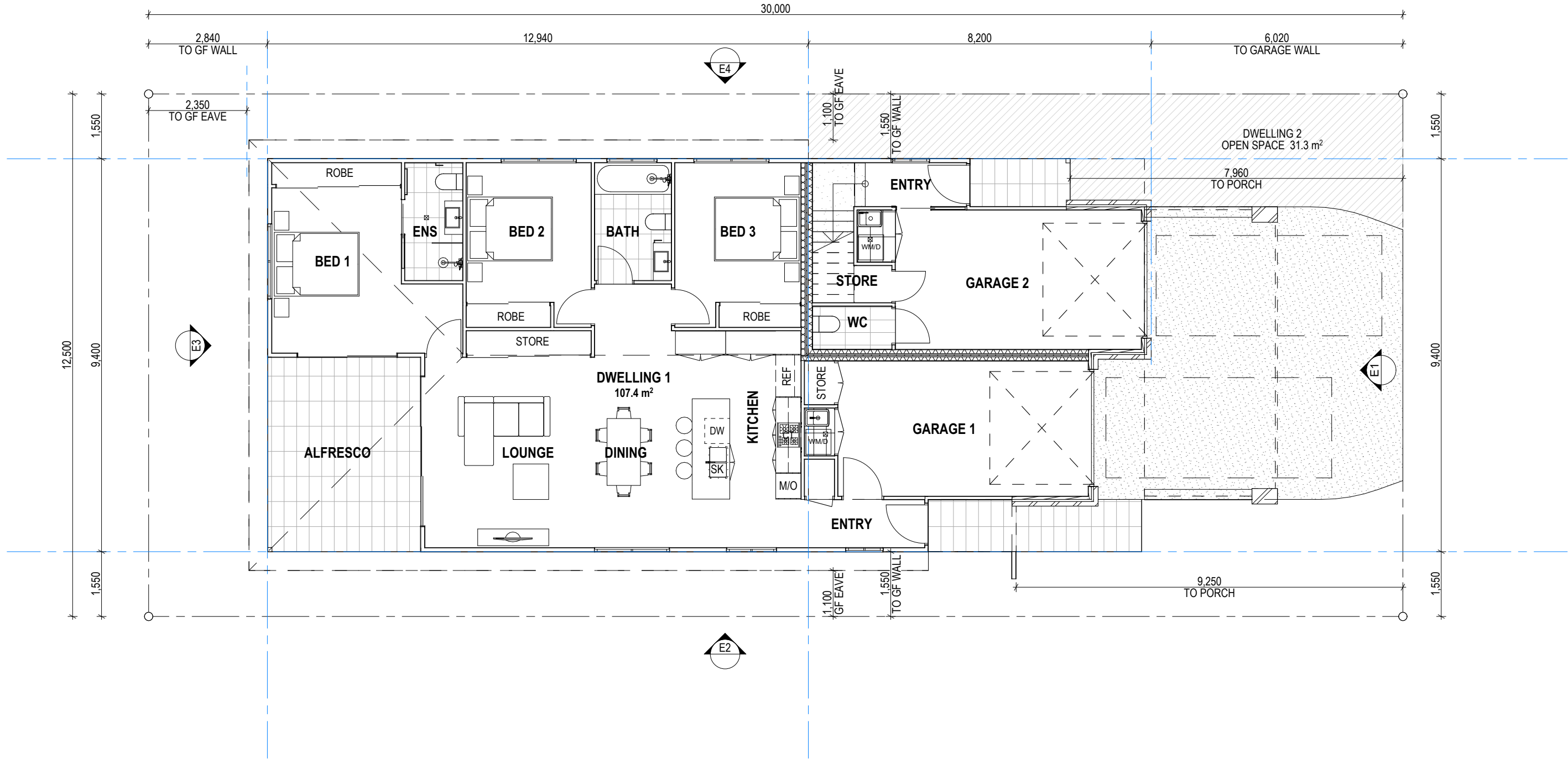


P.O. BOX 1491
NEW FARM QLD 4005
Nominated Architect - John Ford QLD 3411 NSW 9664
P: 07 3172 0150
www.ultralinea.com.au

Drawing: SK TYPE 1 LEVEL 1 FLOOR PLAN		
Date: 01/02/23	Scale @ A3: 1:100, 1:1	Rev:
Proj. No: 2229	Dwg. No: SK 03	B

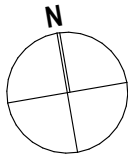
© Architect retains copyright. Do not copy any or all parts without permission.

AREAS - TYPE 2 (m2)	
ALFRESCO	17
DECK	22
DWELLING 1	107
DWELLING 2 LOWER	12
DWELLING 2 UPPER	61
GARAGE 1	24
GARAGE 2	21
PORCH 1	3
PORCH 2	3



1 TYPE 2 GROUND
1:100

PRELIMINARY - NOT FOR TENDER, NOT FOR CONSTRUCTION				
REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION
21\CURRENT\Keylin George Alexander 22295.0 CAD\Keylin George Alexander 2229 v5.pln				



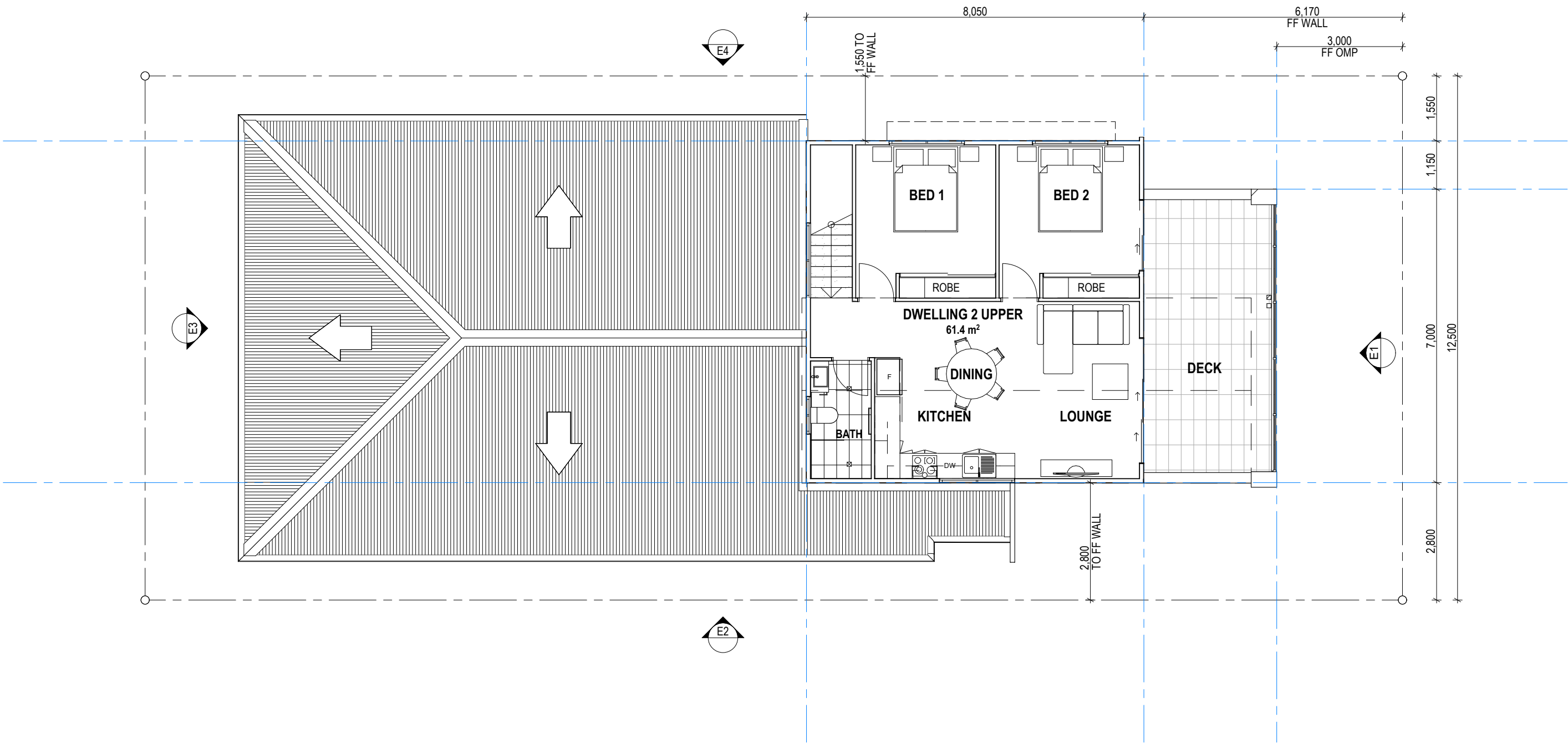
COOMERA GA PTY LTD
DUAL-OCCUPANCY DWELLINGS
54 GEORGE ALEXANDER WAY
COOMERA, QLD



PO BOX 1491
NEW FARM QLD 4005
P: 07 3172 0150
www.ultralinea.com.au
Nominated Architect - John Ford QLD 3411 NSW 9664

Drawing:
SK TYPE 2 GROUND FLOOR PLAN
Date: 01/02/23
Proj. No: 2229
Scale @ A3: 1:100, 1:1
Dwg. No: SK 04
Rev: B
© Architect retains copyright. Do not copy any or all parts without permission.

AREAS - TYPE 2 (m2)	
ALFRESCO	17
DECK	22
DWELLING 1	107
DWELLING 2 LOWER	12
DWELLING 2 UPPER	61
GARAGE 1	24
GARAGE 2	21
PORCH 1	3
PORCH 2	3



1 TYPE 2 LEVEL 1
1:100

REV

DATE

DESCRIPTION

NO

CHANGE DESCRIPTION

PRELIMINARY - NOT FOR
TENDER, NOT FOR
CONSTRUCTION

N

COOMERA GA PTY LTD
DUAL-OCCUPANCY DWELLINGS
54 GEORGE ALEXANDER WAY
COOMERA,QLD



PO BOX 1491
NEW FARM QLD 4005
Nominated Architect - John Ford QLD 3411 NSW 9664

P: 07 3172 0150
www.ultralinea.com.au

Drawing:

SK TYPE 2 LEVEL 1 FLOOR
PLAN

Date:

01/02/23

Proj. No:

2229

Scale @ A3:

1:100, 1:1

Dwg. No:

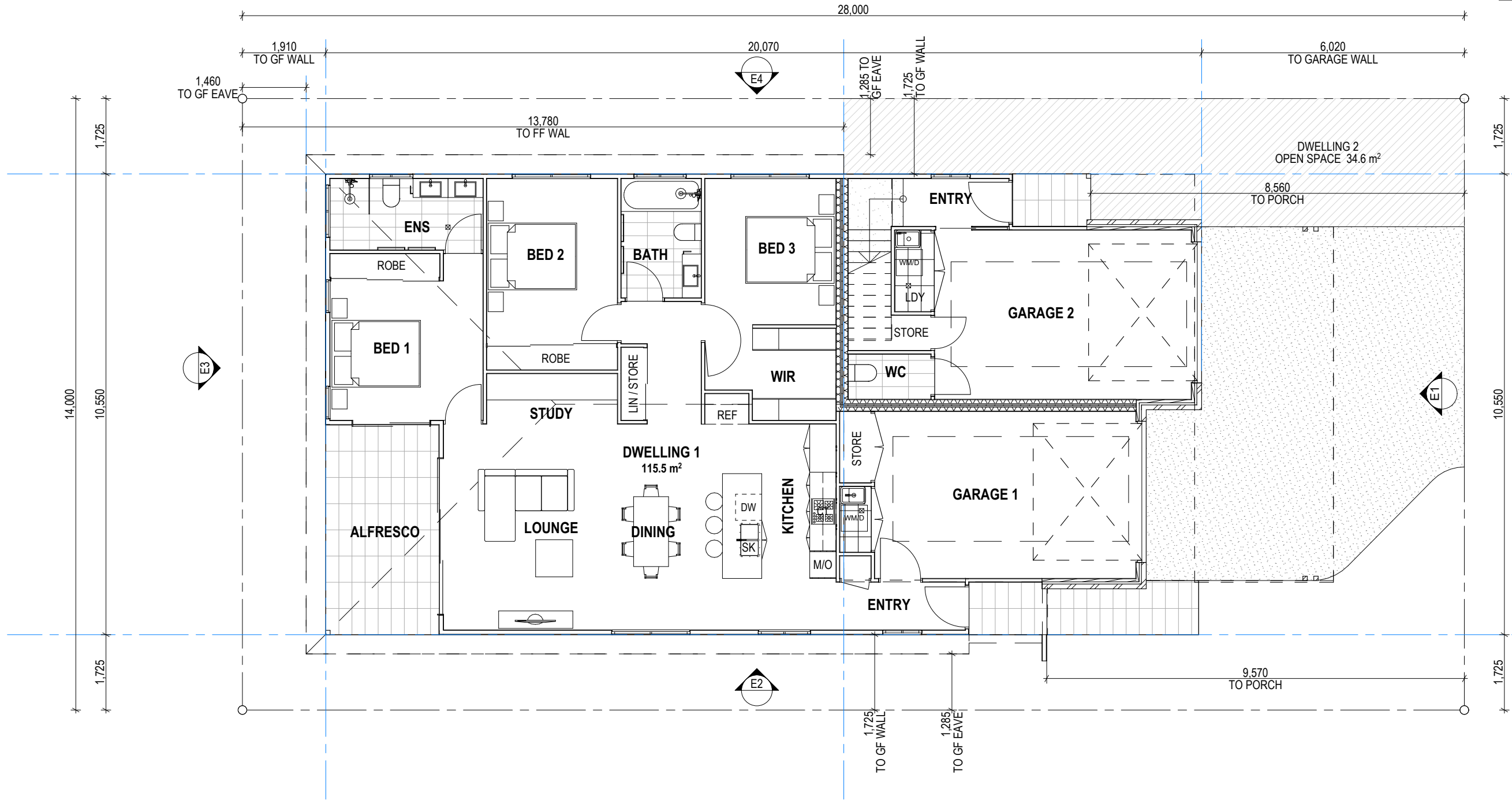
SK 05

Rev:

B

© Architect retains copyright. Do not copy any or all parts without permission.

AREAS - TYPE 3 (m2)	
ALFRESCO	12
DECK	26
DWELLING 1	115
DWELLING 2 LOWER	14
DWELLING 2 UPPER	71
GARAGE 1	28
GARAGE 2	24
PORCH 1	2
PORCH 2	2



1 TYPE 3 GROUND
1:100

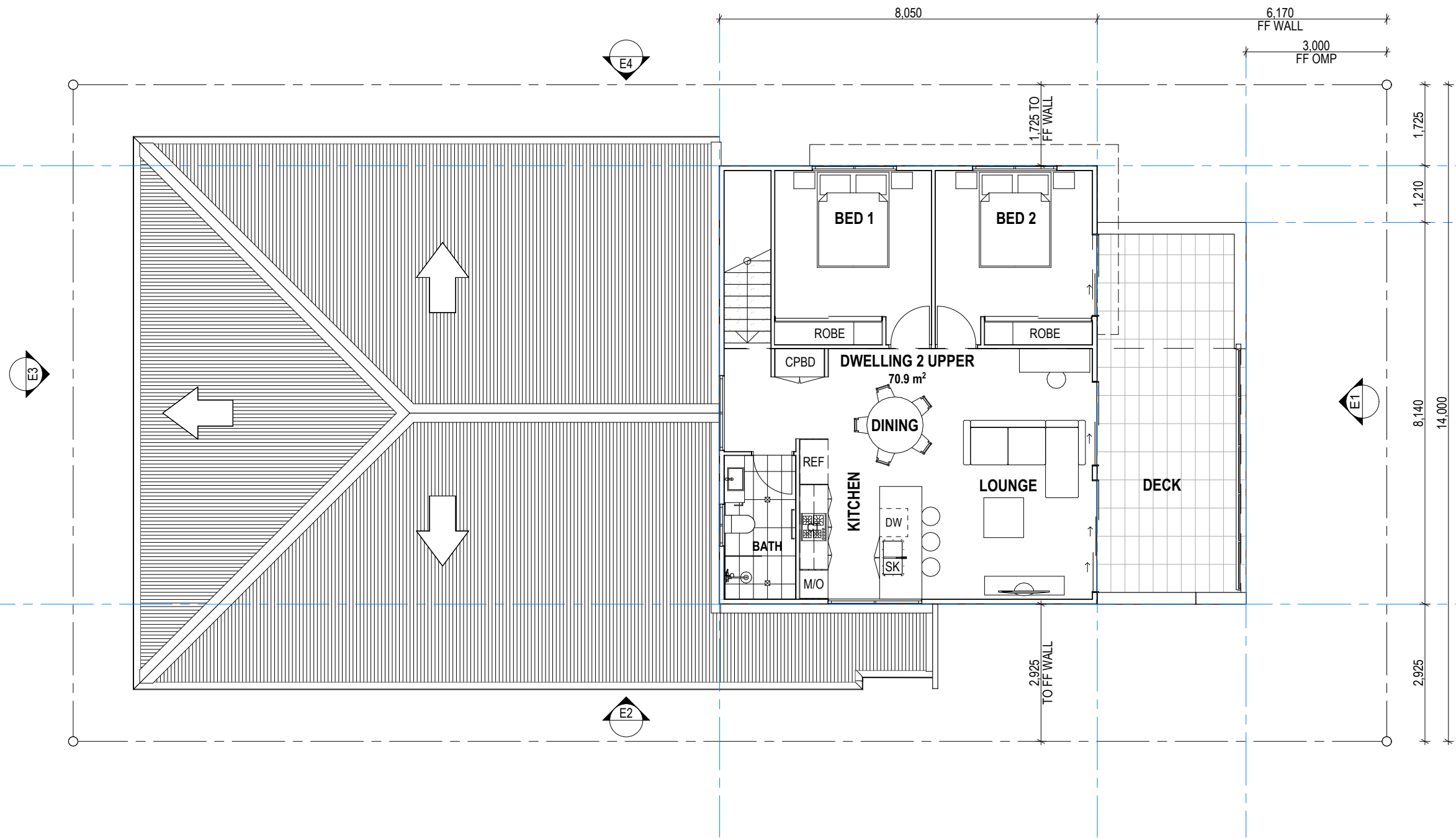
REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION
PRELIMINARY - NOT FOR TENDER, NOT FOR CONSTRUCTION				
COOMERA GA PTY LTD DUAL-OCCUPANCY DWELLINGS 54 GEORGE ALEXANDER WAY COOMERA,QLD				



PO BOX 1491
NEW FARM QLD 4005
P: 07 3172 0150
www.ultralinea.com.au
Nominated Architect - John Ford QLD 3411 NSW 9664

Drawing: SK TYPE 3 GROUND FLOOR PLAN			
Date: 01/02/23	Scale @ A3: 1:100, 1:1	Proj. No: 2229	Dwg. No: SK 06
Rev: B			© Architect retains copyright. Do not copy any or all parts without permission.

AREAS - TYPE 3 (m2)	
ALFRESCO	12
DECK	26
DWELLING 1	115
DWELLING 2 LOWER	14
DWELLING 2 UPPER	71
GARAGE 1	28
GARAGE 2	24
PORCH 1	2
PORCH 2	2



1 TYPE 3 LEVEL 1
1:100

PRELIMINARY - NOT FOR TENDER, NOT FOR CONSTRUCTION						COOMERA GA PTY LTD DUAL-OCCUPANCY DWELLINGS 54 GEORGE ALEXANDER WAY COOMERA, QLD
REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION		

Z:\CURRENT\Keylin George Alexander 2229\5.0 CAD\Keylin George Alexander 2229 v5.pln

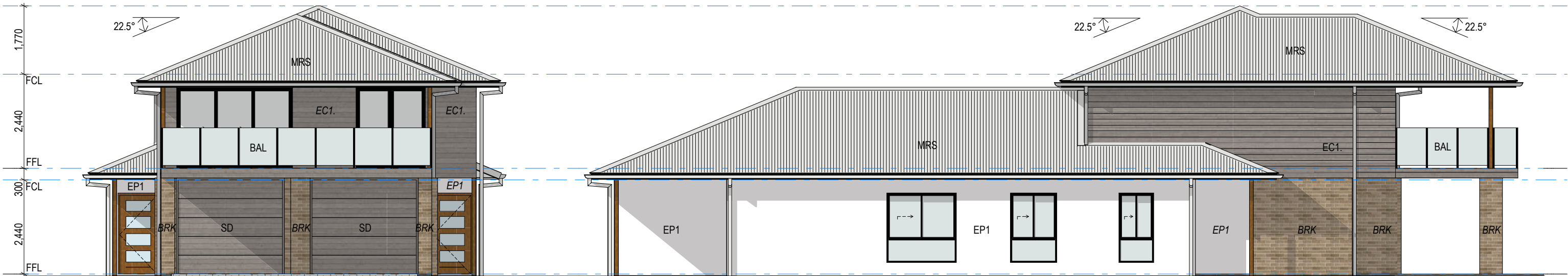


PO BOX 1491
NEW FARM QLD 4005
P: 07 3172 0150
www.ultralinea.com.au
Nominated Architect - John Ford QLD 3411 NSW 9664

Drawing: SK TYPE 3 LEVEL 1 FLOOR PLAN			
Date: 01/02/23	Scale @ A3: 1:100, 1:1		
Proj. No: 2229	Dwg. No: SK 07	Rev:	B

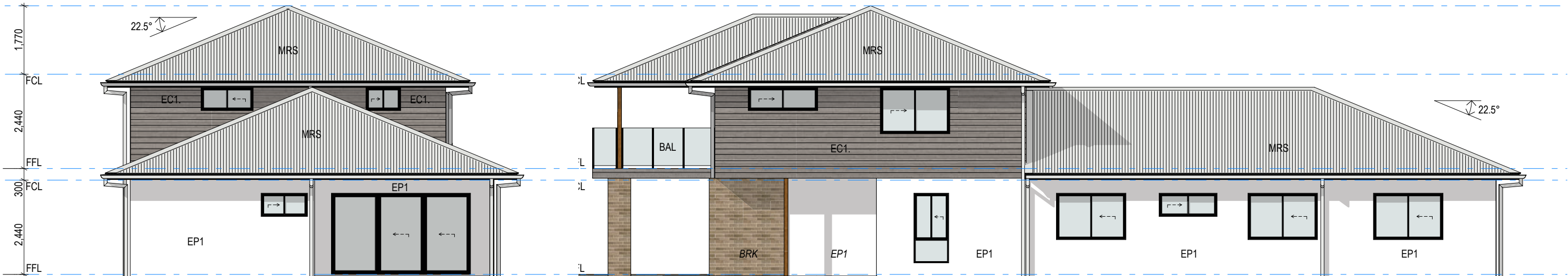
© Architect retains copyright. Do not copy any or all parts without permission.

- LEGEND**
- BAL SELECTED BALUSTRADE
 - BRK SELECTED BRICK
 - FCL CEILING LEVEL
 - FFL FLOOR LEVEL
 - EC1 SELECTED HORIZONTAL CLADDING
 - EP1 PAINTED FINE TEXTURE CLADDING
 - MRS METAL ROOF SHEET
 - SD SELECTED SECTIONAL DOOR
 - SHD SELECTED ALUMINIUM SUNHOOD



1 STREET ELEVATION
02 1:100

2 ELEVATION 2
02 1:100



3 ELEVATION 3
02 1:100

4 ELEVATION 4
02 1:100

- LEGEND
- BAL

SELECTED BALUSTRADE
- BRK

SELECTED BRICK
- FCL

CEILING LEVEL
- FFL

FLOOR LEVEL
- EC1

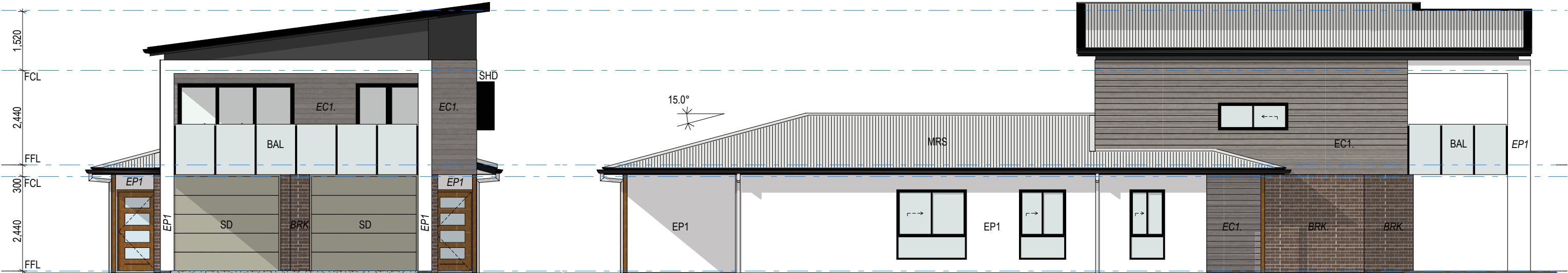
SELECTED HORIZONTAL CLADDING
- EP1

PAINTED FINE TEXTURE CLADDING
- MRS

METAL ROOF SHEET
- SD

SELECTED SECTIONAL DOOR
- SHD

SELECTED ALUMINIUM SUNHOOD



1

STREET ELEVATION

02

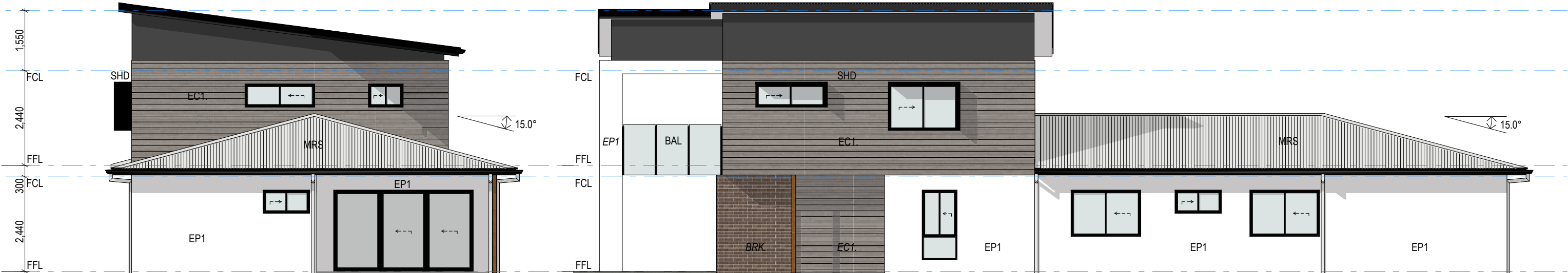
1:100

2

ELEVATION 2

02

1:100



3

ELEVATION 3

02

1:100

4

ELEVATION 4

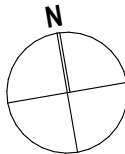
02

1:100

REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION
-----	------	-------------	----	--------------------

21\CURRENT\Keylin George Alexander 2229\5.0 CAD\Keylin George Alexander 2229 v5.pjn

PRELIMINARY - NOT FOR
TENDER, NOT FOR
CONSTRUCTION



COOMERA GA PTY LTD
DUAL-OCCUPANCY DWELLINGS
54 GEORGE ALEXANDER WAY
COOMERA,QLD



PO BOX 1491
NEW FARM QLD 4005
Nominated Architect - John Ford QLD 3411 NSW 9664

P: 07 3172 0150
www.ultralinea.com.au

Drawing:
SK ELEVATIONS TYPE 1
OPTION B

Date: 01/02/23
Proj. No: 2229
Scale @ A3: 1:100
Dwg. No: SK 09
Rev: B

© Architect retains copyright. Do not copy any or all parts without permission.

- LEGEND
- BAL

SELECTED BALUSTRADE
- BRK

SELECTED BRICK
- FCL

CEILING LEVEL
- FFL

FLOOR LEVEL
- EC1

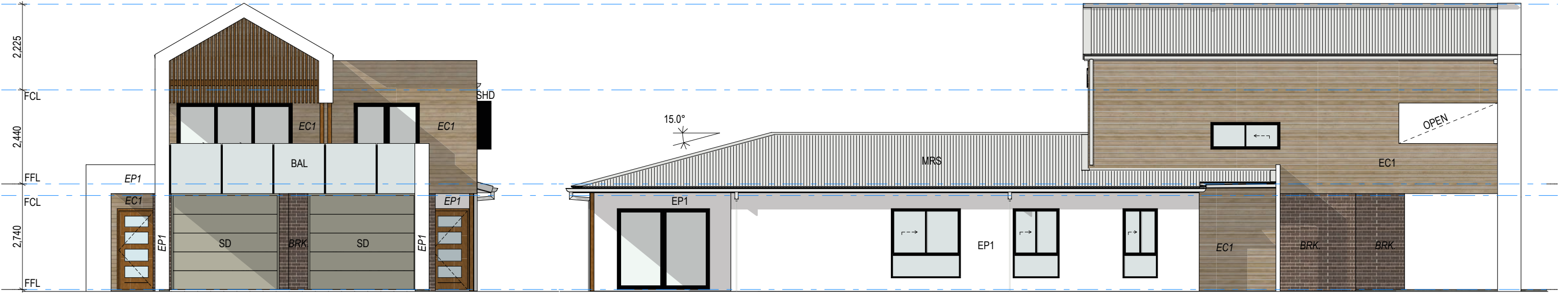
SELECTED HORIZONTAL CLADDING
- EP1

PAINTED FINE TEXTURE CLADDING
- MRS

METAL ROOF SHEET
- SD

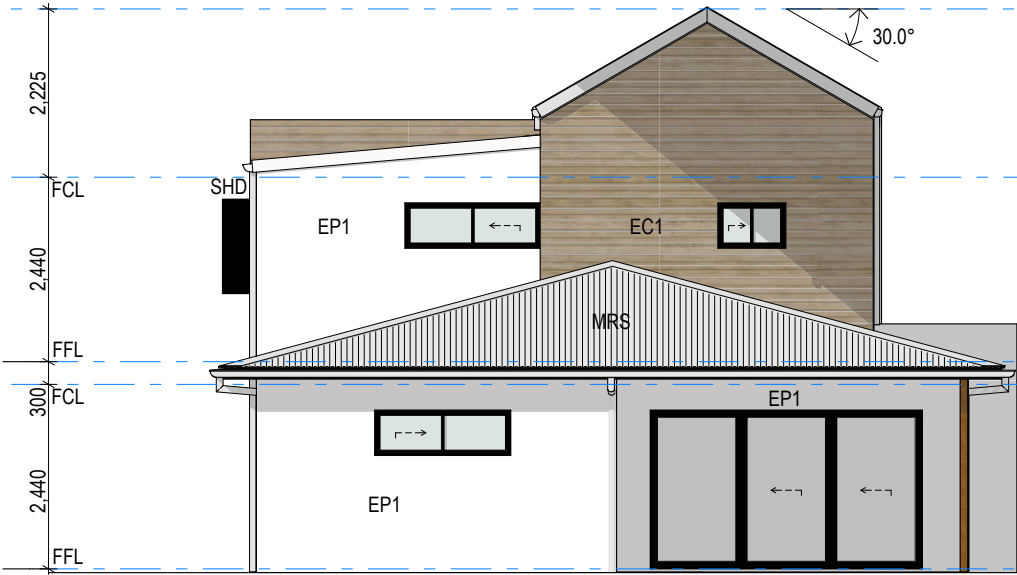
SELECTED SECTIONAL DOOR
- SHD

SELECTED ALUMINIUM SUNHOOD

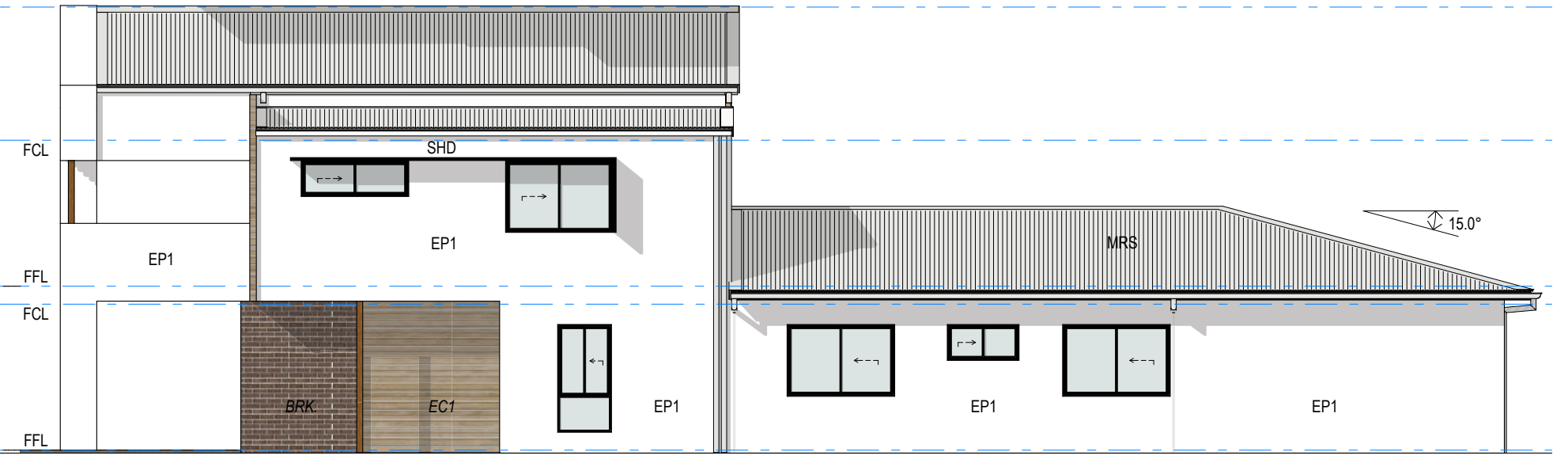


1 STREET ELEVATION
04 1:100

2 ELEVATION 2
04 1:100



3 ELEVATION 3
04 1:100

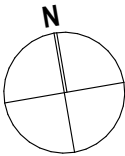


4 ELEVATION 4
04 1:100

REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION
-----	------	-------------	----	--------------------

21\CURRENT\Keylin George Alexander 2229\5.0 CAD\Keylin George Alexander 2229 v5.pln

PRELIMINARY - NOT FOR
TENDER, NOT FOR
CONSTRUCTION



COOMERA GA PTY LTD
DUAL-OCCUPANCY DWELLINGS
54 GEORGE ALEXANDER WAY
COOMERA, QLD



PO BOX 1491
NEW FARM QLD 4005
P: 07 3172 0150
www.ultralinea.com.au
Nominated Architect - John Ford QLD 3411 NSW 9664

Drawing:
SK ELEVATIONS TYPE 2

Date: 01/02/23
Proj. No: 2229
Scale @ A3: 1:100
Dwg. No: SK 10
Rev: B

© Architect retains copyright. Do not copy any or all parts without permission.

- LEGEND
- BAL

SELECTED BALUSTRADE
- BRK

SELECTED BRICK
- FCL

CEILING LEVEL
- FFL

FLOOR LEVEL
- EC1

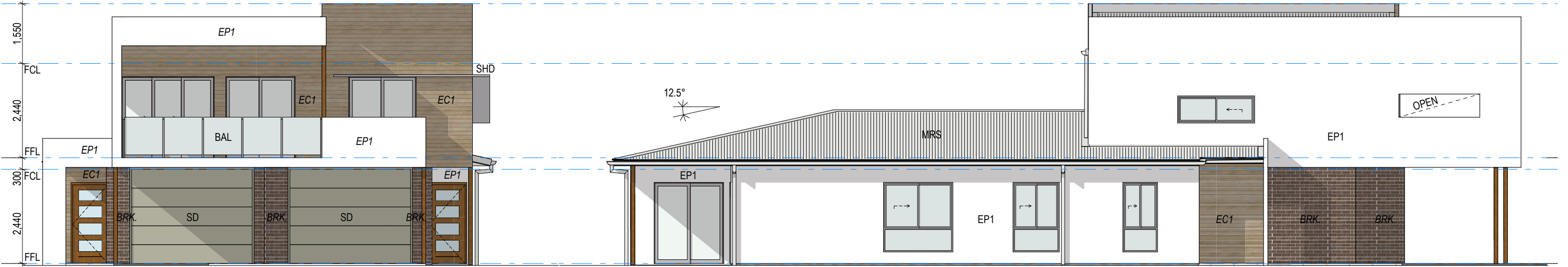
SELECTED HORIZONTAL CLADDING
- EP1

PAINTED FINE TEXTURE CLADDING
- MRS

METAL ROOF SHEET
- SD

SELECTED SECTIONAL DOOR
- SHD

SELECTED ALUMINIUM SUNHOOD

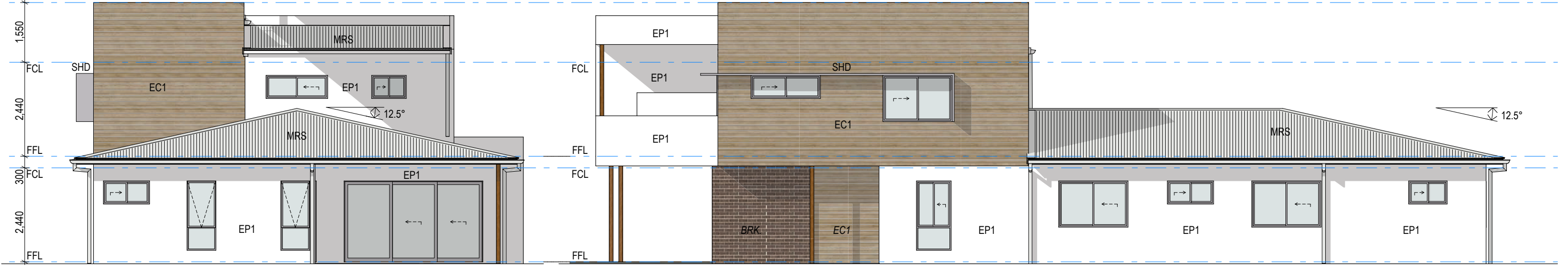


1 STREET ELEVATION

06 1:100

2 ELEVATION 2

06 1:100



3 ELEVATION 3

06 1:100

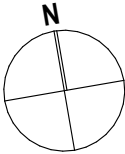
4 ELEVATION 4

06 1:100

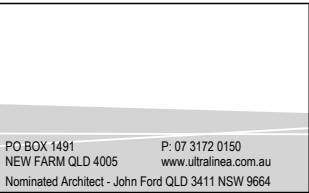
REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION
-----	------	-------------	----	--------------------

21\CURRENT\Keylin George Alexander 22295.0 CAD\Keylin George Alexander 2229 v5.pjn

PRELIMINARY - NOT FOR
TENDER, NOT FOR
CONSTRUCTION



COOMERA GA PTY LTD
DUAL-OCCUPANCY DWELLINGS
54 GEORGE ALEXANDER WAY
COOMERA,QLD



Drawing:
SK ELEVATIONS TYPE 3

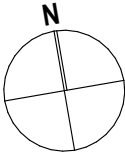
Date: 01/02/23
Proj. No: 2229
Scale @ A3: 1:100
Dwg. No: SK 11
Rev: B

© Architect retains copyright. Do not copy any or all parts without permission.







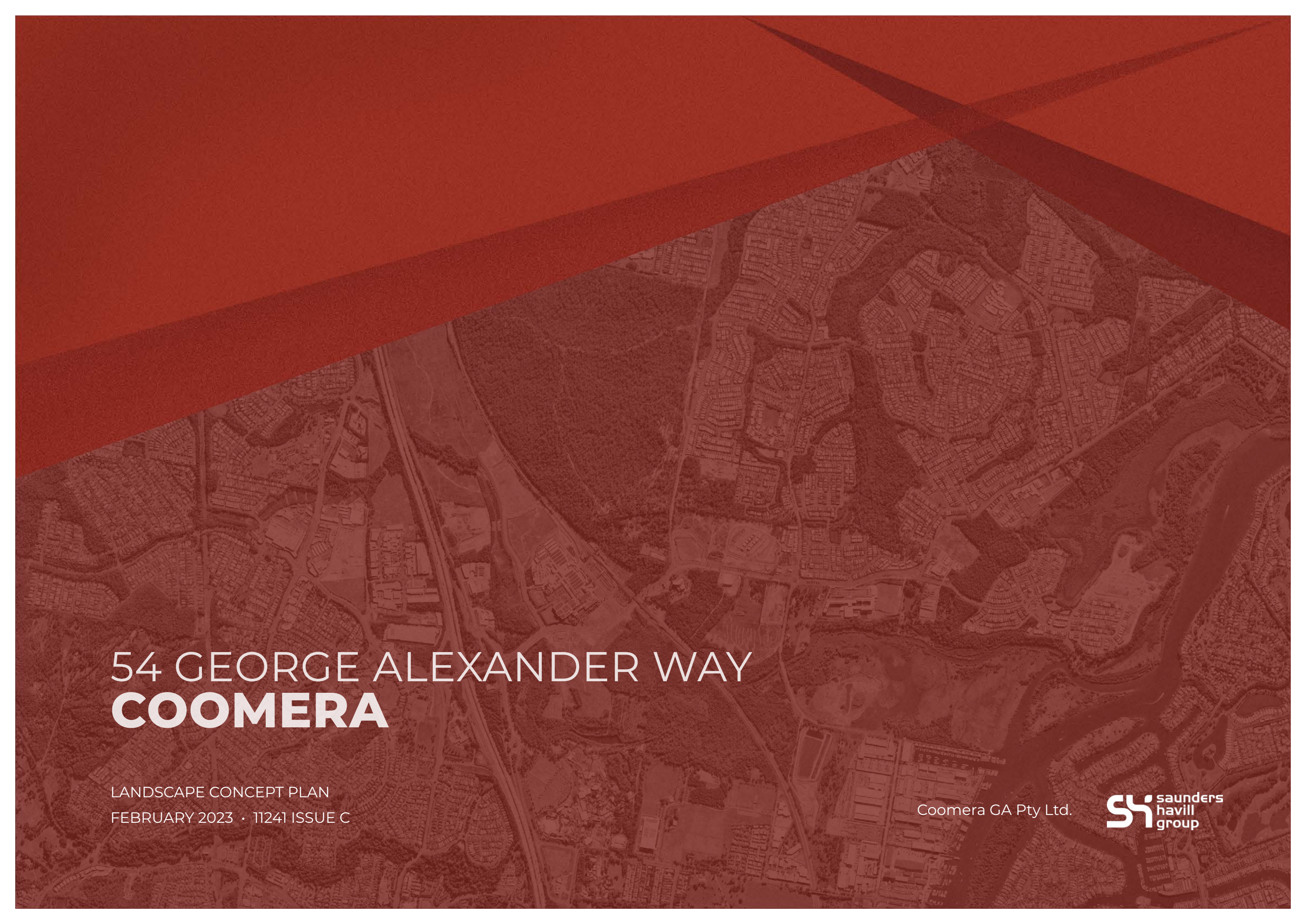
REV	DATE	DESCRIPTION	NO	CHANGE DESCRIPTION
PRELIMINARY - NOT FOR TENDER, NOT FOR CONSTRUCTION  COOMERA GA PTY LTD DUAL-OCCUPANCY DWELLINGS 54 GEORGE ALEXANDER WAY COOMERA,QLD				



PO BOX 1491 NEW FARM QLD 4005 Nominated Architect - John Ford QLD 3411 NSW 9664	P: 07 3172 0150 www.ultralinea.com.au
---	--

Drawing: SK PERSPECTIVE TYPE 2			
Date: 01/02/23	Scale @ A3:	Dwg. No:	Rev:
2229	SK 14		B
© Architect retains copyright. Do not copy any or all parts without permission.			



An aerial photograph of a suburban area, likely Coomera, Australia, showing residential streets, houses, and green spaces. A large, semi-transparent red overlay covers the top half of the image, creating a modern, graphic design. The text is positioned in the lower-left quadrant of the red area.

54 GEORGE ALEXANDER WAY **COOMERA**

LANDSCAPE CONCEPT PLAN
FEBRUARY 2023 • 11241 ISSUE C

Coomera GA Pty Ltd.





Prepared by:

Saunders Havill Group
9 Thompson Street,
Bowen Hills QLD 4006
T. 1300 123 744
ABN 24 144 972 949

Coomera GA Pty Ltd.

Prepared for:

Coomera GA Pty Ltd.

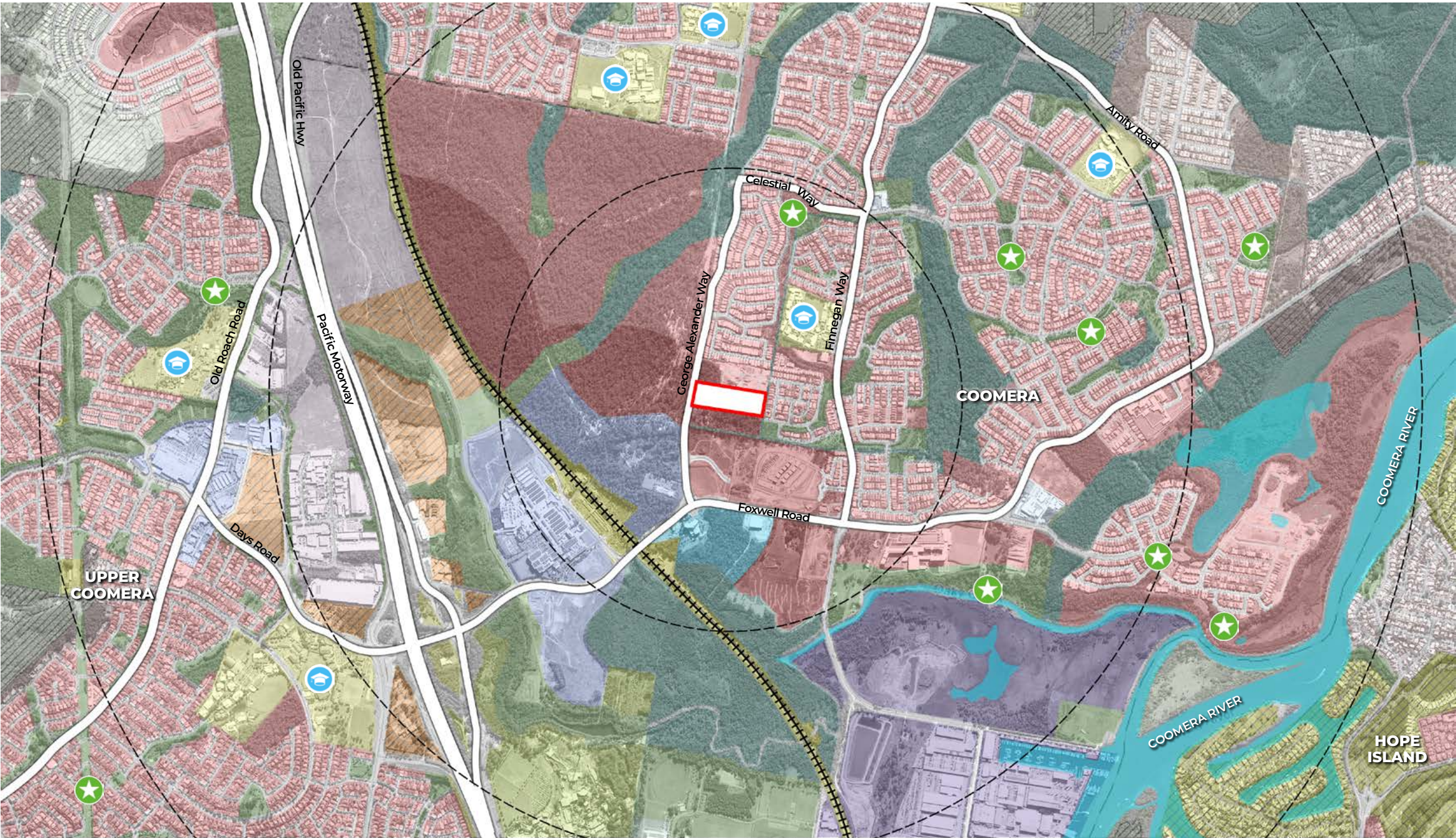
CONTENTS

01	COVER PAGE
02	CONTENTS
03	SITE CONTEXT
04	SITE ANALYSIS
05	SITE MASTER PLAN
06	INDICATIVE PLANT PALETTE

Information within this document is the property of Saunders Havill Group and is not authorised for reproduction or use in whole or part without written permission. All concept designs and artwork within this document is copyright of and remains the property of Saunders Havill Group. All rights reserved. Any unauthorised or redistribution of part or all of in any form without prior consent from Saunders Havill Group is strictly prohibited.

Reproduction or redistributing design or artwork concept provided by Saunders Havill Group regardless of format, shall adhere to the following guideline:
- the design/artwork concept should not be edited or changed aesthetically, however it can be cropped or framed to suit respective mediums;
- any necessary changes to the design/artwork concept if approved shall be instructed by Saunders Havill Group's client only and not by other third parties unless agreed to between Saunders Havill Group and the client.

These plans have been prepared for the exclusive use of the client. Saunders Havill Group do not accept responsibility for any use of or reliance upon the contents of these drawings by any third party.



LEGEND

- SITE LOCATION
- CENTRE
- COMMUNITY FACILITY
- EMERGING COMMUNITY
- ENVIRONMENTAL
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- MIXED USE
- OPEN SPACE
- RURAL
- INDUSTRIAL
- TOURISM
- WATERBODIES
- PARK/ RECREATION
- SCHOOL
- CATCHMENT
- RAILWAY LINE





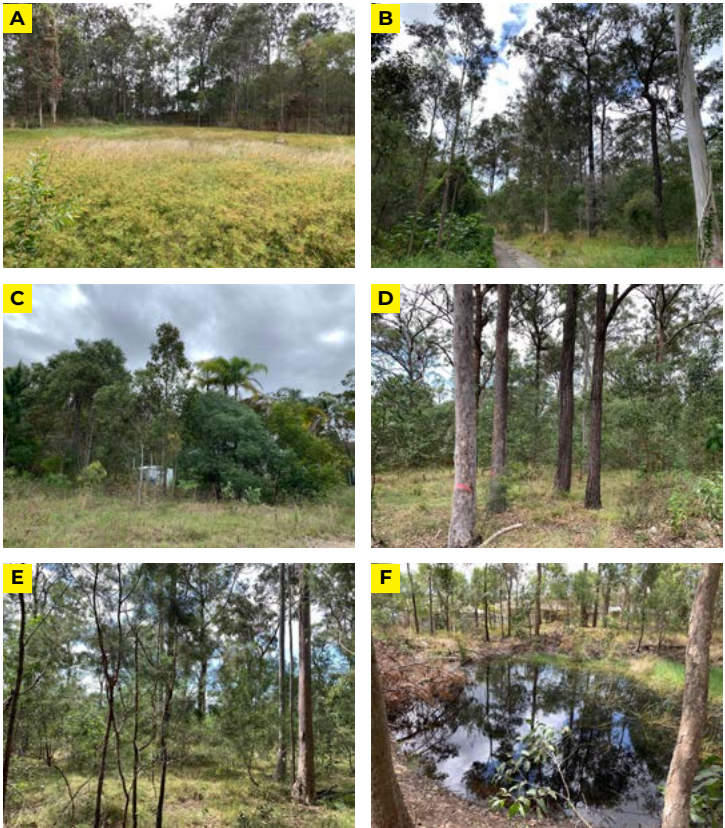
- SITE BOUNDARY
- DAMS/ WATER BODIES
1.

EXISTING BUILDING/ STRUCTURE
2.

EXISTING VEGETATION THROUGHOUT
3.

ADJACENT PROPERTY
4.

AJOINING DEVELOPMENT





TREES



SHRUBS



GROUND
COVERS



- 1. ELAEOCARPUS spp.
- 2. GREVILLEA baileyana
- 3. LOPHOSTEMON confertus
- 4. WATERHOUSEA floribunda

- 5. DORYANTHES excelsa
- 6. GREVILLEA Robyn Gordon
- 7. KALANCHOE orgyalis
- 8. STRELITZIA reginae
- 9. SYZYGIVM spp.

- 10. DIANELLA silver streak
- 11. HELICHRYSUM italicum
- 12. LIRIOPE Evergreen Giant
- 13. LOMANDRA spp.
- 14. MYOPORUM ellipticum
- 15. RUSSELIA Lemon Falls
- 16. SCAEVOLA aemula

NOTE: PLANT SPECIES ARE ONLY
INDICATIVE AND ARE TO BE
CONFIRMED WITHIN FUTURE
OPW APPLICATIONS

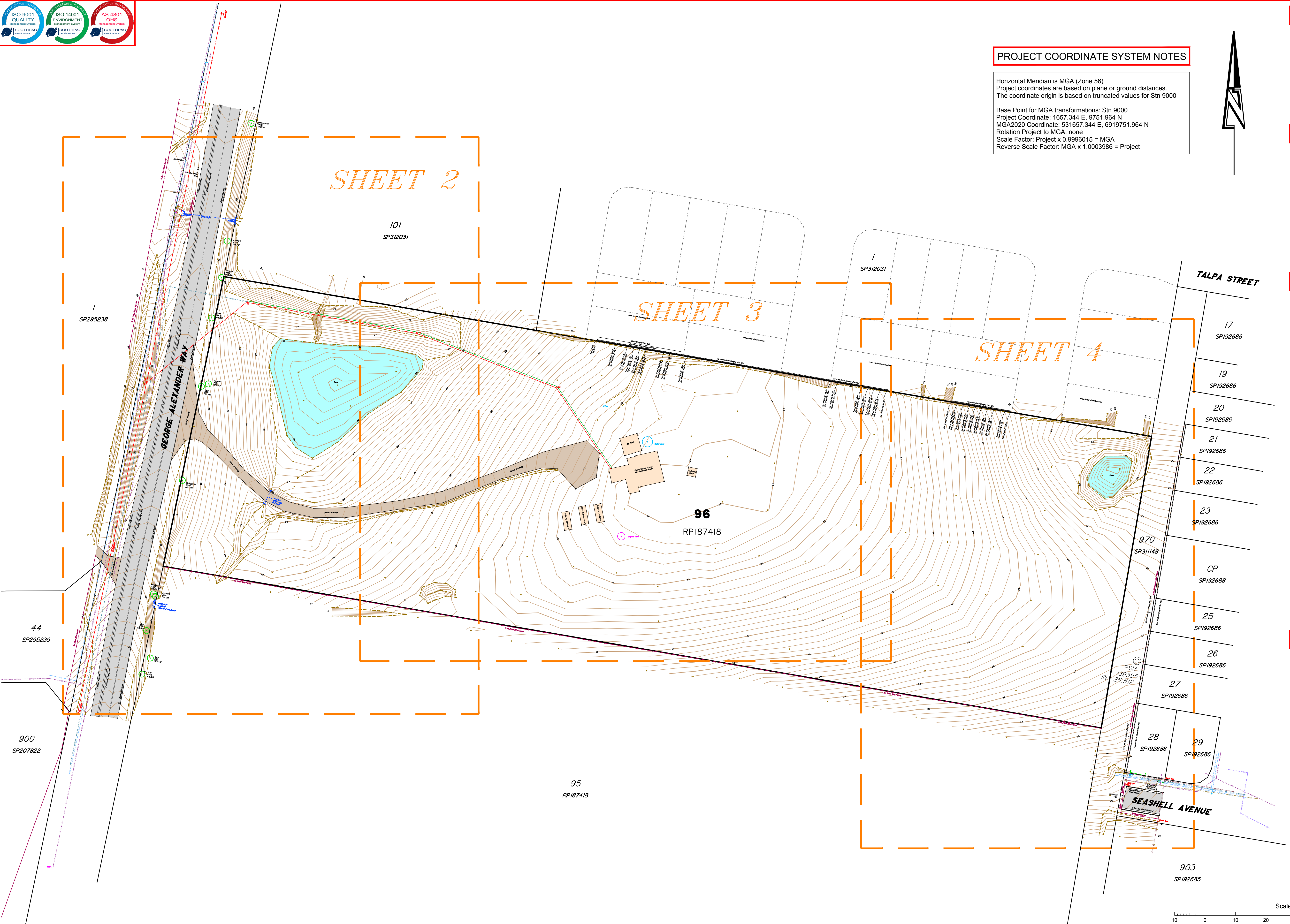


Prepared by:
Saunders Havill Group
9 Thompson Street,
Bowen Hills QLD 4006
T. 1300 123 744
ABN 24 144 972 949

Coomera GA Pty Ltd.

Prepared for:
Coomera GA Pty Ltd.

Know How
www.saundershavill.com



PROJECT COORDINATE SYSTEM NOTES

Horizontal Meridian is MGA (Zone 56)
Project coordinates are based on plane or ground distances.
The coordinate origin is based on truncated values for Stn 9000

Base Point for MGA transformations: Stn 9000
Project Coordinate: 1657.344 E, 9751.964 N
MGA2020 Coordinate: 531657.344 E, 6919751.964 N
Rotation Project to MGA: none
Scale Factor: Project x 0.9996015 = MGA
Reverse Scale Factor: MGA x 1.0003986 = Project

LEGEND

Quality levels are shown on linetypes along with service type eg.
—E(A)— First Letter is the Service (Elec) and the second is Quality Level (A)

	by Survey	by Records
U/G ELECTRICITY	—E(A)—	—E(D)—
O/H ELECTRICITY	—E—	—E—
O/H TELECOMMUNICATIONS	—T—	—T—
U/G TELECOMMUNICATIONS	—T(A)—	—T(D)—
U/G DRAINAGE	—D(A)—	—D(D)—
SEWERAGE	—S(A)—	—S(D)—
WATER	—W(A)—	—W(D)—
GAS	—G(A)—	—G(D)—
FENCE	—F—	—F—

SYMBOLS

Sewer Manhole	○ SMH	MH	Manhole
Gully Trap	○ GT	SL	Surface Level
Stormwater Manhole	○ SWMH	IL	Invert Level
Fire Hydrant	○ FH	BM	Bench Mark
Valve	○ V	Ø	Diameter
Water Meter	○ WM	RCP	Reinforced Concrete Pipe
Electricity Box / Pillar	□ Elect Box	GI	Galvanised Iron
Electric Light Pole	○ ELP	Ø, H, S	Trunk diameter, Height, Spread (canopy diameter)
Power Pole	○ PP		
Electricity Manhole	□ Elect MH		
Electricity Pit	□ Elect PH		
Traffic Signal Pit	□ Traffic PH		
Traffic Light	○ Traffic		
Telecommunications Manhole	□ Tel MH		
Telecommunications Pit	□ Tel PH		
Tree / Shrub	○		

ABBREVIATIONS

NOTES

This Plan has been prepared from a combination of field survey and existing records for the purpose of showing the physical features of the land to assist in designing future development, and should not be used for any other purpose.

See IS313805 for survey of external boundaries of Lot 96 on RP187418. All other boundaries shown hereon were not verified or marked at the time of survey, but were determined by existing title dimensions and occupation (where available), not be field measurement. As such, these dimensions could be out of date and incorrect by modern standards. This plan should not be used for building to boundary, or to prescribed set-backs, without further boundary survey.

Services shown hereon were located where possible by field survey. If not able to be so located, known services have been shown from the records of the relevant authorities or service providers where available and have been noted accordingly on this plan. All services shown from records only will need verification prior to, or during work on site.

Prior to any demolition, excavation or construction on site, the relevant authority should be contacted for:

- * Verification of all services plotted from records only, and
- * Possible location of any services altered since this survey was completed or any new services installed either on or adjacent to the site.

Before starting any demolition, excavation or construction on the site, the relevant person should make an independent and updated enquiry of "dial before you dig" and any relevant service providers to ascertain the existence of further services (if any) and the accurate location of those not able to have been surveyed at the time of preparing this plan.

* No responsibility can be accepted by Saunders Havill Group Pty Ltd, for any damage caused to any underground service or any loss or injury so suffered if enquiry and verification have not been completed in accordance with this note.

** This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.

QUALITY LEVELS

This plan shows Quality classifications of sub surface utility data as per AS4588-2013. The following classifications apply.

Quality Level D - (least accurate level and if used on its own has a high risk of damage) QL-D information is generally obtained from existing records provided by utilities as a result of a Dial Before You Dig enquiry being lodged. In many cases the asset depicted on the plan is in a schematic format only and intended only to indicate its presence.

Quality Level C - (low accuracy and a high risk of damage) Is described as a surface feature correlation or an interpretation of the approximate location and attributes of a subsurface utility asset using a combination of existing records and site survey of visible evidence – for example you can see the pit lids shown on the plan but the actual position of underground connection between pits is still assumed.

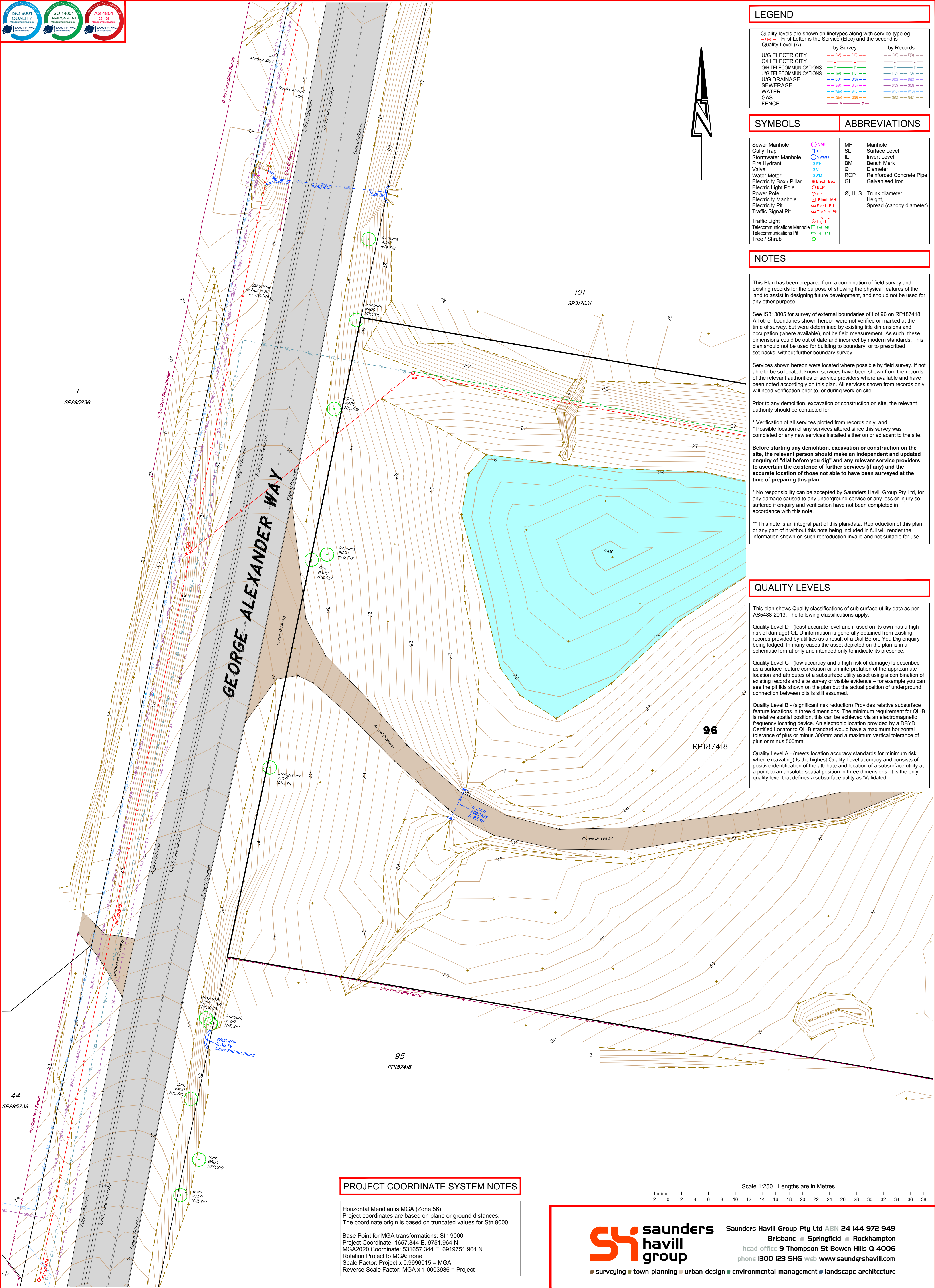
Quality Level B - (significant risk reduction) Provides relative subsurface feature locations in three dimensions. The minimum requirement for QL-B is relative spatial position, this can be achieved via an electromagnetic frequency locating device. An electronic location provided by a DBYD Certified Locator to QL-B standard would have a maximum horizontal tolerance of plus or minus 300mm and a maximum vertical tolerance of plus or minus 500mm.

Quality Level A - (meets location accuracy standards for minimum risk when excavating) Is the highest Quality Level accuracy and consists of positive identification of the attribute and location of a subsurface utility at a point to an absolute spatial position in three dimensions. It is the only quality level that defines a subsurface utility as 'Validated'.

No.	Drawn	Date	Description	Checked
A	MD	31/10/2022	Original Issue	JC

Plan of	DETAIL PLAN Sheet 1 of 4
Project	54 George Alexander Way, Coomera
Client	Coomera GA Pty Ltd ATF The Coomera GA Unit Trust

Surveyed BC	Date Oct 2022	Lot Description
Level Datum: AHD der.		Lot 96 on RP187418
Origin of Levels: PM139395 RL of Origin: 26.512		Locality: Coomera Local Government: Gold Coast City
Contour Interval: 0.2m		



LEGEND

Quality levels are shown on linetypes along with service type eg. — E — First Letter is the Service (Elec) and the second is Quality Level (A)			by Survey	by Records
U/G ELECTRICITY	— E —	— E —	— E —	— E —
O/H ELECTRICITY	— E —	— E —	— E —	— E —
O/H TELECOMMUNICATIONS	— T —	— T —	— T —	— T —
U/G TELECOMMUNICATIONS	— T —	— T —	— T —	— T —
U/G DRAINAGE	— D —	— D —	— D —	— D —
SEWERAGE	— S —	— S —	— S —	— S —
WATER	— W —	— W —	— W —	— W —
GAS	— G —	— G —	— G —	— G —
FENCE	— F —	— F —	— F —	— F —

SYMBOLS

Sewer Manhole	SMH	MH	Manhole
Gully Trap	GT	SL	Surface Level
Stormwater Manhole	SWMH	IL	Invert Level
Fire Hydrant	FH	BM	Bench Mark
Valve	V	Ø	Diameter
Water Meter	WM	RCP	Reinforced Concrete Pipe
Electricity Box / Pillar	Elect Box	GI	Galvanised Iron
Electric Light Pole	ELP	Ø, H, S	Trunk diameter, Height, Spread (canopy diameter)
Power Pole	PP		
Electricity Manhole	Elect MH		
Electricity Pit	Elect Pit		
Traffic Signal Pit	Traffic Pit		
Traffic Light	Light		
Telecommunications Manhole	Tel MH		
Telecommunications Pit	Tel Pit		
Tree / Shrub			

NOTES

This Plan has been prepared from a combination of field survey and existing records for the purpose of showing the physical features of the land to assist in designing future development, and should not be used for any other purpose.

See IS313805 for survey of external boundaries of Lot 96 on RP187418. All other boundaries shown hereon were not verified or marked at the time of survey, but were determined by existing title dimensions and occupation (where available), not be field measurement. As such, these dimensions could be out of date and incorrect by modern standards. This plan should not be used for building to boundary, or to prescribed set-backs, without further boundary survey.

Services shown hereon were located where possible by field survey, if not able to be so located, known services have been shown from the records of the relevant authorities or service providers where available and have been noted accordingly on this plan. All services shown from records only will need verification prior to, or during work on site.

Prior to any demolition, excavation or construction on site, the relevant authority should be contacted for:

- * Verification of all services plotted from records only, and
- * Possible location of any services altered since this survey was completed or any new services installed either on or adjacent to the site.

Before starting any demolition, excavation or construction on the site, the relevant person should make an independent and updated enquiry of "dial before you dig" and any relevant service providers to ascertain the existence of further services (if any) and the accurate location of those not able to have been surveyed at the time of preparing this plan.

* No responsibility can be accepted by Saunders Havill Group Pty Ltd, for any damage caused to any underground service or any loss or injury so suffered if enquiry and verification have not been completed in accordance with this note.

** This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.

QUALITY LEVELS

This plan shows Quality classifications of sub surface utility data as per AS5488-2013. The following classifications apply.

Quality Level D - (least accurate level and if used on its own has a high risk of damage) QL-D information is generally obtained from existing records provided by utilities as a result of a Dial Before You Dig enquiry being lodged. In many cases the asset depicted on the plan is in a schematic format only and intended only to indicate its presence.

Quality Level C - (low accuracy and a high risk of damage) Is described as a surface feature correlation or an interpretation of the approximate location and attributes of a subsurface utility asset using a combination of existing records and site survey of visible evidence – for example you can see the pit lids shown on the plan but the actual position of underground connection between pits is still assumed.

Quality Level B - (significant risk reduction) Provides relative subsurface feature locations in three dimensions. The minimum requirement for QL-B is relative spatial position, this can be achieved via an electromagnetic frequency locating device. An electronic location provided by a DEVD Certified Locator to QL-B standard would have a maximum horizontal tolerance of plus or minus 300mm and a maximum vertical tolerance of plus or minus 500mm.

Quality Level A - (meets location accuracy standards for minimum risk when excavating) Is the highest Quality Level accuracy and consists of positive identification of the attribute and location of a subsurface utility at a point to an absolute spatial position in three dimensions. It is the only quality level that defines a subsurface utility as 'Validated'.

PROJECT COORDINATE SYSTEM NOTES

Horizontal Meridian is MGA (Zone 56)
Project coordinates are based on plane or ground distances.
The coordinate origin is based on truncated values for Stn 9000

Base Point for MGA transformations: Stn 9000
Project Coordinate: 1657.344 E, 9751.964 N
MGA2020 Coordinate: 531657.344 E, 6919751.964 N
Rotation Project to MGA: none
Scale Factor: Project x 0.9996015 = MGA
Reverse Scale Factor: MGA x 1.0003986 = Project

Scale 1:250 - Lengths are in Metres.



saunders havill group

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

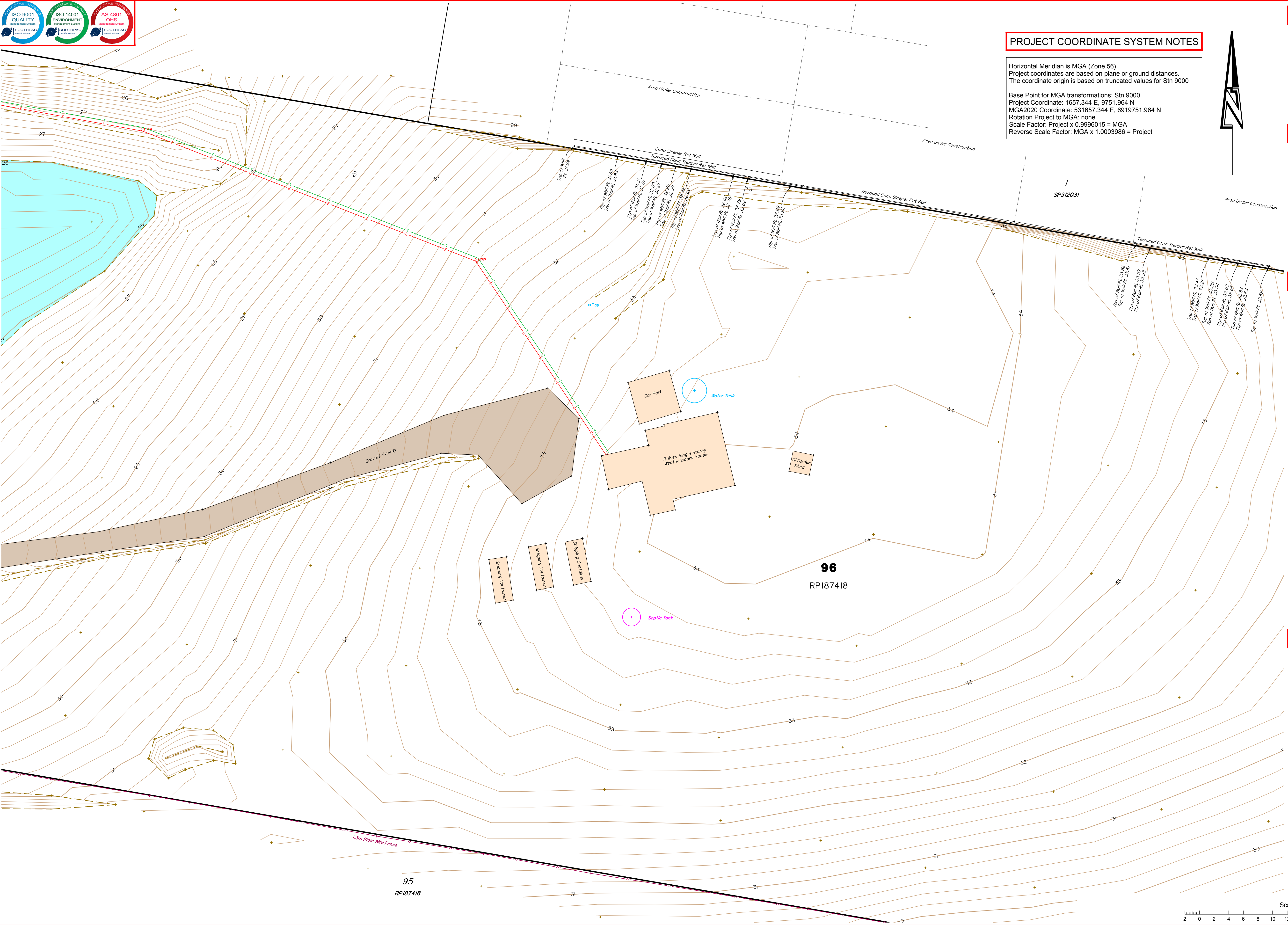
Saunders Havill Group Pty Ltd ABN 24 144 972 949

Brisbane ■ Springfield ■ Rockhampton

head office 9 Thompson St Bowen Hills Q 4006

phone 1300 123 SHG web www.saundershavill.com

Issues	No.	Drawn	Date	Description	Checked	Plan of
	A	MD	31/10/2022	Original Issue	JC	
DETAIL PLAN						
Sheet 2 of 4						
Project 54 George Alexander Way, Coomera						
Client Coomera GA Pty Ltd ATF The Coomera GA Unit Trust						
Surveyed BC		Date Oct 2022		Lot Description		
Level Datum: AHD der.		Origin of Levels: PM139395		Lot 96 on RP187418		
RL of Origin: 26.512		Contour Interval: 0.2m		Locality: Coomera		
				Local Government: Gold Coast City		
surveying				Scale @A1 1: 250		
				@A3 1: 500		
				Dwg No. 11241 S 03 DT A		



PROJECT COORDINATE SYSTEM NOTES

Horizontal Meridian is MGA (Zone 56)
Project coordinates are based on plane or ground distances.
The coordinate origin is based on truncated values for Stn 9000
Base Point for MGA transformations: Stn 9000
Project Coordinate: 1657.344 E, 9751.964 N
MGA2020 Coordinate: 531657.344 E, 6919751.964 N
Rotation Project to MGA: none
Scale Factor: Project x 0.9996015 = MGA
Reverse Scale Factor: MGA x 1.0003986 = Project

LEGEND

Quality levels are shown on linetypes along with service type eg. -E(A)- First Letter is the Service (Elec) and the second is Quality Level (A)

	by Survey	by Records
U/G ELECTRICITY	-E(A)- -E(B)-	-E(C)- -E(D)-
O/H ELECTRICITY	-E-	-E-
O/H TELECOMMUNICATIONS	-T-	-T-
U/G TELECOMMUNICATIONS	-TA- -TB-	-TC- -TD-
U/G DRAINAGE	-DA- -DB-	-DC- -DD-
SEWERAGE	-SA- -SB-	-SC- -SD-
WATER	-WA- -WB-	-WC- -WD-
GAS	-GA- -GB-	-GC- -GD-
FENCE	-F-	-F-

SYMBOLS

Sewer Manhole	SMH	MH	Manhole
Gully Trap	G	SL	Surface Level
Stormwater Manhole	SMWH	IL	Invert Level
Fire Hydrant	FH	BM	Bench Mark
Valve	V	Ø	Diameter
Water Meter	WM	RCP	Reinforced Concrete Pipe
Electricity Box / Pillar	EB	GI	Galvanised Iron
Electric Light Pole	ELP		
Power Pole	PP	Ø, H, S	Trunk diameter, Height, Spread (canopy diameter)
Electricity Manhole	EMH		
Electricity Pit	EP		
Traffic Signal Pit	TSP		
Traffic Light	TL		
Telecommunications Manhole	TMH		
Telecommunications Pit	TP		
Tree / Shrub	T		

ABBREVIATIONS

NOTES

This Plan has been prepared from a combination of field survey and existing records for the purpose of showing the physical features of the land to assist in designing future development, and should not be used for any other purpose.

See IS313805 for survey of external boundaries of Lot 96 on RP187418. All other boundaries shown hereon were not verified or marked at the time of survey, but were determined by existing title dimensions and occupation (where available), not by field measurement. As such, these dimensions could be out of date and incorrect by modern standards. This plan should not be used for building to boundary, or to prescribed set-backs, without further boundary survey.

Services shown hereon were located where possible by field survey. If not able to be so located, known services have been shown from the records of the relevant authorities or service providers where available and have been noted accordingly on this plan. All services shown from records only will need verification prior to, or during work on site.

Prior to any demolition, excavation or construction on site, the relevant authority should be contacted for:

- * Verification of all services plotted from records only, and
- * Possible location of any services altered since this survey was completed or any new services installed either on or adjacent to the site.

Before starting any demolition, excavation or construction on the site, the relevant person should make an independent and updated enquiry of "dial before you dig" and any relevant service providers to ascertain the existence of further services (if any) and the accurate location of those not able to have been surveyed at the time of preparing this plan.

* No responsibility can be accepted by Saunders Havill Group Pty Ltd, for any damage caused to any underground service or any loss or injury so suffered if enquiry and verification have not been completed in accordance with this note.

** This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.

QUALITY LEVELS

This plan shows Quality classifications of sub surface utility data as per AS488-2013. The following classifications apply.

Quality Level D - (least accurate level and if used on its own has a high risk of damage) QL-D information is generally obtained from existing records provided by utilities as a result of a Dial Before You Dig enquiry being lodged. In many cases the asset depicted on the plan is in a schematic format only and intended only to indicate its presence.

Quality Level C - (low accuracy and a high risk of damage) is described as a surface feature correlation or an interpretation of the approximate location and attributes of a subsurface utility asset using a combination of existing records and site survey of visible evidence - for example you can see the pit lids shown on the plan but the actual position of underground connection between pits is still assumed.

Quality Level B - (significant risk reduction) Provides relative subsurface feature locations in three dimensions. The minimum requirement for QL-B is relative spatial position, this can be achieved via an electromagnetic frequency locating device. An electronic location provided by a DBYD Certified Locator to QL-B standard would have a maximum horizontal tolerance of plus or minus 300mm and a maximum vertical tolerance of plus or minus 500mm.

Quality Level A - (meets location accuracy standards for minimum risk when excavating) Is the highest Quality Level accuracy and consists of positive identification of the attribute and location of a subsurface utility at a point to an absolute spatial position in three dimensions. It is the only quality level that defines a subsurface utility as 'Validated'.

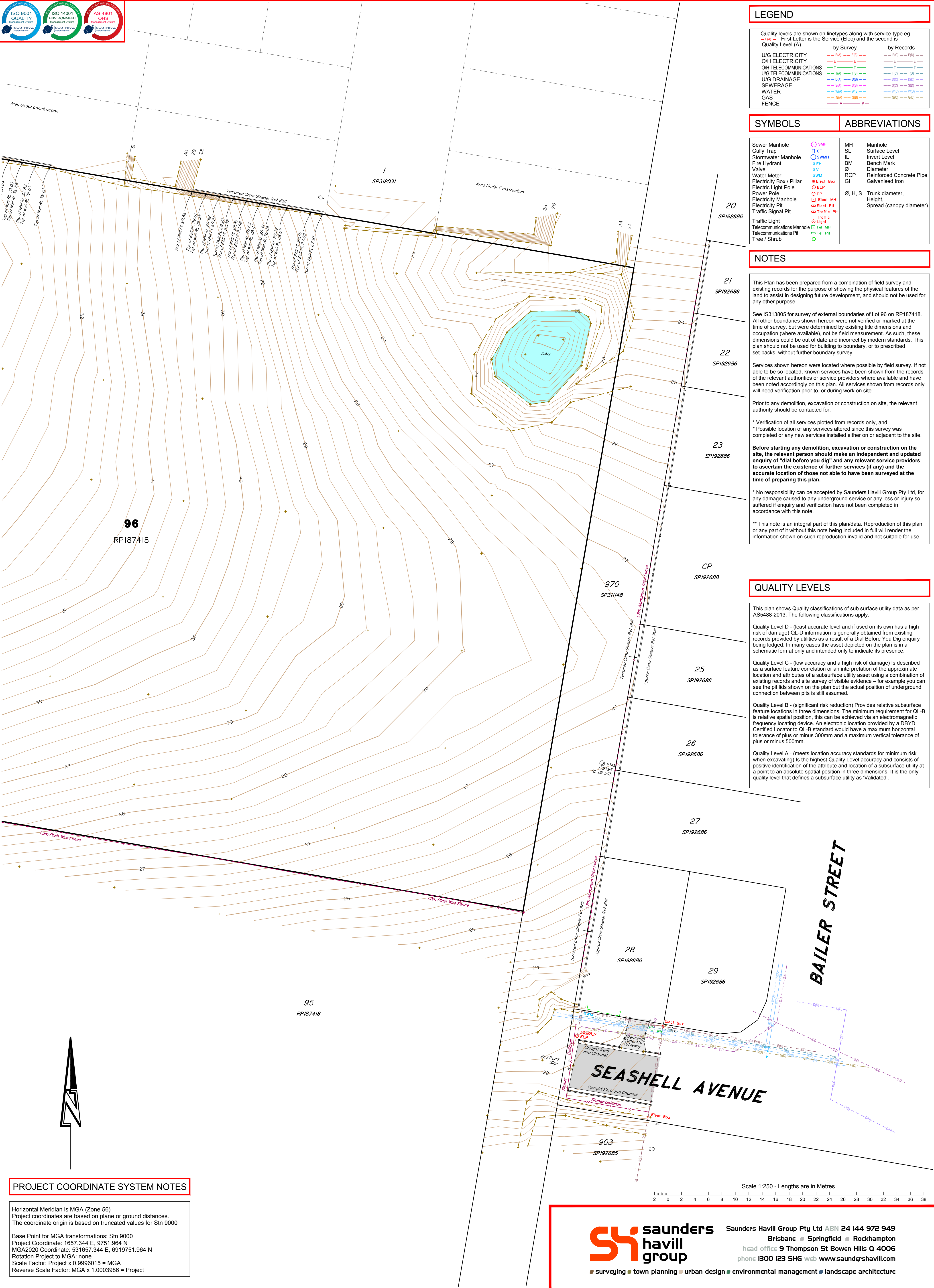
Scale 1:250 - Lengths are in Metres.

No.	Drawn	Date	Description	Checked
A	MD	31/10/2022	Original Issue	JC

Plan of	DETAIL PLAN Sheet 3 of 4
Project	54 George Alexander Way, Coomera
Client	Coomera GA Pty Ltd ATF The Coomera GA Unit Trust

Surveyed BC	Date Oct 2022	Lot Description Lot 96 on RP187418
Level Datum: AHD der.		Locality: Coomera Local Government: Gold Coast City
Origin of Levels: PM139395 RL of Origin: 26.512		
Contour Interval: 0.2m		

surveying	Scale @A1 1: 250 @A3 1: 500
Dwg No. 11241 S 03 DT A	



LEGEND

Quality levels are shown on linetypes along with service type eg. - 1A - First Letter is the Service (Elec) and the second is Quality Level (A)		
	by Survey	by Records
U/G ELECTRICITY	--- 1A --- 1B ---	--- 1A --- 1B ---
O/H ELECTRICITY	--- 1A --- 1B ---	--- 1A --- 1B ---
O/H TELECOMMUNICATIONS	--- 1A --- 1B ---	--- 1A --- 1B ---
U/G TELECOMMUNICATIONS	--- 1A --- 1B ---	--- 1A --- 1B ---
U/G DRAINAGE	--- 1A --- 1B ---	--- 1A --- 1B ---
SEWERAGE	--- 1A --- 1B ---	--- 1A --- 1B ---
WATER	--- 1A --- 1B ---	--- 1A --- 1B ---
GAS	--- 1A --- 1B ---	--- 1A --- 1B ---
FENCE	--- 1A --- 1B ---	--- 1A --- 1B ---

SYMBOLS

Sewer Manhole	○ SMH	MH	Manhole
Gully Trap	□ GT	SL	Surface Level
Stormwater Manhole	○ SWMH	IL	Invert Level
Fire Hydrant	■ FH	BM	Bench Mark
Valve	■ V	Ø	Diameter
Water Meter	■ WM	RCP	Reinforced Concrete Pipe
Electricity Box / Pillar	■ Elect Box	GI	Galvanised Iron
Electric Light Pole	○ ELP	Ø, H, S	Trunk diameter, Height, Spread (canopy diameter)
Power Pole	○ PP		
Electricity Manhole	□ Elect MH		
Electricity Pit	□ Elect PH		
Traffic Signal Pit	□ Traffic PH		
Traffic Light	○ Light		
Telecommunications Manhole	□ Tel MH		
Telecommunications Pit	□ Tel PH		
Tree / Shrub	○ Tree		

NOTES

This Plan has been prepared from a combination of field survey and existing records for the purpose of showing the physical features of the land to assist in designing future development, and should not be used for any other purpose.

See IS313805 for survey of external boundaries of Lot 96 on RP187418. All other boundaries shown hereon were not verified or marked at the time of survey, but were determined by existing title dimensions and occupation (where available), not be field measurement. As such, these dimensions could be out of date and incorrect by modern standards. This plan should not be used for building to boundary, or to prescribed set-backs, without further boundary survey.

Services shown hereon were located where possible by field survey. If not able to be so located, known services have been shown from the records of the relevant authorities or service providers where available and have been noted accordingly on this plan. All services shown from records only will need verification prior to, or during work on site.

Prior to any demolition, excavation or construction on site, the relevant authority should be contacted for:

- * Verification of all services plotted from records only, and
- * Possible location of any services altered since this survey was completed or any new services installed either on or adjacent to the site.

Before starting any demolition, excavation or construction on the site, the relevant person should make an independent and updated enquiry of "dial before you dig" and any relevant service providers to ascertain the existence of further services (if any) and the accurate location of those not able to have been surveyed at the time of preparing this plan.

* No responsibility can be accepted by Saunders Havill Group Pty Ltd, for any damage caused to any underground service or any loss or injury so suffered if enquiry and verification have not been completed in accordance with this note.

** This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.

QUALITY LEVELS

This plan shows Quality classifications of sub surface utility data as per AS5488-2013. The following classifications apply.

Quality Level D - (least accurate level and if used on its own has a high risk of damage) QL-D information is generally obtained from existing records provided by utilities as a result of a Dial Before You Dig enquiry being lodged. In many cases the asset depicted on the plan is in a schematic format only and intended only to indicate its presence.

Quality Level C - (low accuracy and a high risk of damage) Is described as a surface feature correlation or an interpretation of the approximate location and attributes of a subsurface utility asset using a combination of existing records and site survey of visible evidence - for example you can see the pit lids shown on the plan but the actual position of underground connection between pits is still assumed.

Quality Level B - (significant risk reduction) Provides relative subsurface feature locations in three dimensions. The minimum requirement for QL-B is relative spatial position, this can be achieved via an electromagnetic frequency locating device. An electronic location provided by a DBYD Certified Locator to QL-B standard would have a maximum horizontal tolerance of plus or minus 300mm and a maximum vertical tolerance of plus or minus 500mm.

Quality Level A - (meets location accuracy standards for minimum risk when excavating) Is the highest Quality Level accuracy and consists of positive identification of the attribute and location of a subsurface utility at a point to an absolute spatial position in three dimensions. It is the only quality level that defines a subsurface utility as 'Validated'.

PROJECT COORDINATE SYSTEM NOTES

Horizontal Meridian is MGA (Zone 56)
Project coordinates are based on plane or ground distances.
The coordinate origin is based on truncated values for Stn 9000

Base Point for MGA transformations: Stn 9000
Project Coordinate: 1657.344 E, 9751.964 N
MGA2020 Coordinate: 531657.344 E, 6919751.964 N
Rotation Project to MGA: none
Scale Factor: Project x 0.9996015 = MGA
Reverse Scale Factor: MGA x 1.0003986 = Project

Issues	No.	Drawn	Date	Description	Checked	Plan of	Surveyed	Date	Lot Description	surveying
	A	MD	31/10/2022	Original Issue	JC		BC	Oct 2022		
DETAIL PLAN							Level Datum: AHD der.		Scale @A1 1: 250	
Sheet 4 of 4							Origin of Levels: PM139395		@A3 1: 500	
							RL of Origin: 26.512			
Project 54 George Alexander Way, Coomera							Contour Interval: 0.2m		Locality: Coomera	
Client Coomera GA Pty Ltd ATF The Coomera GA Unit Trust									Local Government: Gold Coast City	
									Dwg No. 11241 S 03 DT A	