

NOTE

REINSTATE SURROUNDS WHERE CONSTRUCTION HAS DISTURBED, REMOVE ALL DEBRIS, SURPLUS EXCAVATION / FILL FROM SITE. REGRASS AND GENERALLY LEAVE TIDY.

ENSURE THAT FINISHED GROUND AND PAVING SURFACES FALL AWAY FROM THE HOUSE AND DRAIN TO AVOID PONDING OF WATER, GRADED TO A SLOPE NOT LESS THAN 1:20 OVER THE FIRST 1000mm FROM THE BUILDING.

STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH BCA PARTS 3.1.2. & 3.5.2. IN ADDITION TO AS/NZS. 3500 & DISCHARGED TO LOCAL AUTHORITIES REQUIREMENTS, REFER HYDRAULIC ENGINEERS DETAILS.

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS AS REQUIRED.

THE HEIGHT IF OVERFLOW RELIEF GULLYS RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 90mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80 DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

ENERGY EFFICIENCY

SHOWER ROSES TO BE A MINIMUM OF AAA RATING.
WATER CLOSETS TO BE DUAL FLUSH.

MECHANICAL VENTILATION

MECHANICAL VENTILATION SYSTEM COMPLYING WITH AS 1668.1, AS 1668.2 AND SHALL BE PROVIDED IN ACCORDANCE WITH THE MECHANICAL VENTILATION CONSULTANTS DETAILS TO REQUIRED ROOMS.

NOTE : SEE HYDRAULIC CONSULTANTS DESIGN FOR DOWNPIPE AND STORMWATER DISCHARGE

FIRE SERVICES, EMERGENCY LIGHTING AND SMOKE ALARM LEGEND

ALL LUMINAIRES TO BE COMPLIANT WITH AS/NZ 2293, AND THE B.C.A REFER TO ELECTRICAL CONSULTANTS DOCUMENTATION FOR FURTHER DETAIL AND CLARIFICATION.

	2x 18 FL SINGLE SIDED, MAINTAINED JUMBO EXIT LUMINAIRE (IN WAREHOUSE ONLY) 4 WATT COLD CATHODE SINGLE SIDED MAINTAINED EXIT LUMINAIRE (OFFICE AREA)
	2 x 35W FL BATTEN CHAIN SUSPENDED EMERGENCY LIGHT (INTERNAL) 2 x 35W FL SURFACE MOUNTED WEATHER RESISTANT EMERGENCY LIGHT (EXTERNAL)
EXIT	1 x 10W HALOGEN NON MAINTAINED RECESSED EMERGENCY LIGHT
F.H.R	FIRE HOSE REEL - 36 METERS, 100mm CLEARANCE ALL ROUND, INSTALLED IN ACCORDANCE WITH AS.2441
	NOTE : FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH B.C.A E 1.6 AND SELECTED, LOCATED AND DISTRIBUTED IN ACCORDANCE WITH AS.2444.

PEDESTRIAN TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY. LOW LEVEL LANDSCAPING PERMITTED TO A MAXIMUM MATURE HEIGHT OF 500mm ABOVE DRIVEWAY LEVEL

± R.L. 00.000 SURFACE LEVEL

± 0.000 EXISTING SURFACE LEVELS

F.L. 00.000 FLOOR LEVEL

PROPERTY DESCRIPTION

LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD
LOT 117 ON SP2195994
PARISH OF TBC
COUNTY OF TBC
SITE AREA - 4094m²
SITE COVER - 57.81%

SITE PLAN

1:200 @ A1

PRELIMINARY ONLY

NOT FOR CONSTRUCTION

DEVELOPMENT DETAILS

PRECINCT B (GENERAL IMPACT BUSINESS AND INDUSTRY)
CLASS 8 - TYPE C CONSTRUCTION

GROUND FLOOR WAREHOUSE (INC AMENITIES) GFA	2366.92m ²
FIRST FLOOR OFFICE (INC AMENITIES) GFA	322.18m ²
MEZZANINE FLOOR AREA	166.47
LANDSCAPING	246m ²
TOTAL BUILDING AREA	2855.57m ² (NOT INC. LANDSCAPING)
SITE AREA	4094m ²

AREA USE CALCULATIONS

GF AREA - GFA - WAREHOUSE	2,154.84m ²
DEDUCTIONS GF - WAREHOUSE	
WALLS	41.02m ²
KITCHEN	2.04m ²
TOILETS	12.87m ²
STAIR	7.14m ²
TOTAL GF DEDUCTIONS - WAREHOUSE	63.07m ²
TOTAL USE AREA WAREHOUSE	2,091.77m ²
ALLOWABLE 20% OFFICE USE AREA	418.34m ²
GF OFFICE AREA - GFA - WAREHOUSE	212.46m ²
DEDUCTIONS GF - OFFICE	
WALLS	10.0m ²
STAIR	7.14m ²
TOILETS	12.23m ²
LUNCH ROOM	29.22
TOTAL GF DEDUCTIONS - OFFICE	58.59m ²
TOTAL USE AREA OFFICE	153.87m ²
FF OFFICE AREA - GFA - OFFICE	329.20m ²
DEDUCTIONS FF - OFFICE	
WALLS	14.08m ²
KITCHEN	2.04m ²
TOILETS	10.63m ²
FACADE	21.57m ²
TOTAL FF DEDUCTIONS - OFFICE	48.32m ²
TOTAL USE AREA OFFICE	280.88m ²
FF MEZZANINE AREA - GFA - MEZZANINE	173.52m ²
DEDUCTIONS FF - MEZZANINE	
WALLS	7.43m ²
FACADE	2.78m ²
STAIR	7.14m ²
TOTAL FF DEDUCTIONS - MEZZANINE	17.35m ²
TOTAL USE AREA MEZZANINE	156.17m ²

CARPARKING
2 PER TENANCY +1/50m² FOR FIRST 500m² GFA
+ 1/100m² THEREAFTER
CARPARKING REQUIRED: 33 SPACES
CARPARKING PROVIDED: 37 SPACES

LANDSCAPED SPACE
1 SPACE PER 40 CAR SPACES
LANDSCAPED SPACE REQUIRED: NA
LANDSCAPED SPACE PROVIDED: NA

DISABLED PARKING
1 SPACE FOR EVERY 100 CAR PARKING SPACES OR THERE AFTER
DISABLED SPACES REQUIRED: 1
DISABLED SPACES PROVIDED: 1

BICYCLE PARKING
1 : 150 GFA
BICYCLE SPACES REQUIRED: 19
BICYCLE SPACES PROVIDED: 21

WASTE GENERATION GENERAL

GENERAL				
INDUSTRY	50 LTRS/100m ²	(2367.31m ²)	=1183.65	LTRS/DAY
OFFICE	10 LTRS/100m ²	(495.56m ²)	=49.56	LTRS/DAY
TOTAL PER DAY			=1233.2	LTRS/DAY
TOTAL PER WEEK			=6166.03	LTRS
1x INDUSTRIAL BINS 3000L (2 PICK UP PER WEEK)			=6000	LTRS
1x INDUSTRIAL BINS 1000L (1 PICK UP PER WEEK)			=1000	LTRS

SIZE	CAPACITY (L)	LENGTH	WIDTH	HEIGHT
-	3000	2030mm	1450mm	1684mm
-	1000	1738mm	991mm	1318mm

WASTE GENERATION RECYCLE

RECYCLE				
OFFICE	20 LTRS/100m ²	(495.56m ²)	=99.11	LTRS/DAY
TOTAL PER DAY			=99.11	LTRS/DAY
TOTAL PER WEEK			=495.56	LTRS
1 x WHEELIE BINS 360L (2 PICK UP PER WEEK)			=720	LTRS

SIZE	CAPACITY (L)	LENGTH	WIDTH	HEIGHT
-	360	865	658	1108

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MCU/2022/525

Dated: 28 March 2023

Development shall comply with the
conditions of approval as detailed in the
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As amended in red by Council
(Condition 2 MCU/2022/525):
Designated 12.5 x 3.5m HRV
service bay (delineated),
indicative signage to be
located on exterior of building.

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD
FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m	10m	20m
DRAWING SITE PLAN	DRAWING No. BP1358/WD/1.03	ISSUE C
DRAWN CV / KF		
DATE FEB '23		
SCALE 1:200 @ A1		

two clicks design

NOTE

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STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH BCA PARTS 3.1.2, 3.1.3 & 3.5.2. IN ADDITION TO AS/NZS. 3500 & DISCHARGED TO LOCAL AUTHORITIES REQUIREMENTS, REFER HYDRAULIC ENGINEERS DETAILS.

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS AS REQUIRED.

THE HEIGHT IF OVERFLOW RELIEF GULLYS RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 90mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80 DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DEVELOPMENT DETAILS

PRECINCT B (GENERAL IMPACT BUSINESS AND INDUSTRY)
CLASS B - TYPE C CONSTRUCTION

GROUND FLOOR WAREHOUSE (INC. AMENITIES) GFA
FIRST FLOOR OFFICE (INC. AMENITIES) GFA
MEZZANINE FLOOR AREA
LANDSCAPING

TOTAL BUILDING AREA

SITE AREA

AREA USE CALCULATIONS

GF AREA - GFA - WAREHOUSE

DEDUCTIONS GF - WAREHOUSE
WALLS
KITCHEN
TOILETS
STAIR

TOTAL GF DEDUCTIONS - WAREHOUSE
TOTAL USE AREA WAREHOUSE
ALLOWABLE 20% OFFICE USE AREA

GF OFFICE AREA - GFA - WAREHOUSE

DEDUCTIONS GF - OFFICE
WALLS
STAIR
TOILETS
LUNCH ROOM

TOTAL GF DEDUCTIONS - OFFICE
TOTAL USE AREA OFFICE

FF OFFICE AREA - GFA - OFFICE

DEDUCTIONS FF - OFFICE
WALLS
KITCHEN
TOILETS
FACADE

TOTAL FF DEDUCTIONS - OFFICE
TOTAL USE AREA OFFICE

FF MEZZANINE AREA - GFA - MEZZANINE

DEDUCTIONS FF - MEZZANINE
WALLS
FACADE
STAIR

TOTAL FF DEDUCTIONS - MEZZANINE
TOTAL USE AREA MEZZANINE

CARPARKING
2 PER TENANCY + 1/50m² FOR FIRST 500m² GFA
+ 1/100m² THEREAFTER
CARPARKING REQUIRED: 33 SPACES
CARPARKING PROVIDED: 37 SPACES

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LANDSCAPED SPACE REQUIRED: NA
LANDSCAPED SPACE PROVIDED: NA

DISABLED PARKING
1 SPACE FOR EVERY 100 CAR PARKING SPACES OR THERE AFTER
DISABLED SPACES REQUIRED: 1
DISABLED SPACES PROVIDED: 1

BICYCLE PARKING
1: 150 GFA
BICYCLE SPACES REQUIRED: 19
BICYCLE SPACES PROVIDED: 21

EXCAVATION NOTES

BANKS TO BE BATTERED IN ACCORDANCE WITH THE BCA, PART 3.1.1 RETAINING WALLS THAT EXCEED 1m IN HEIGHT WILL REQUIRE ADDITIONAL APPROVAL PRIOR TO THE RELEASE OF A FINAL CERTIFICATION FORM 21.

CONTOURS AND LEVELS MAY BE BASED ON PROPOSED SITE INFORMATION ONLY. CHECK AND VERIFY ALL CONTOUR AND SPOT LEVELS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

GRADE SITE AWAY FROM BUILDING A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO THE PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES.

NOTE

1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS

ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC.
ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC.

NOTE

FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH B.C.A. E1.6 AND SELECTED, LOCATED AND DISTRIBUTED IN ACCORDANCE WITH AS 2444.

WINDOW AND DOOR DESIGN
GLASS WHICH FORMS ANY EXTERNAL WALL OF A BUILDING DOES NOT EXCEED:
-A MAXIMUM DEGREE OF REFLECTION OF BOTH HEAT AND LIGHT OF TWENTY PERCENT (20%)
-SIXTY PERCENT (60%) OF THE TOTAL AREA OF SUCH WALL.

PART A:
DESIGN WIND PRESSURE:
REFER STRUCTURAL ENGINEER FOR WIND DESIGN PRESSURES FOR ALL WINDOWS AND DOORS AND THEIR STRUCTURAL ELEMENTS.

FURTHER ALLOWANCES FOR LOCAL PRESSURE ZONES BY MANUFACTURER, REFER FIGURE B2, AS 1170 / PART 2, REFER TO STRUCTURAL ENGINEER FOR DETAILS OF RATINGS AND DESIGN LIMITS

NOTE

PART B :
ALL WINDOWS AND DOORS SHALL BE TESTED FOR WATER PENETRATION TO CONFORM WITH AS 2047 AND AS 2048, 1997 PART 5.3.4 AND RELEVANT LOCAL AUTHORITY CONDITIONS

WATERPROOFING OF WET AREAS
(A) BUILDING ELEMENTS IN WET AREAS IN CLASS 2 AND 3 BUILDINGS AND CLASS 4 PARTS OF BUILDINGS MUST BE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH AS3740

(B) IN A CLASS 5, 6, 7, 8 OR 9 BUILDING THE BATHROOM OR SHOWER ROOM, SLOP HOPPER OR SINK COMPARTMENT, LAUNDRY OR SANITARY COMPARTMENT MUST BE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH AS3740 AS IF THEY WERE IN A RESIDENTIAL BUILDING

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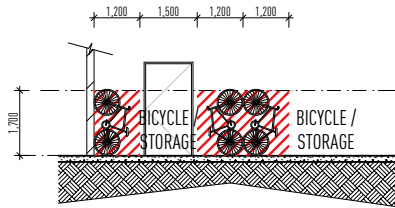
BICYCLE STORAGE FACILITIES

VERTICAL STORAGE RACKS TO BE PROVIDED AND IN ACCORDANCE WITH AS2890.3 BICYCLE PARKING FACILITIES.

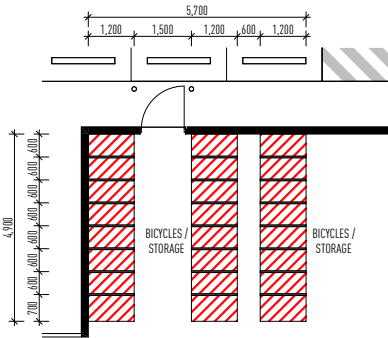
BICYCLE STORAGE LAYOUT IS TO BE IN ACCORDANCE WITH AS2890.3 SECTION 2 FIGURE 2.4 - VERTICAL STORAGE FACILITIES

21 BICYCLE PARKS HAVE BEEN ARRANGED TO MEET THE EXAMPLE SET OUT IN AS2890.3 SECTION 2 FIGURE 2.4

BICYCLE PARKING
1: 150 GFA
BICYCLE SPACES REQUIRED: 19
BICYCLE SPACES PROVIDED: 21



BICYCLE STORAGE DETAIL 1 : 100



BICYCLE STORAGE PLAN 1 : 100

CAR PARK DIMENSION PLAN

1:200 @ A1

ISSUE	DATE	DESCRIPTION
A	29.03.22	PRELIMINARY SKETCH PLAN ISSUED
A	24.08.22	PRELIMINARY BA ISSUED FOR APPROVAL
B	02.12.22	RFI RESPONSE BA ISSUED FOR APPROVAL
C	21.02.23	RFI RESPONSE ISSUED

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA
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2m 10m 20m		DRAWING No. BP1358/WD/1.02	ISSUE C
DRAWING CAR PARK DIMENSION PLAN			
DRAWN	CV / KF		
DATE	FEB '23		
SCALE	1:200 @ A1		

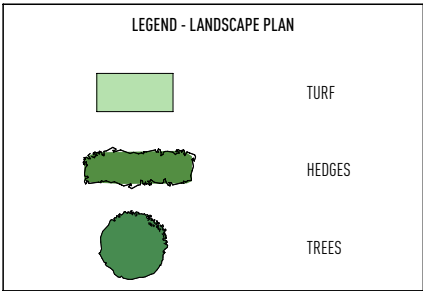
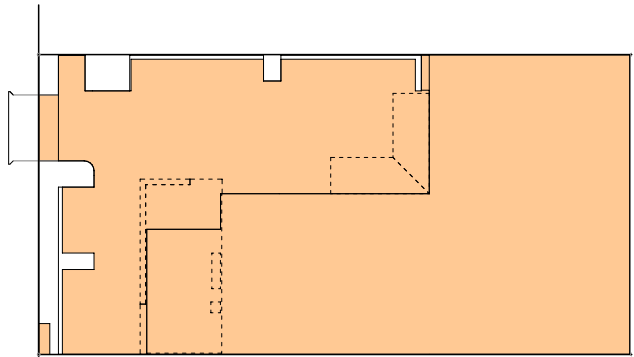
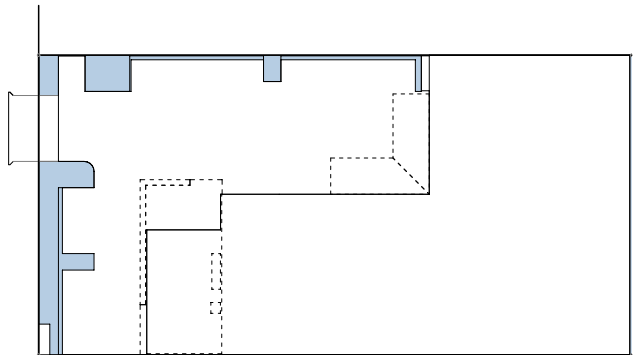
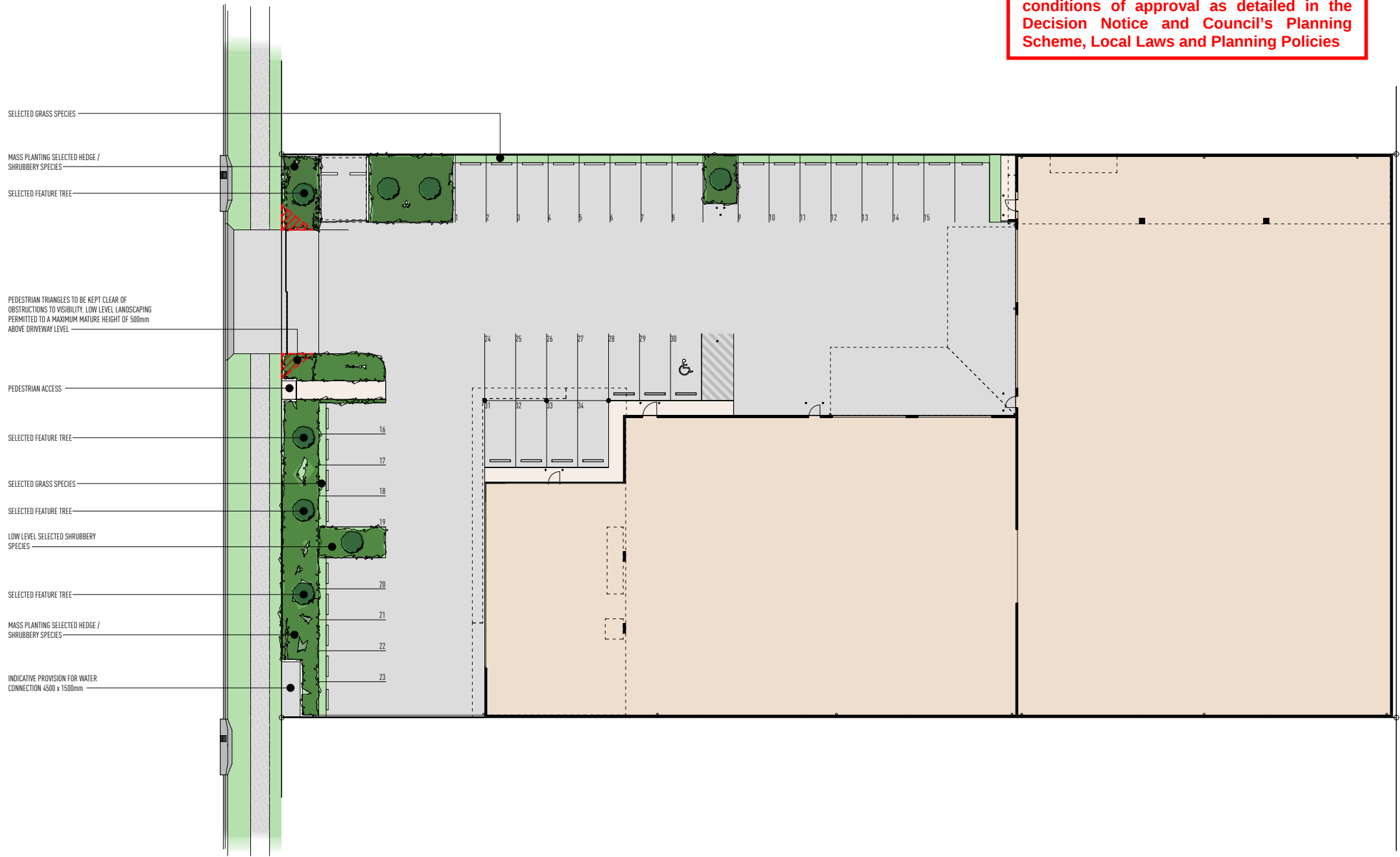
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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No:.....MCU/2022/525.....

Dated:28 March 2023.....

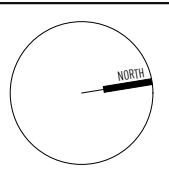
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LANDSCAPE INTENT

1:200 @ A1

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PROPOSED NEW DEVELOPMENT
AT
LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD
FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA
TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



DRAWING LANDSCAPE INTENT		DRAWING No. BP1358/WD/1.07	ISSUE C
DRAWN	CV / KF		
DATE	FEB '23		
SCALE	1:200 @ A1		

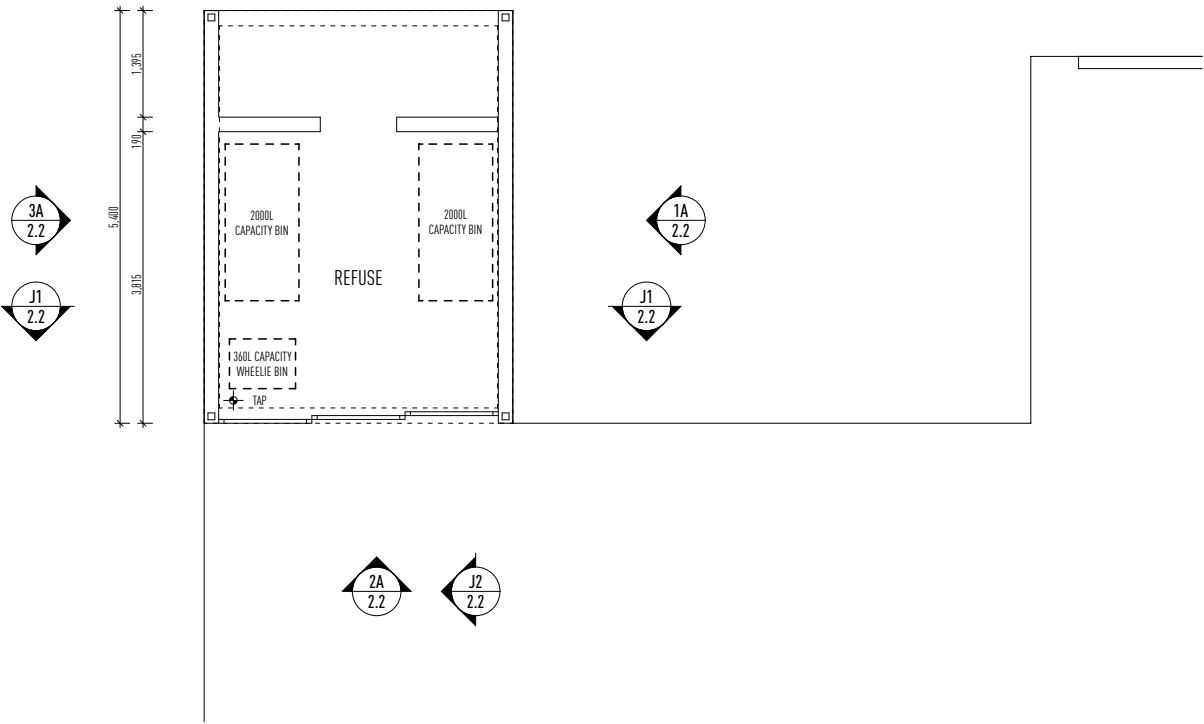
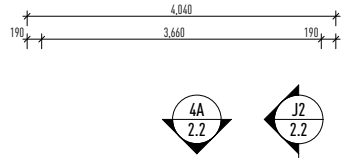
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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

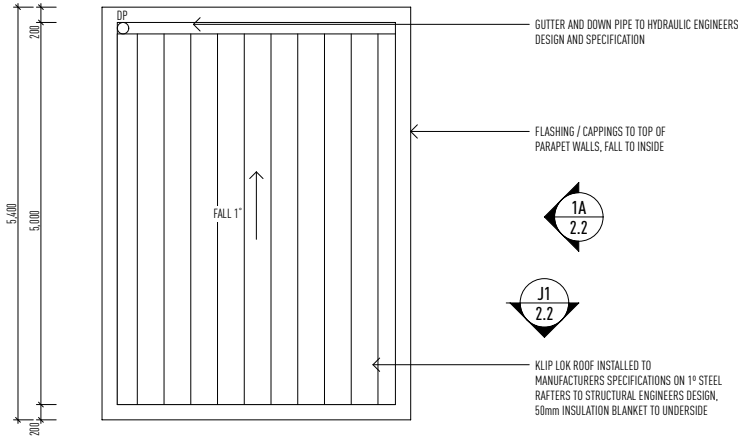
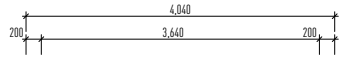
Application No: MCU/2022/525

Dated: 28 March 2023

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PLAN 1:50



ROOF PLAN 1:50

REFUSE / STORAGE DETAILS

1:50 @ A1

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
Eastridge 117 Pty Ltd

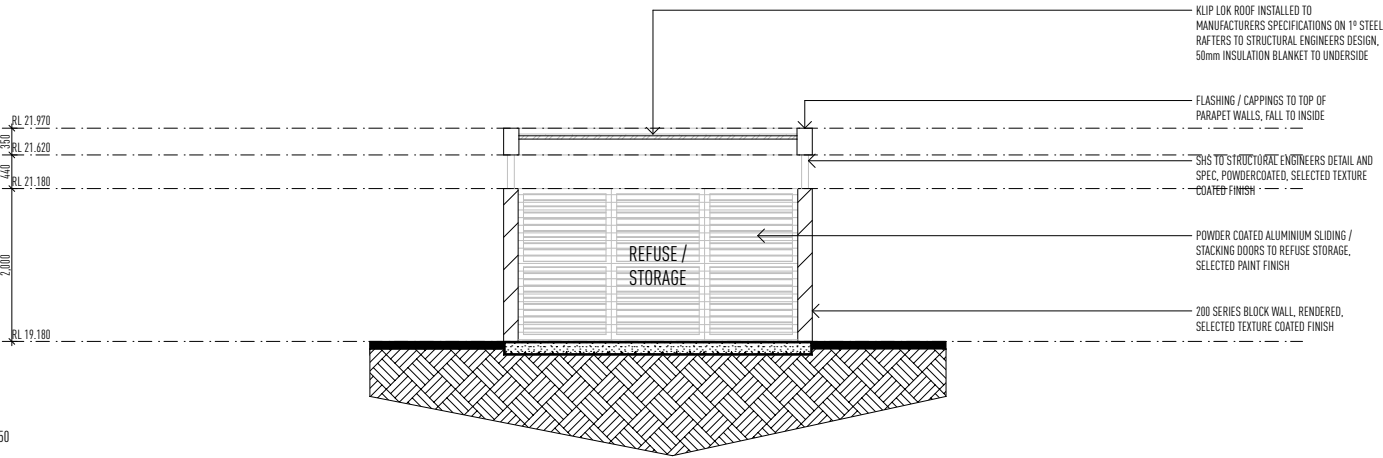
LEVEL 1 33 ELKHORN AVENUE
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DRAWING REFUSE / STORAGE DETAILS		DRAWING No. BP1358/WD/2.1	ISSUE C
DRAWN CV / KF	DATE FEB '23	SCALE 1:50 @ A1	

two clicks design

SECTION J1 1:50



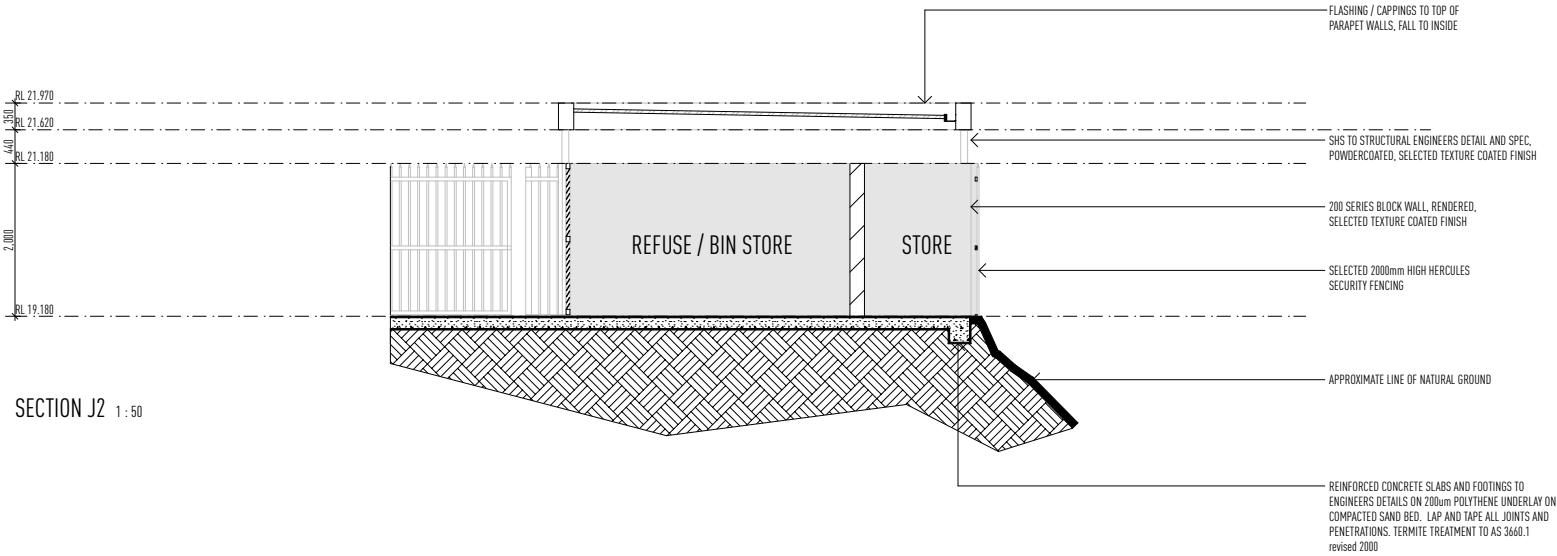
PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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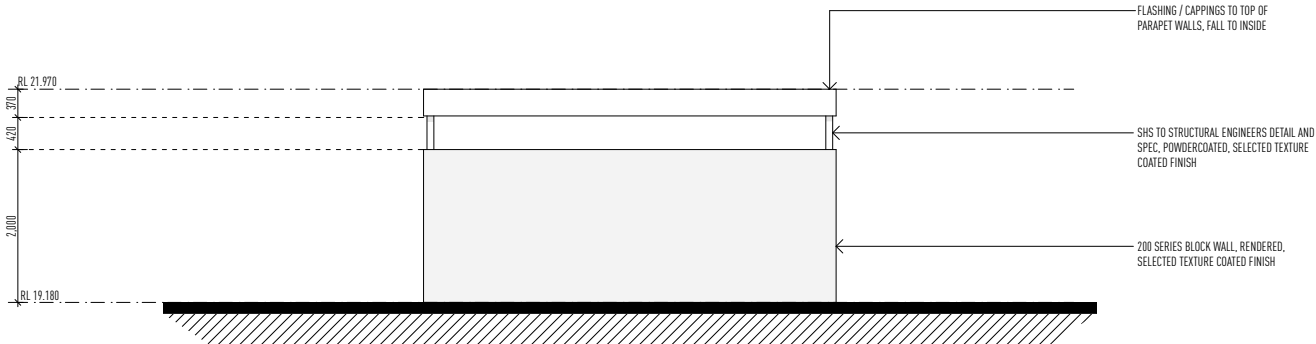
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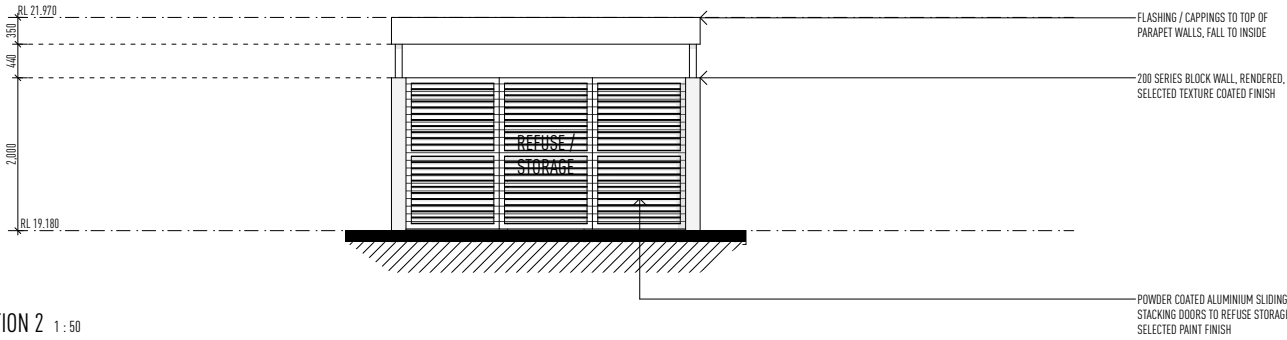
SECTION J2 1:50



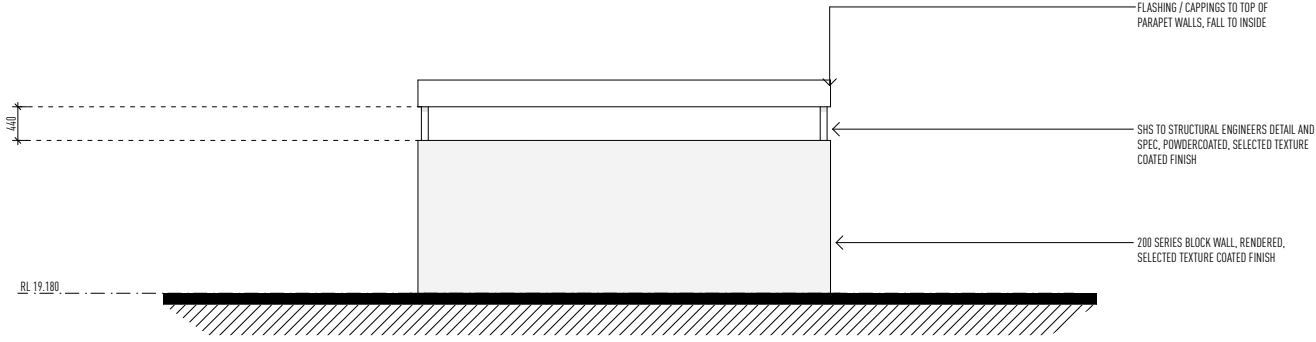
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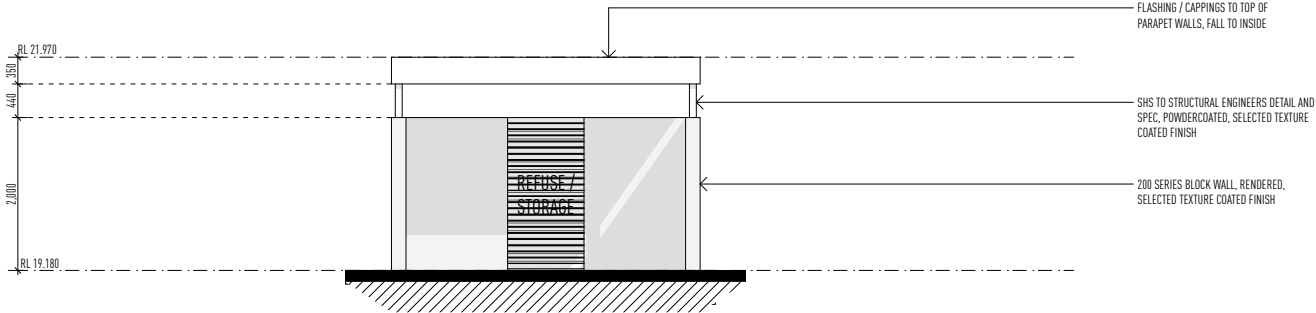
ELEVATION 2 1:50



ELEVATION 3 1:50



ELEVATION 4 1:50



REFUSE / STORAGE DETAILS

1:50 @ A1

ISSUE	DATE	DESCRIPTION
A	29.03.22	PRELIMINARY SKETCH PLAN ISSUED
A	24.08.22	PRELIMINARY BA ISSUED FOR APPROVAL
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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA
TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



DRAWING REFUSE / STORAGE DETAILS		DRAWING No. BP1358/WD/2.2	ISSUE C
DRAWN CV / KF	DATE FEB '23	SCALE 1:50 @ A1	

two clicks design

NOTE

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MECHANICAL VENTILATION TO ALL HABITABLE ROOMS WITHOUT NATURAL VENTILATION TO COMPLY WITH THE BCA, PART 3.8.5.

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA 3.7.2.

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RECESS ALL EXTERIOR DOOR TRACKS/SILLS.

FINISHED RLs TO BE CONFIRMED ON SITE.

TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

REFER SLAB SET-OUT PLANS FOR SLAB DIMENSIONS.

WATERPROOFING IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA VOL PART 2.3.8.1 AND INSTALLED BY A SUITABLY QUALIFIED PERSON.

NOTE

FLOOR OR GROUND SURFACES ON CONTINUOUS ACCESSIBLE PATHS OF TRAVEL AND CIRCULATION SPACES TO BE IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

SYMBOLS INDICATING ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

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ALL EMERGENCY LIGHTING TO COMPLY WITH NCC.2019 VOL 1 EV 4.2 - EMERGENCY LIGHTING REQUIREMENTS

ALL EMERGENCY LIGHTING MUST BE IN ACCORDANCE WITH AS/NZ 2293.1

NOTE

1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS

ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC. ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC

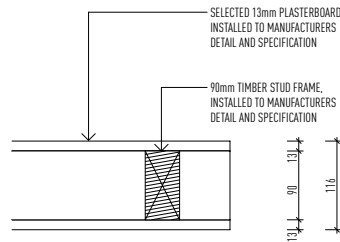
	90mm TIMBER STUD + FOAM CLADDING		SELECTED EMERGENCY LIGHTING
	90mm TIMBER STUD WALL		36m HOSE, 100mm CLEARANCE ALL ROUND, INSTALLED IN ACCORDANCE WITH AS2441
	180mm PRE CAST CONCRETE WALL		WALL TYPE REFER TO SCHEDULE ON PAGE
	450 x 450mm CONCRETE COLUMN		DOOR NUMBER - REFER TO SCHEDULE
	800 x 200mm CONCRETE COLUMN		WINDOW NUMBER - REFER TO SCHEDULE
	200 SERIES CONCRETE BLOCK WALL		SELECTED FIRE EXTINGUISHER, IN ACCORDANCE WITH B.C.A E1 AND TABLE E1.6

AREA SCHEDULE

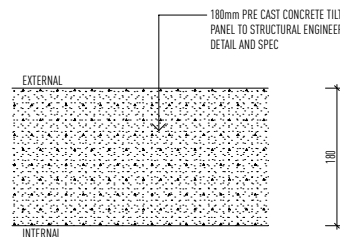
TENANCY 1 GF WAREHOUSE	2,137.17
TENANCY 1 GF LUNCH ROOM	31.10
TENANCY 1 GF LUNCH ROOM AMENITIES	13.72
TENANCY 1 GF WAREHOUSE AMENITIES	14.23
TENANCY 1 GF OFFICE	170.70
TENANCY 1 FF MEZZANINE 2	166.47
TENANCY 1 FF OFFICE	309.79
TENANCY 1 FF OFFICE TOILETS	12.39
	2,855.57 m ²

PRELIMINARY ONLY

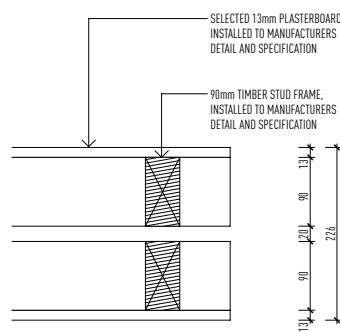
NOT FOR CONSTRUCTION



WALL TYPE A 1:5



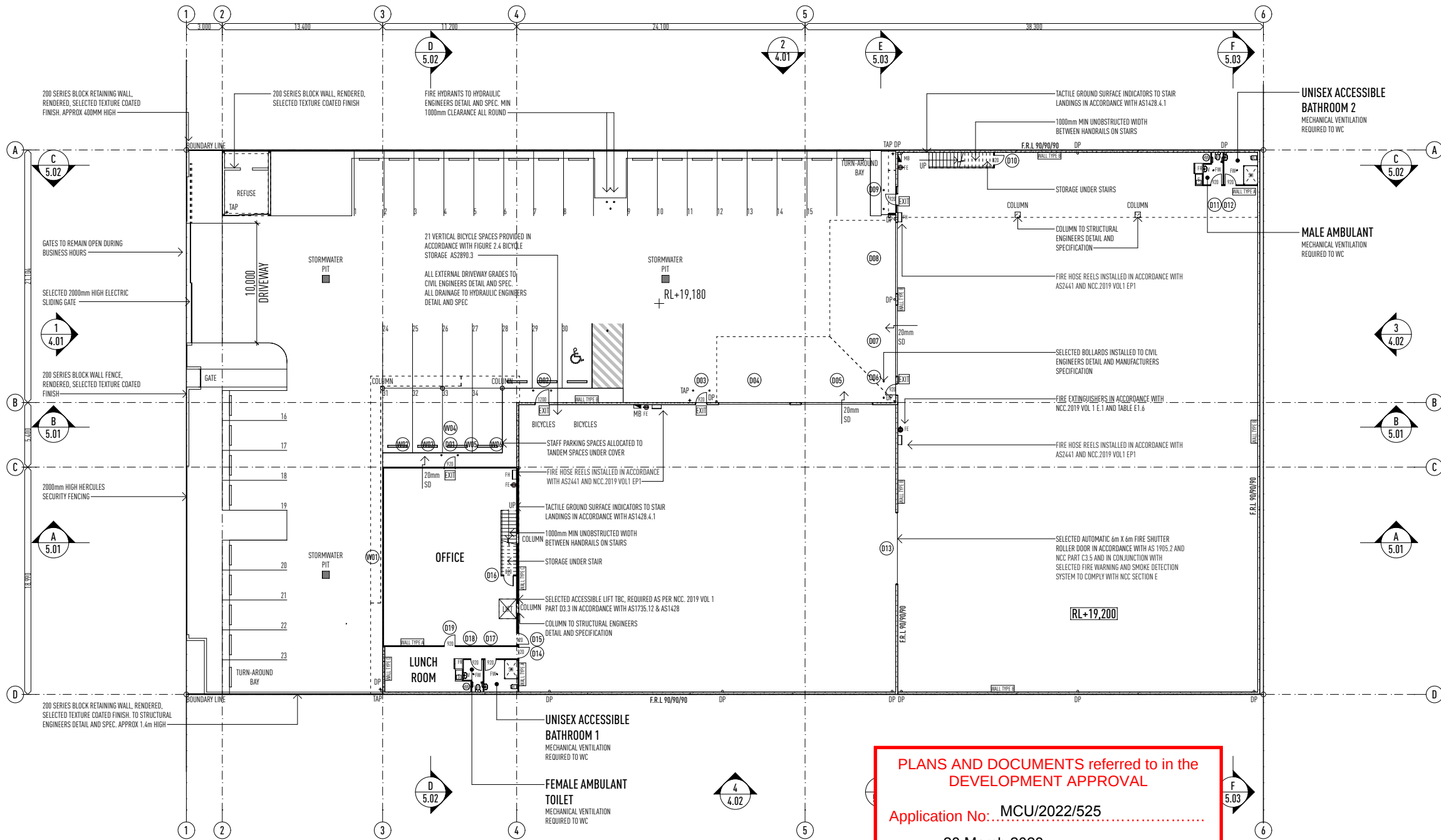
WALL TYPE B 1:5



WALL TYPE C 1:5

GROUND FLOOR PLAN

1:200, 1:5 @ A1

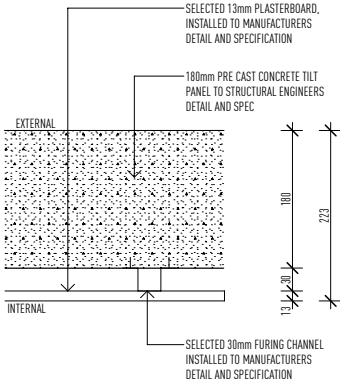


PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

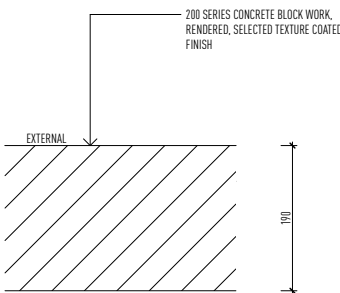
Application No: MCU/2022/525

Dated: 28 March 2023

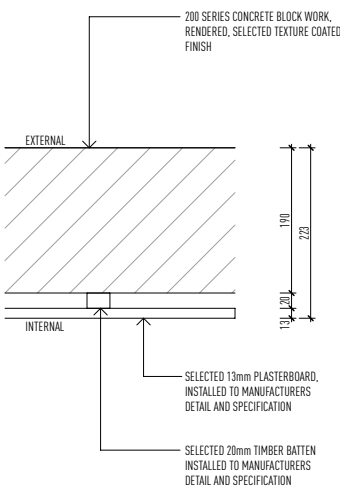
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WALL TYPE D 1:5

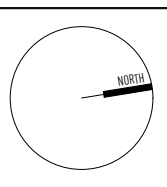


WALL TYPE E 1:5



WALL TYPE F 1:5

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m	10m	20m
DRAWING GROUND FLOOR PLAN	DRAWING No. BP1358/WD/3.01	ISSUE C
DRAWN CV / KF	DATE FEB '23	
SCALE 1:200, 1:5 @ A1		

two clicks design

NOTE

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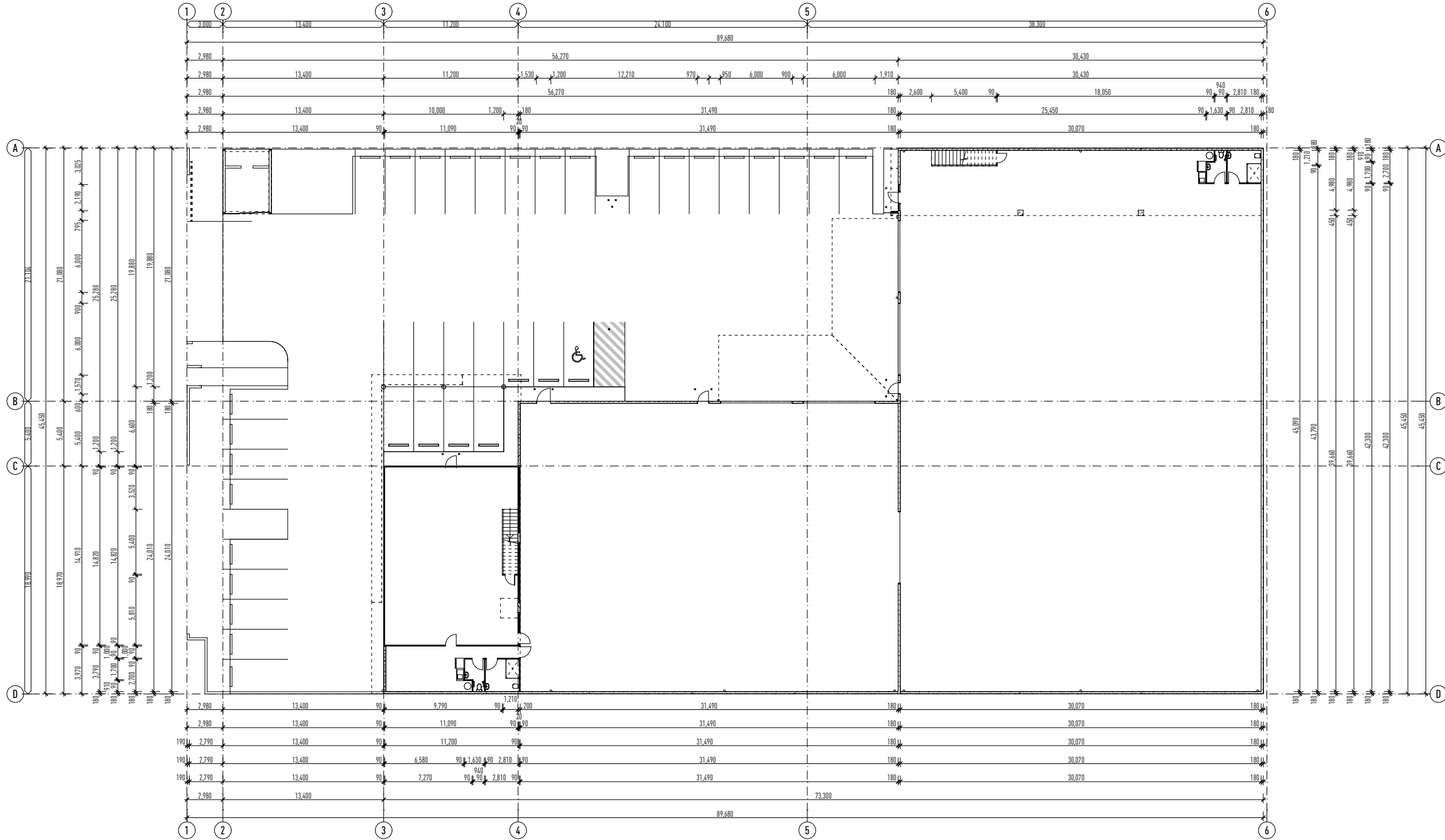
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DIMENSION PLAN - GROUND FLOOR

1:200 @ A1

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No.: MCU/2022/525

Dated: 28 March 2023

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PRELIMINARY ONLY

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TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m 10m 20m		
DRAWING DIMENSION PLAN - GROUND FLOOR		DRAWING No. BP1358/WD/3.02
DRAWN CV / KF	ISSUE C	
DATE FEB '23		
SCALE 1:200 @ A1		

two clicks design

NOTE

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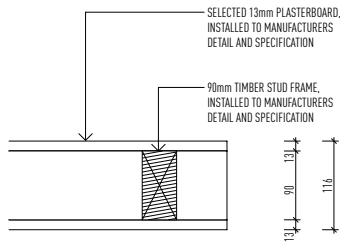
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AREA SCHEDULE

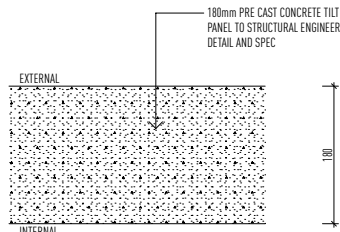
TENANCY 1 GF WAREHOUSE	2,137.17
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PRELIMINARY ONLY

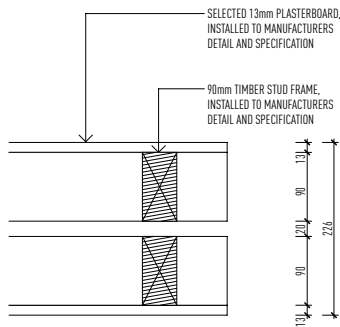
NOT FOR CONSTRUCTION



WALL TYPE A 1:5



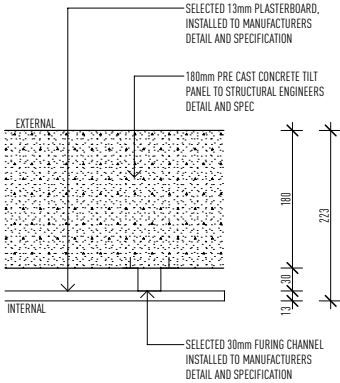
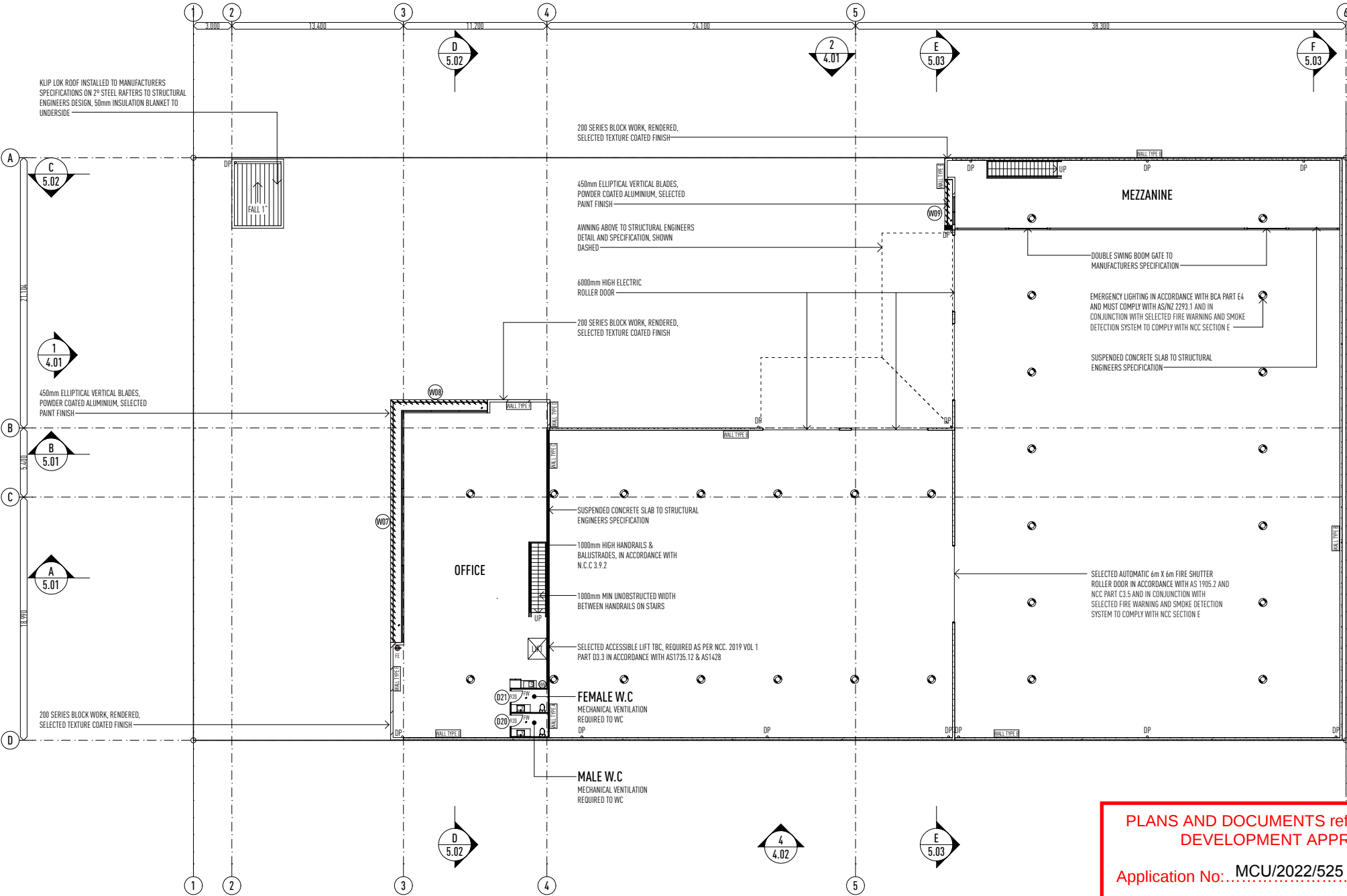
WALL TYPE B 1:5



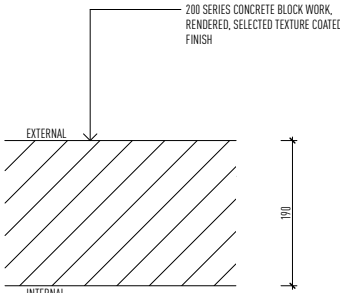
WALL TYPE C 1:5

FIRST FLOOR PLAN

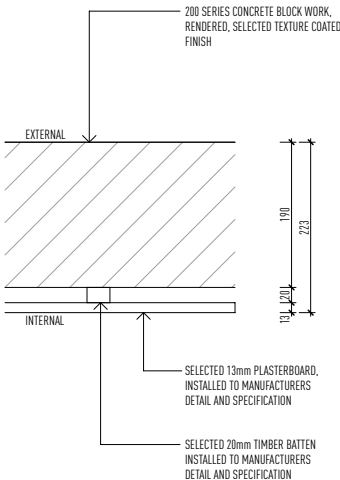
1:200, 1:5 @ A1



WALL TYPE D 1:5



WALL TYPE E 1:5



WALL TYPE F 1:5

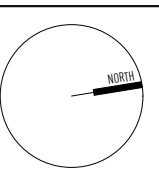
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Application No: MCU/2022/525

Dated: 28 March 2023

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FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
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PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA
TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m	10m	20m
DRAWING No.	BP1358/WD/3.03	ISSUE C
DRAWN	CV / KF	
DATE	FEB '23	
SCALE	1:200, 1:5 @ A1	

two clicks design

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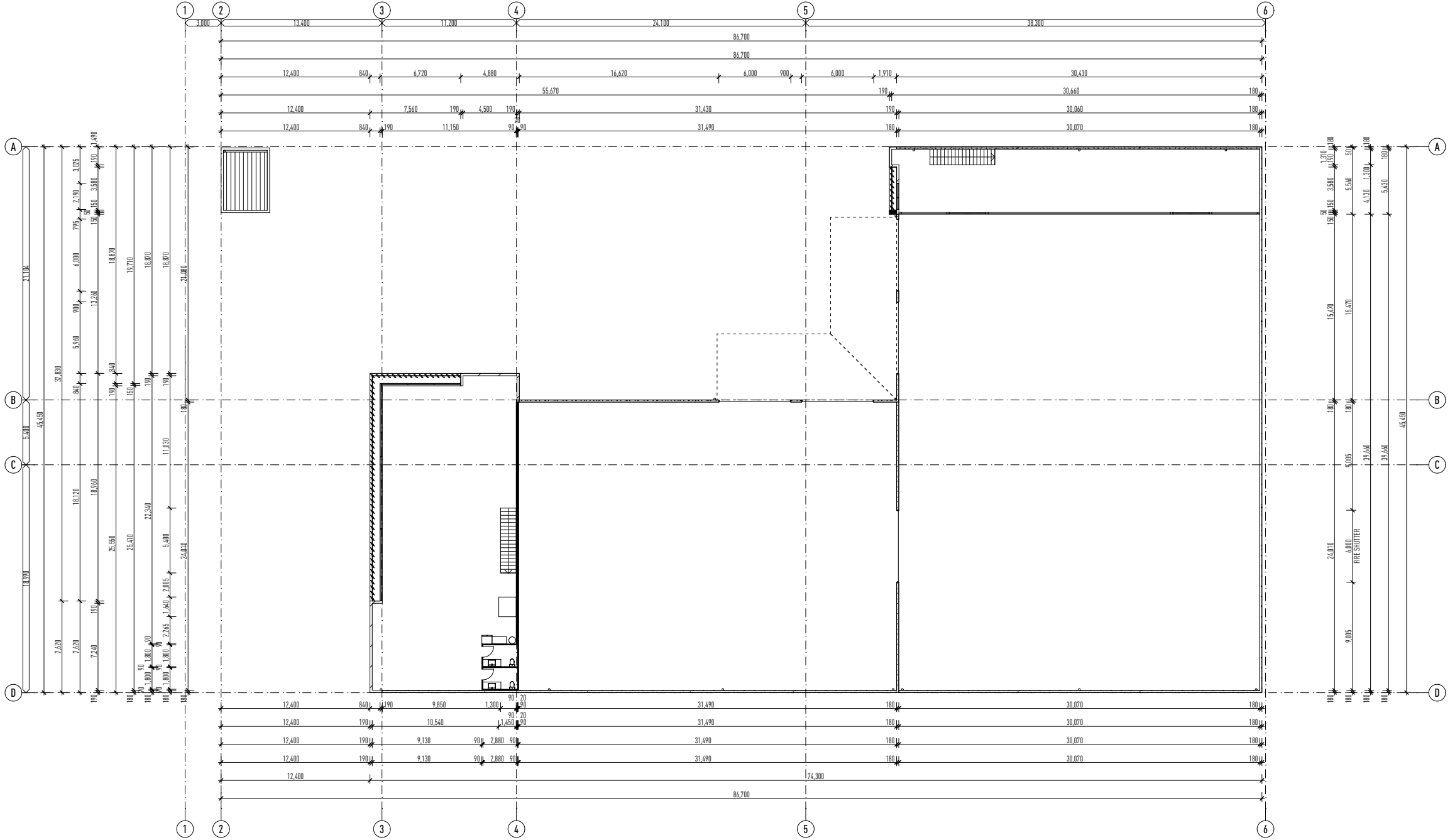
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DIMENSION PLAN - FIRST FLOOR

1:200 @ A1

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PROJECT

PROPOSED NEW DEVELOPMENT

AT

LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR

Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m10m20m

DRAWING
DIMENSION PLAN - FIRST FLOOR

DRAWN CV / KF

DATE FEB '23

SCALE 1:200 @ A1

DRAWING No.
BP1358/WD/3.04

ISSUE
C

two clicks design

NOTE

WC DOORS TO COMPLY WITH THE BCA, PART 3.8.3. DOOR TO SWING OUT FROM EDGE OF THE PAN, DISTANCE BETWEEN THE PAN AND THE DOOR EDGE TO BE 1200mm OR LIFT OFF HINGES TO BE INSTALLED.

MECHANICAL VENTILATION TO ALL HABITABLE ROOMS WITHOUT NATURAL VENTILATION TO COMPLY WITH THE BCA, PART 3.8.5.

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA 3.7.2.

ALL STAIRS AND HANDRAILS INSTALLED TO BCA 3.9.2 AND MANUFACTURERS SPECIFICATIONS.

RECESS ALL EXTERIOR DOOR TRACKS/SILLS.

FINISHED RLs TO BE CONFIRMED ON SITE.

TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

REFER SLAB SET-OUT PLANS FOR SLAB DIMENSIONS.

WATERPROOFING IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA VOL PART 2 3.8.1 AND INSTALLED BY A SUITABLY QUALIFIED PERSON.

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

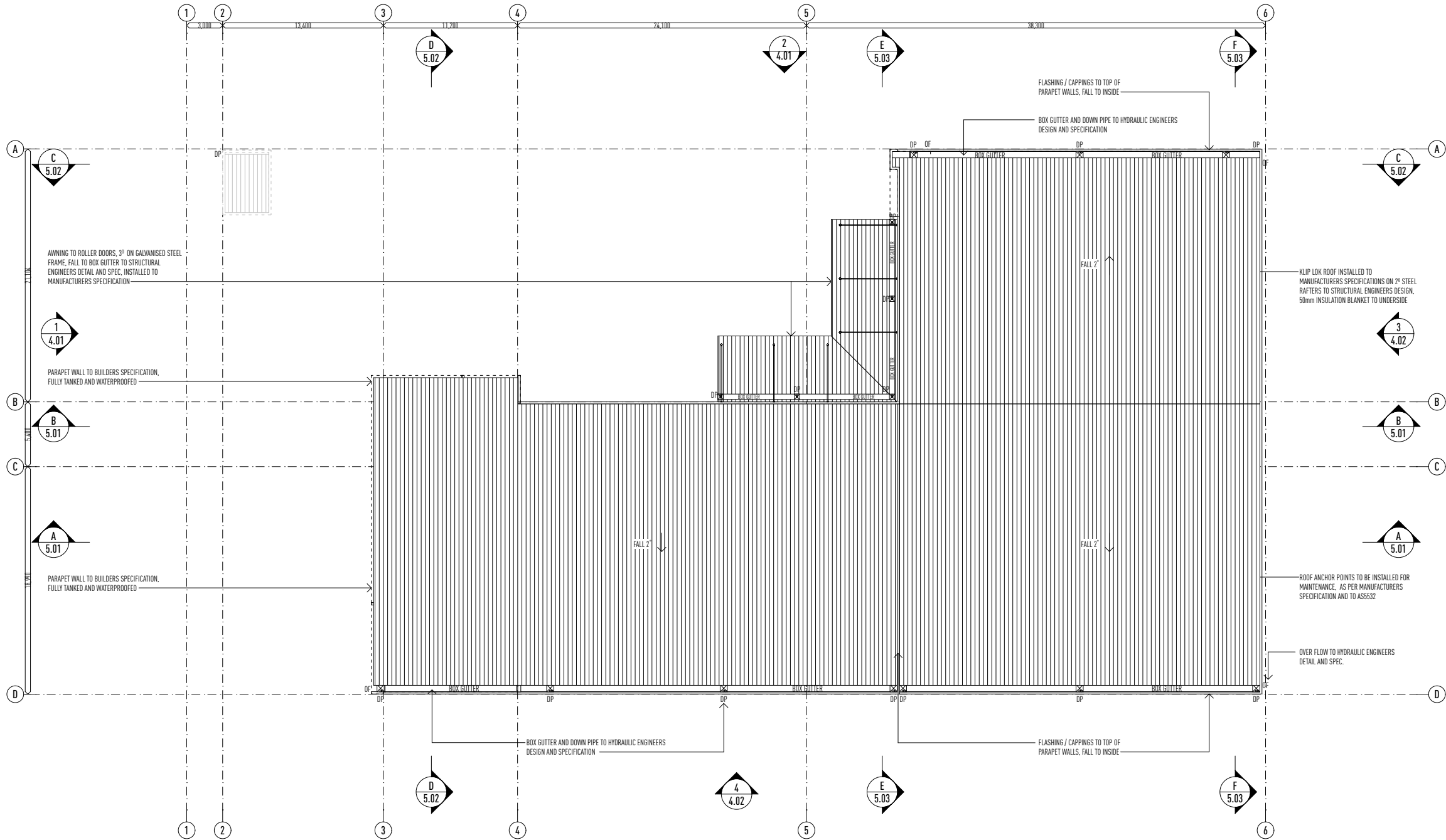
Application No: MCU/2022/525

Dated: 28 March 2023

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PRELIMINARY ONLY

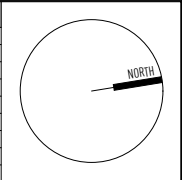
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ROOF PLAN

1:200 @ A1

ISSUE	DATE	DESCRIPTION
A	29.03.22	PRELIMINARY SKETCH PLAN ISSUED
A	24.08.22	PRELIMINARY BA ISSUED FOR APPROVAL
B	02.12.22	RFI RESPONSE BA ISSUED FOR APPROVAL
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2m	10m	20m
DRAWING No.	BP1358/WD/3.05	
ISSUE	C	
DRAWN	CV / KF	
DATE	FEB '23	
SCALE	1:200 @ A1	

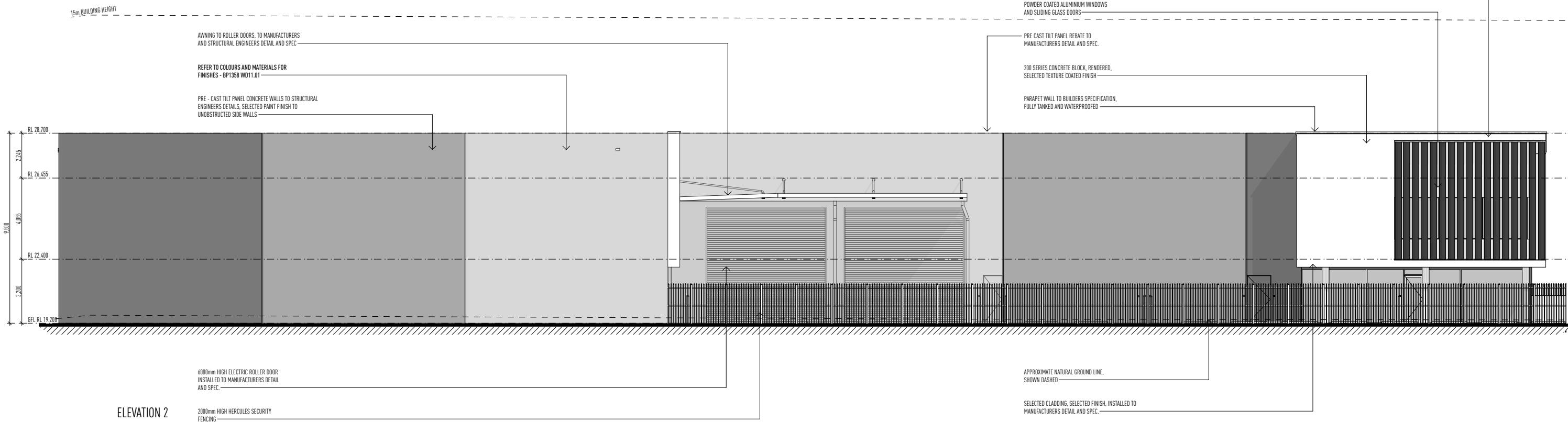
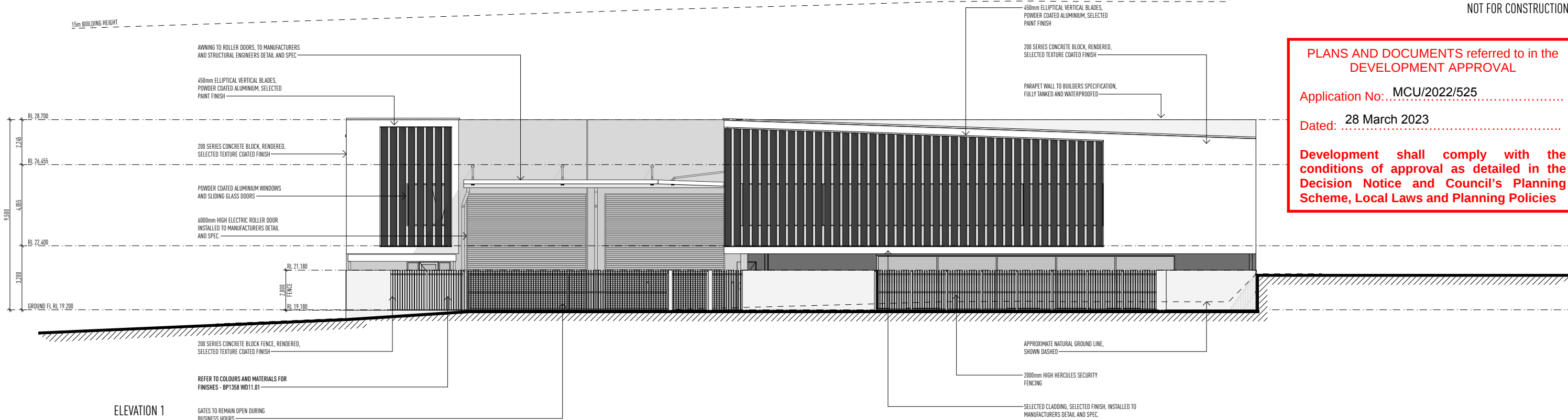
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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: ...MCU/2022/525

Dated: ...28 March 2023

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ELEVATIONS

1:100 @ A1

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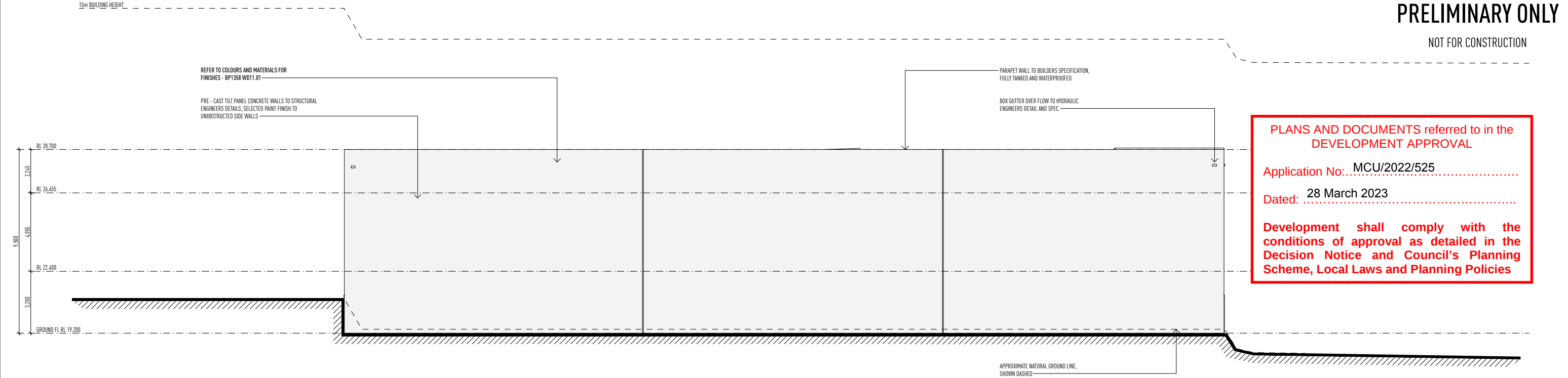
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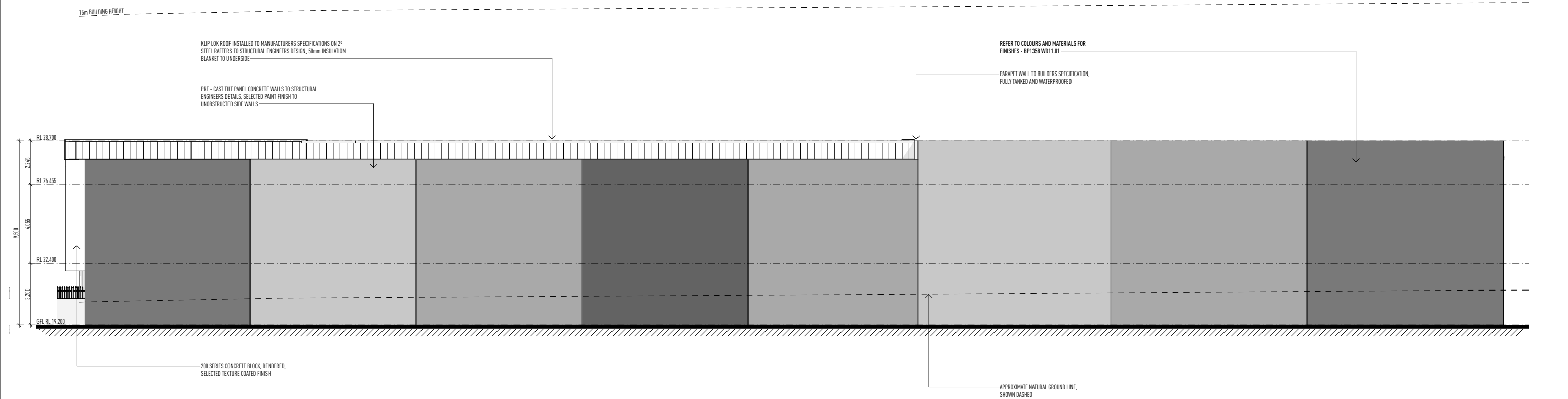


DRAWING ELEVATIONS		DRAWING No. BP1358/WD/4.01	ISSUE C
DRAWN	CV / KF		
DATE	FEB '23		
SCALE	1:100 @ A1		

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ELEVATION 3



ELEVATION 4

ELEVATIONS

1:100 @ A1

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EMAIL

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WEB

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2m

5m

10m

DRAWING

ELEVATIONS

DRAWN

CV / KF

DATE

FEB '23

SCALE

1:100 @ A1

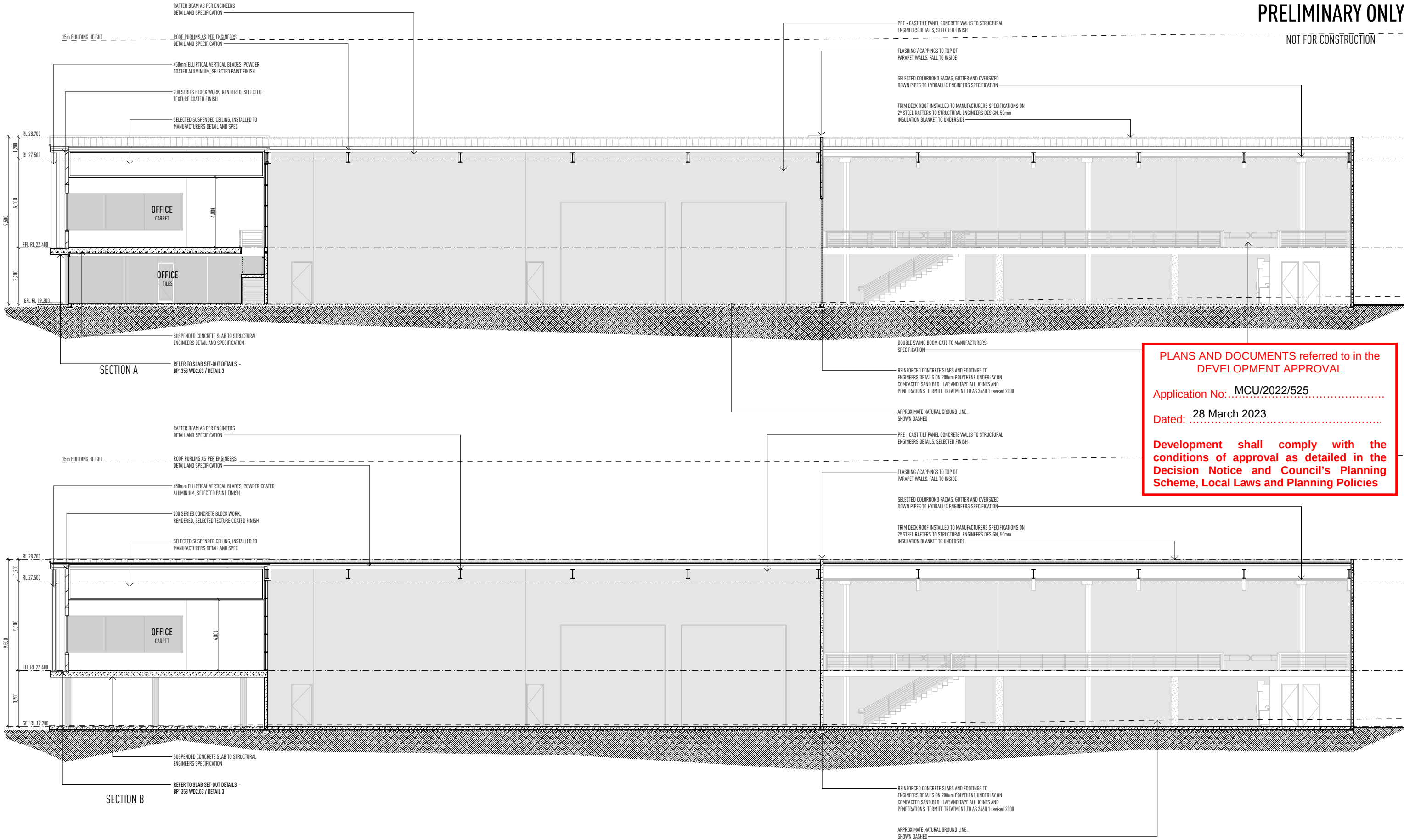
DRAWING No.

BP1358/WD/4.02

ISSUE

C

two clicks design



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: **MCU/2022/525**

Dated: **28 March 2023**

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SECTION A & B

1:100 @ A1

ISSUE	DATE	DESCRIPTION
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2m 5m 10m

DRAWING

SECTION A & B

DRAWN CV / KF

DATE FEB '23

SCALE 1:100 @ A1

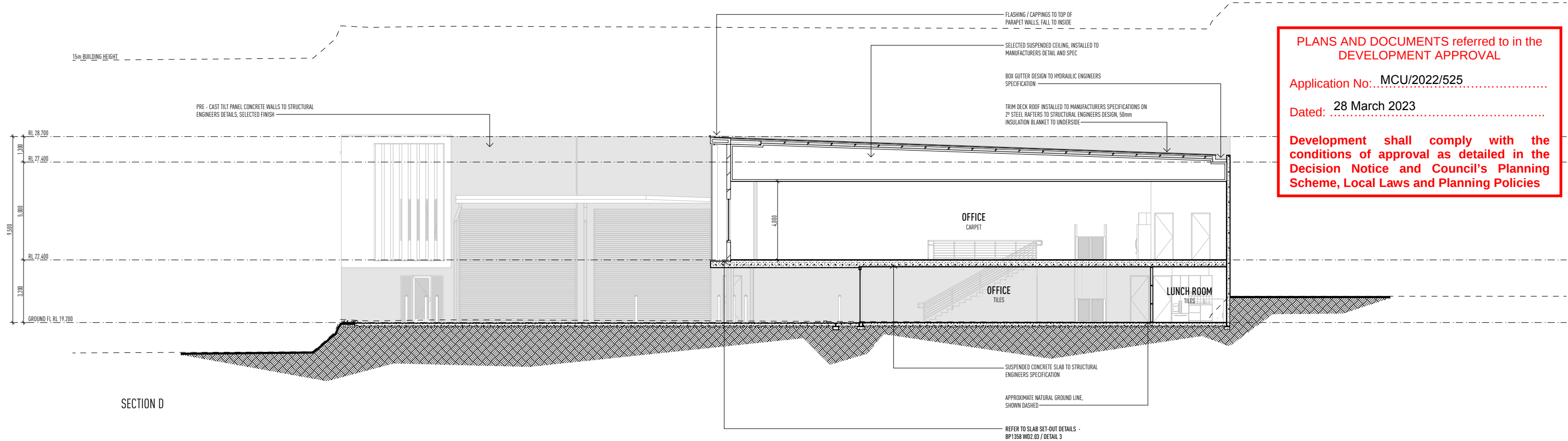
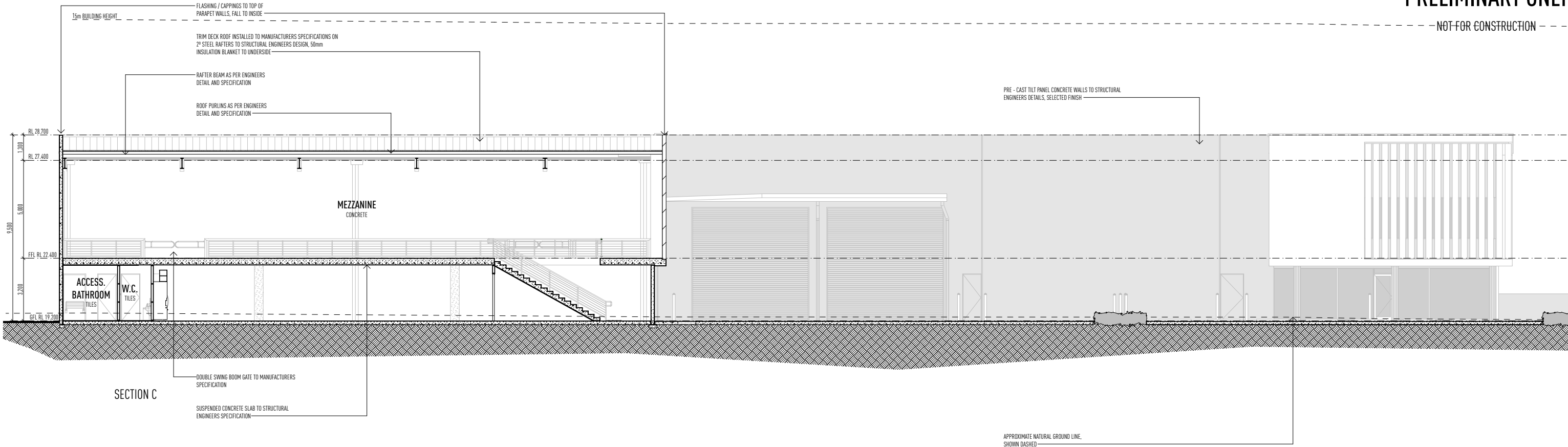
DRAWING No.

BP1358/WD/5.01

ISSUE

C

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PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No...MCU/2022/525

Dated: 28 March 2023

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SECTION C & D

1:100 @ A1

ISSUE	DATE	DESCRIPTION
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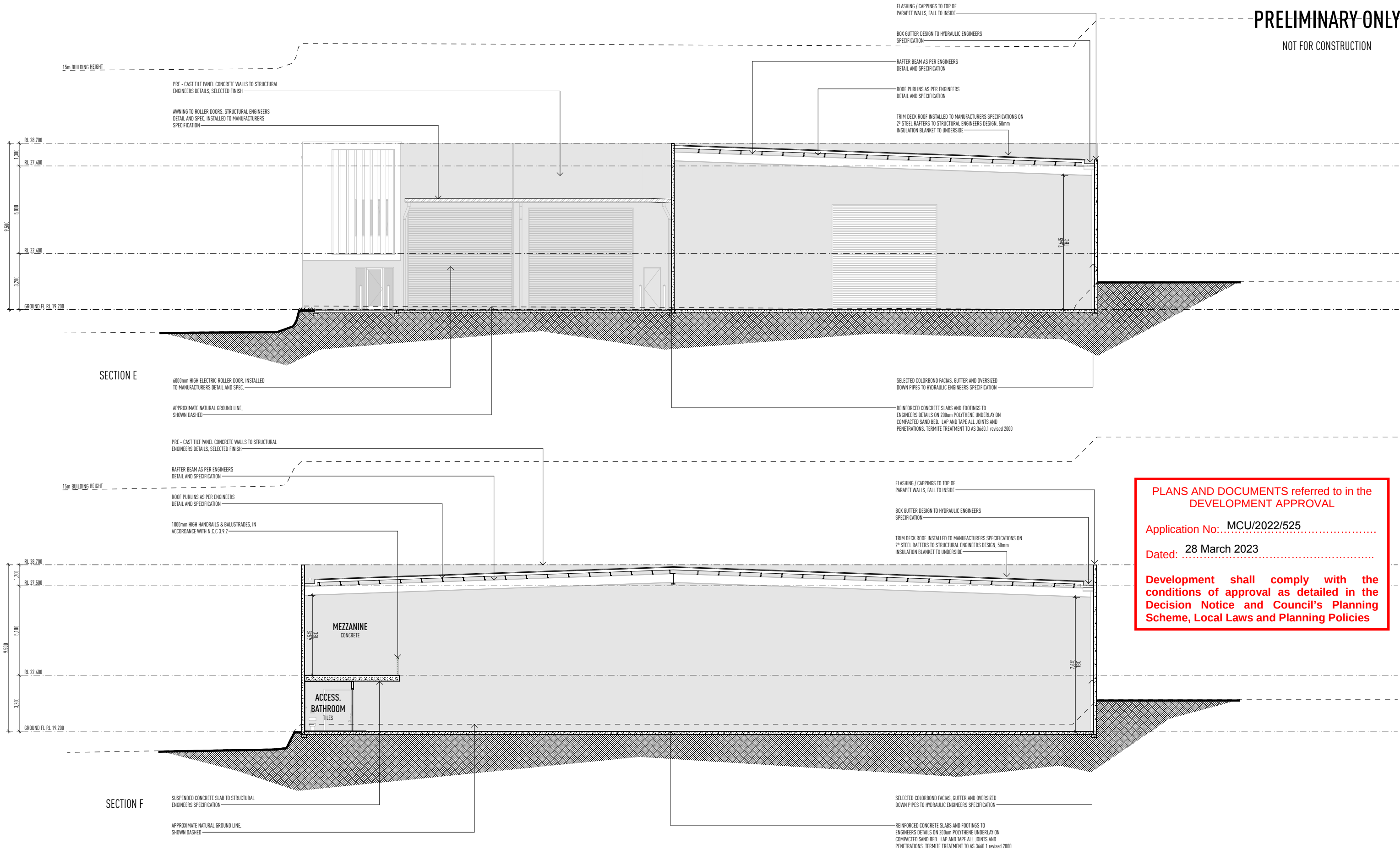
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DRAWN	CV / KF		
DATE	FEB '23		
SCALE	1:100 @ A1		

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PLANS AND DOCUMENTS referred to in the
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Application No.: MCU/2022/525

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SECTION E & F

1:100 @ A1

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DRAWING SECTION E & F		DRAWING No. BP1358/WD/5.03	ISSUE C
DRAWN CV / KF			
DATE FEB '23			
SCALE 1:100 @ A1			

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1



WALLS
RENDER 1
DULUX PAINT OR SIMILAR
COLOURBOND MONUMENT

2



WALLS
RENDER 1
DULUX PAINT OR SIMILAR
SILKWORT

3



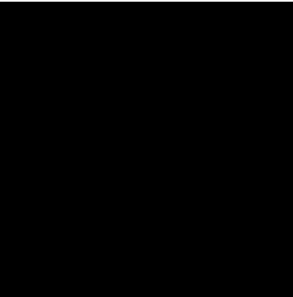
WALLS
RENDER 1
DULUX PAINT OR SIMILAR
TIMELESS GREY

4



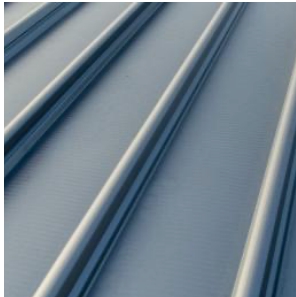
WALLS
RENDER 2
RESENE PAINT OR SIMILAR
DOUBLE ALABASTER

5



WINDOW AND DOOR FRAMES, GATE
POWDER COATED
-
BLACK

6



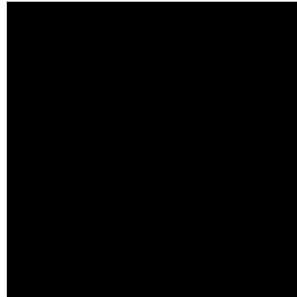
ROOF
KLIP LOCK ROOF SHEETING
POWDER COAT
COLOURBOND MONUMENT OR SIMILAR

7



DRIVEWAY
SELECTED CONCRETE FINISH
-
GREY

8



ALUMINIUM BATTEN SCREENS, ROLLER DOORS
SELECTED ALUMINIUM BATTENS
POWDER COAT
BLACK

COLOURS AND MATERIALS

1:1 @ A1

ISSUE	DATE	DESCRIPTION
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DRAWING
COLOURS AND MATERIALS

DRAWN CV / KF
DATE FEB '23
SCALE 1:1 @ A1

DRAWING No.
BP1358/WD/11.01

ISSUE
C

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