

LANDSCAPE NOTES

FALLS & DRAINAGE
- PROVIDE FALLS TO ALL LANDSCAPE AREAS. FALL TO DRAINS AS INDICATED AND AWAY FROM BUILDING AND NEIGHBOURING PROPERTIES. PONDING IS NOT ACCEPTABLE AND NOTIFY IF ADDITIONAL DRAINAGE MAY BE REQUIRED.
- MIN CROSSFALL TO PLANTING AREAS IS 1:40
- MIN CROSSFALL TO PAVED AREAS TO BE 1:100

GARDEN EDGING
- PROVIDE EDGING CONCRETE EDGING TO ALL LANDSCAPE AREAS AND ADJOINING CARPARK AND TURFED AREAS.

PLANTING BEDS
- REFER TO LANDSCAPE PLANS AND SCHEDULE FOR PLANTING AREAS AND SPECIES.
- CULTIVATE ALL PLANTING BEDS TO MIN 150mm DEEP
- MULCH AND SOIL TO MEET AS4454 AND AS4419 AND ENSURE SOIL MEDIA IS AMELIORATED TO INCREASE WATER HOLDING CAPACITIES
- APPLY GYPSUM TO THE SUB GRADE AT A RATE OF 100 GRAMS/m²
- APPLY BLOOD AND BONE TO THE SUB GRADE AT A RATE OF 100 GRAMS/m²
- SPREAD A MIN DEPTH OF 350mm OF IMPORTED ORGANIC WEED FREE SOIL MIX TO GARDEN BEDS DIRECTLY AFTER CULTIVATION WORKS.
- CROWN BEDS IN THE CENTRE
- POSITION PLANTS GENERALLY IN ACCORDANCE WITH THE LANDSCAPE PLAN.
- MULCH GARDEN BEDS TO 100mm USING QUALITY TEA TREE MULCH
- WATER PLANTING BEDS.
- FERTILISE WITH A LONG TERM SLOW RELEASE FERTILISER.

LEVELS
- ALL SUFACES ABUTTING BUILDINGS TO BE A MIN 75mm BELOW WEEPHOLES.

TURF
- CULTIVATE ALL TURF AREAS TO MIN 150mm DEEP
- SPREAD A MIN DEPTH OF 100mm OF IMPORTED ORGANIC WEED FREE SOIL MIX TO TURF AREAS DIRECTLY AFTER CULTIVATION WORKS.
- LAY TURF IN AREAS INDICATED ON PLAN.
- WATER TURF AREAS.

ROCKS/PEBBLES
- ALL GARDEN BEDS AGAINST A BUILDING SHALL BE SEPARATED BY A MIN 150mm STRIP OF PEBBLES.
- ALL PEBBLES AREAS TO HAVE WEED MATTING INSTALLED UNDER.

SERVICES
- LANDSCAPE CONTRACTOR TO LIAISE WITH SITE PROJECT MANAGER/SUPERVISOR TO DETERMINE LOCATION OF ALL AS CONSTRUCTED SERVICES PRIOR TO COMMENCING WORKS.

ESTABLISHMENT & MAINTENANCE
- 12 WEEK ESTABLISHMENT PERIOD TO ALL TURF AND PLANTING AREAS COMMENCING FROM BUILDERS PRACTICAL COMPLETION DATE.
- REFER TO LOCAL AUTHORITY REQUIREMENTS IN RELATION TO WATER USAGE RESTRICTIONS TO ENSURE WATER REGIME IS NOT IN BREACH.
- WATER TWICE WEEKLY FOR FIRST 3 WEEKS AND ONCE WEEKLY THEREAFTER.

MASONRY RETAINING WALL FOR PAD MOUNT TRANSFORMER (ON LOT 17) NOT PART OF LANDSCAPING CONTRACT.

CONCRETE GARDEN + MOW EDGE. CO-ORDINATE WITH FENCE SETOUT. CONFIRM WITH BUILDER.

IRRIGATION ACCESS (50mm PVC CONDUIT) CAST UNDER CONCRETE PAVEMENTS AND TURNED UP INTO GARDENS.

MAKE GOOD TO FOOTPATH TURFING WHERE DISTURBED FROM CONSTRUCTION ACTIVITIES.

CONCRETE GARDEN + MOW EDGE. CO-ORDINATE WITH FENCE SETOUT. CONFIRM WITH BUILDER.

2 x ACM hem (100L)
Street tree to be planted in accordance with SC6.11 LDG Standard drawings 05-102 and 05-103.

PEDESTRIAN SIGHT TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY. LOW LEVEL LANDSCAPING PERMITTED TO A MAXIMUM MATURE HEIGHT OF 500mm ABOVE DRIVEWAY LEVEL.

TIE TREE TO STAKE USING HESSIAN TIE

ENSURE PLANTING HOLE IS FREE DRAINING. IF NOT PROVIDE TRENCH AND DRAINAGE TO ROOTBALL. PROVIDE AGLINE AS NECESSARY

EXCAVATE ALL PLANTING HOLES WITH MIN 200mm CLEARANCE TO SIDES AND BASE OF ROOTBALL. BACKFILL HOLE WITH IMPORTED SOIL MIX.

MATURE TREE PLANTING

ENSURE SEPARATION OF MULCH AND PLANT STEM

100mm MULCH

ROOTBALL

FERTILISE

FORM BASIN FOR HOLDING WATER

100mm MULCH

EXCAVATE ALL PLANTING HOLES WITH MIN 200mm CLEARANCE TO SIDES AND BASE OF ROOTBALL. BACKFILL HOLE WITH IMPORTED SOIL MIX.

BREAK UP BASE OF HOLE TO MIN 100mm

GENERAL POT PLANTING

LANDSCAPE PLANS APPROVED

- To be constructed in accordance with the approved plan.
- Approval is subject to the observance of any amendments noted in red thereon.
- Landscape to be inspected and approved by Council Officers, prior to the use commencing on the land.
- No canopy trees to be planted within 3 metres of building foundations or rooflines (including neighbouring properties)
- All landscape materials, plants, vegetation and watering systems shown on the approved landscaping plan must be an acceptable quality and be installed and maintained to the satisfaction of the Chief Executive Officer.

Application No.: OPW/2023/337

Dated: 17 May 2023

ISSUED FOR CONSTRUCTION

LANDSCAPE PLAN

1:200

AR-3001



WAT flo



SYZ aus



SYZ cas



DIA cae



JUN usi



LIR mus



LOM hys

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	APPROX MATURE HEIGHT	SPREAD	NOMINAL POT SIZE	QTY
TREES						
WAT flo	WATERHousIA floribunda	WEEPING LILLY PILLY	8000	5000	100L	4
SHRUBS						
SYZ aus	SYZYGIUM australe	BABY BOOMER	1500	1500	200mm	5
SYZ cas	SYZYGIUM cascade	CASCADE LILLY PILLY	3000	2000	200mm	31
GROUND COVERS						
DIA cae	DIANELLA caerulea	BLUE FLAX LILY	700	600	140mm	55
JUN usi	JUNCUS usitatus	USITATUS	500	400	140mm	47
LIR mus	LIRIOPE MUSCARI	JUST RIGHT	500	500	140mm	71
LOM hys	LOMANDRA hystrix	MAT RUSH	1000	1000	140mm	56
ACM hem	ACMENA hemilampa				100L	2

LANDSCAPE ASSESSMENT NOTES:

- All under sized or poor quality stock will be required to be replaced prior to inspection approval.
- Existing Street trees to be retained and protected. Damaged street trees are to be replaced with the same species at the same size. Replacement street trees must be staked, mulched and edged as per City of Gold Coast Street Tree Planting - Setout Guidelines.
- Street trees to be, staked, mulched and edged as per City of Gold Coast Street Tree Planting - Setout Guidelines. Must be setback a minimum 3m from the proposed driveway and 1m setback from the nominal kerb line.
- All road reserve turf must be repaired or replaced if damaged.
- All trees must be staked, edged and mulched.
- Ensure all nominated existing planting to be retained and protected are not damaged. Plants damaged in construction must be replaced with the same species at the same size.
- Ensure all proposed trees within the private lot are setback 3m minimum from the proposed roof line or building foundations. Only small trees are permitted within the 2-3 metre setback from proposed roof line or building foundations, but a root barrier must be used.
- All planting to be within an edged and mulched garden bed complying with the City Plan Policy - Landscape Work.
- All nursery bamboo stakes and plastic/rubber ties must be removed from planted tree specimens before final inspection.

NOTE:

Plant quantities will need to be updated. Refer mark ups on landscape plans for revised plant quantities.



MULTI SPAN AUSTRALIA
DESIGN CONSTRUCT

Architectural & Engineering Design Consultants
Construction Management
Structural Steel Fabrication & Erection
Commercial / Industrial / Residential Developments
A.B.N. 31 147 474 628
T 07 3274 4209
F 07 3875 1012
info@multispan.com.au
www.multispan.com.au

CLIENT:

MS PROJECTS

PROJECT DESCRIPTION:

WAREHOUSE & OFFICE

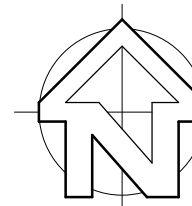
SITE ADDRESS:

LOT 334 on SP193431 - FUTURE
LOT 11 on SP 320479

DRAWING TITLE(S):

LANDSCAPE PLAN

1:200



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AMENDMENTS				SCALE:	@	DRAWN:	CHECKED:
REV	DATE	DESCRIPTION	BY	As indicated	A1	GR	AR
4	27.03.23	LANDSCAPE AMENDMENT	GR	5001	PROJECT DATE:	15.03.2021	PROJECT START DATE:
3	21.02.23	LANDSCAPE AMENDED OPW ISSUE	GR				
2	07.02.23	LANDSCAPE OPW AMENDED ISSUE	GR				
1	20.01.23	LANDSCAPE OPW ISSUE	GR				
B	13.10.22	REVISED DA ISSUE	AR				
A	02.06.22	DA ISSUE	AR	CD	- LS-1501	4	