

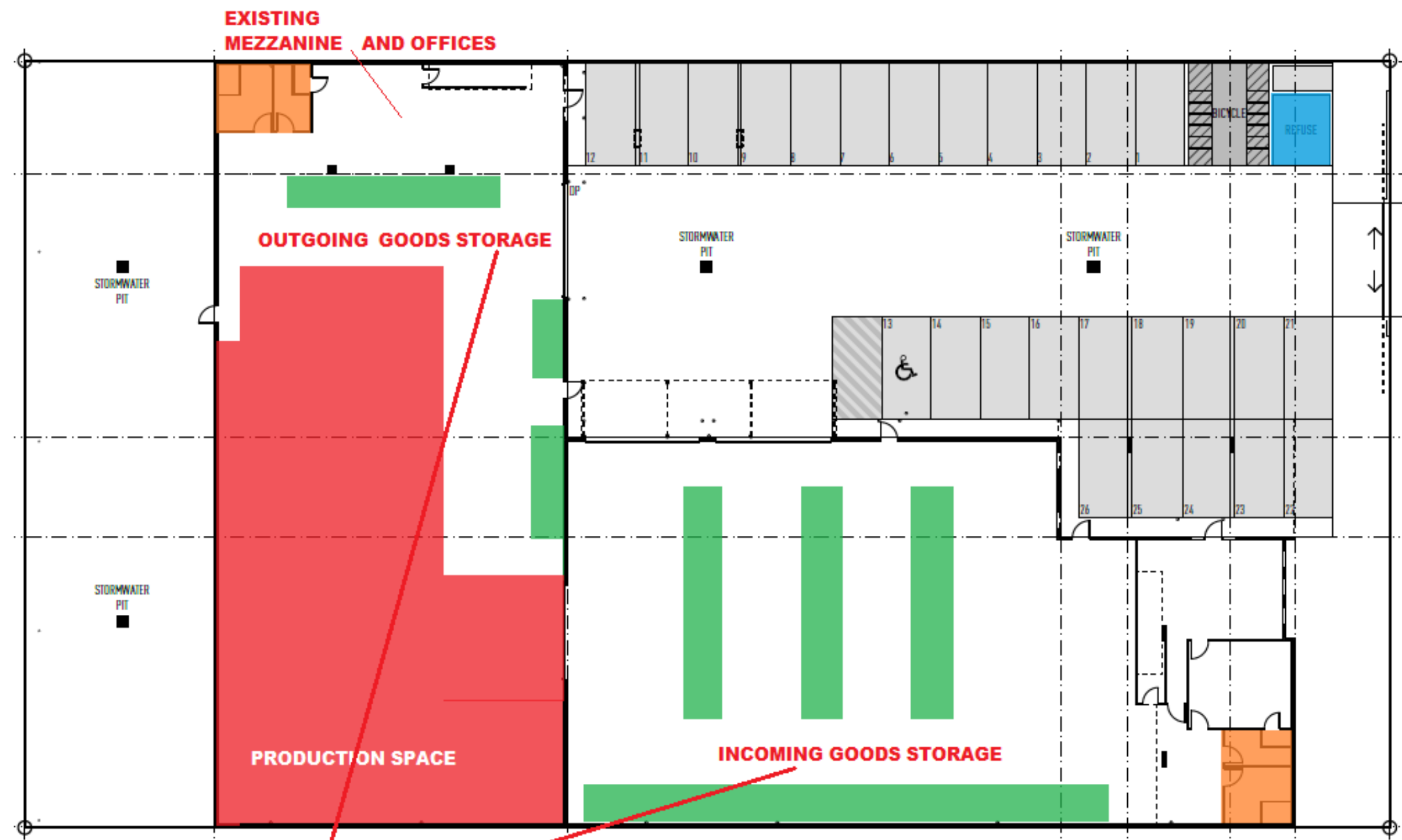
RFI NO 2(B) – STORAGE SPACE
RFI NO 2(E) – ANCILLARY USAGE (NIL)

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MCU/2023/88

Dated: 31 May 2023

Development shall comply with the
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- PALLET RACKING STORAGE
- PRODUCTION SPACE
- STAFF TOILETTES
- BIN STORAGE AND WASHDOWN

NOT TO SCALE AND INDICATIVE POSITIONING - TO BE DETERMINED ON SITE ON COMPLETION OF SITE SETOUT

RFI NO 2 - STORAGE SPACE
RFI NO 2 - ANCILLARY USAGE (NIL)

NOTE

REINSTATE SURROUNDS WHERE CONSTRUCTION HAS DISTURBED, REMOVE ALL DEBRIS, SURPLUS EXCAVATION / FILL FROM SITE. REGRASS AND GENERALLY LEAVE TIDY.

ENSURE THAT FINISHED GROUND AND PAVING SURFACES FALL AWAY FROM THE HOUSE AND DRAIN TO AVOID PONDING OF WATER, GRADED TO A SLOPE NOT LESS THAN 1:20 OVER THE FIRST 1000mm FROM THE BUILDING.

STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH BCA PARTS 3.1.2. & 3.5.2. IN ADDITION TO AS/NZS. 3500 & DISCHARGED TO LOCAL AUTHORITIES REQUIREMENTS, REFER HYDRAULIC ENGINEERS DETAILS.

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS AS REQUIRED.

THE HEIGHT IF OVERFLOW RELIEF GULLYS RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 90mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80 DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

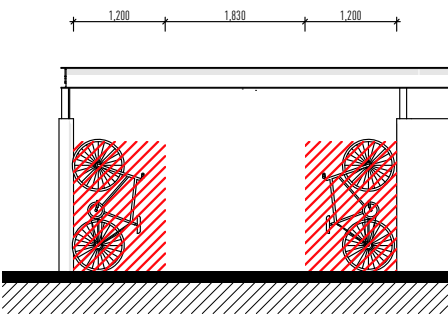
EXCAVATION NOTES

BANKS TO BE BATTERED IN ACCORDANCE WITH THE BCA, PART 3.1.1. RETAINING WALLS THAT EXCEED 1m IN HEIGHT WILL REQUIRE ADDITIONAL APPROVAL PRIOR TO THE RELEASE OF A FINAL CERTIFICATION FORM 21.

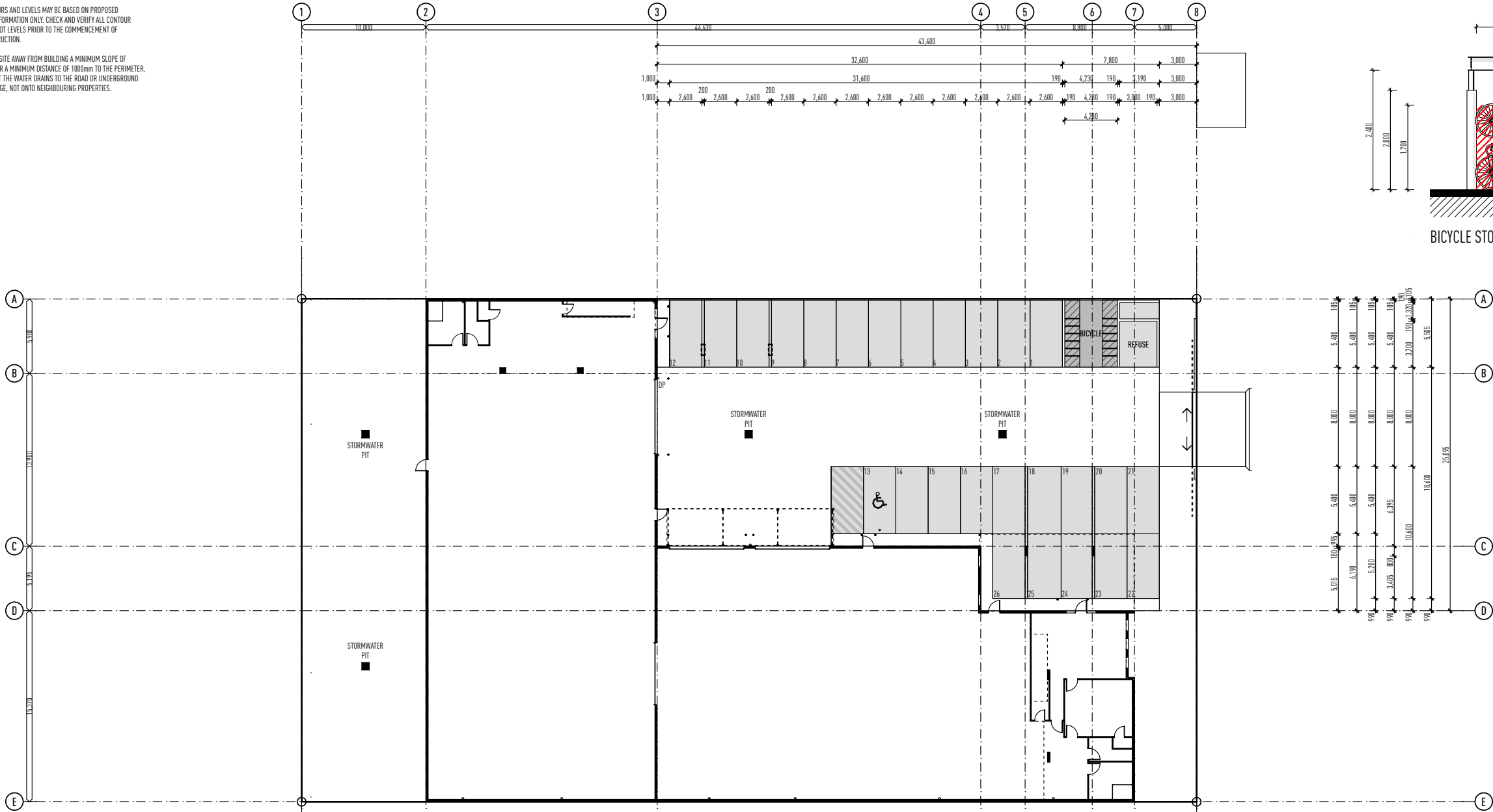
CONTOURS AND LEVELS MAY BE BASED ON PROPOSED SITE INFORMATION ONLY. CHECK AND VERIFY ALL CONTOUR AND SPOT LEVELS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

GRADE SITE AWAY FROM BUILDING A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO THE PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES.

FOR CONSTRUCTION



BICYCLE STORAGE DETAIL 1 : 50



DEVELOPMENT DETAILS

F.L. 00.000

FLOOR LEVEL

+ R.L. 00.000

SURFACE LEVEL

X 0.000

EXISTING SURFACE LEVELS

PROPERTY DESCRIPTION

LOT 108 HOMESTEAD DRIVE, VANTAGE, YATALA, QLD
LOT 108 ON SP2395994
PARISH OF TBC
COUNTY OF TBC
SITE AREA - 2913m²
SITE COVER - 54%

Precinct A (Low Impact and Service Industry)

WAREHOUSE (INC AMENITIES) FLOOR AREA
OFFICE GROUND FLOOR AREA
WAREHOUSE (MEZZANINE FLOOR AREA)
LANDSCAPING

TOTAL BUILDING AREA

SITE AREA

CARPARKING
2 PER TENANCY + 1/50m² FOR FIRST 500m² GFA
+ 1/100m² THEREAFTER
CARPARKING REQUIRED: 24 SPACES
CARPARKING PROVIDED: 26 SPACES

BICYCLE PARKING

1 : 150 GFA
BICYCLE SPACES REQUIRED: 11
BICYCLE SPACES PROVIDED: 12

1430.96m²

36.48m²

295.35m²

490.95m²

1763.12m² (NOT INCLUDING LANDSCAPING)

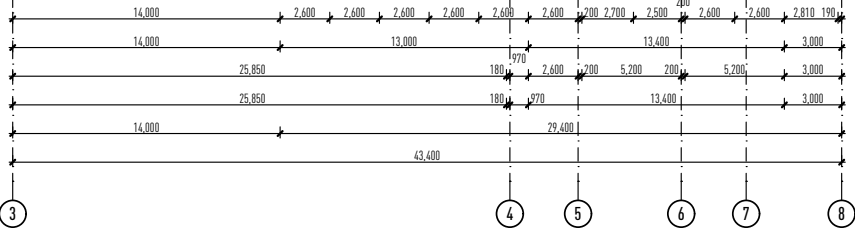
2913m²

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BICYCLE STORAGE FACILITIES

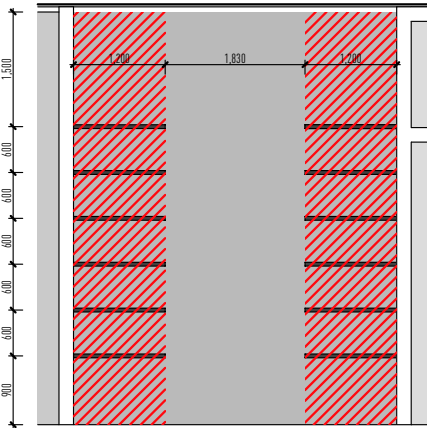
VERTICAL STORAGE RACKS TO BE PROVIDED AND IN ACCORDANCE WITH AS2890.3 BICYCLE PARKING FACILITIES.

BICYCLE STORAGE LAYOUT IS TO BE IN ACCORDANCE WITH AS2890.3 SECTION 2 FIGURE 2.4 - VERTICAL STORAGE FACILITIES

12 BICYCLE PARKS HAVE BEEN ARRANGED TO MEET THE EXAMPLE SET OUT IN AS2890.3 SECTION 2 FIGURE 2.4

BICYCLE PARKING

1 : 150 GFA
BICYCLE SPACES REQUIRED: 11
BICYCLE SPACES PROVIDED: 12



BICYCLE STORAGE PLAN 1 : 50

CAR PARK DIMENSION PLAN

1:200 @ A1

ISSUE	DATE	DESCRIPTION
A	18.05.22	BA PLAN ISSUED
B	08.06.22	TILT PANEL CO ORDINATION / ADDITIONAL FIRE EXIT DOOR ADDED
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D	20.10.22	ADJUSTED AMBULANT TOILET / MALE FEMALE TOILETS
E	27.01.23	ADJUSTED WINDOW SCHEDULE

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PROJECTS QLD 101 PTY LTD

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DRAWN	KW/CV/KF	DRAWING - CAR PARK DIMENSION PLAN	
DATE	OCT '22	DRAWING No.	
SCALE	1:200 @ A3	BP1300/BA1.02	ISSUE D

two clicks design

NOTE

WC DOORS TO COMPLY WITH THE BCA, PART 3.8.3. DOOR TO SWING OUT FROM EDGE OF THE PAN, DISTANCE BETWEEN THE PAN AND THE DOOR EDGE TO BE 1200mm OR LIFT OFF HINGES TO BE INSTALLED.

MECHANICAL VENTILATION TO ALL HABITABLE ROOMS WITHOUT NATURAL VENTILATION TO COMPLY WITH THE BCA, PART 3.8.5.

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA 3.7.2.

ALL STAIRS AND HANDRAILS INSTALLED TO BCA 3.9.2 AND MANUFACTURERS SPECIFICATIONS.

RECESS ALL EXTERIOR DOOR TRACKS/SILLS.

FINISHED RLs TO BE CONFIRMED ON SITE.

TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

REFER SLAB SET-OUT PLANS FOR SLAB DIMENSIONS.

WATERPROOFING IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA VOL PART 2.3.8.1 AND INSTALLED BY A SUITABLY QUALIFIED PERSON.

NOTE

FLOOR OR GROUND SURFACES ON CONTINUOUS ACCESSIBLE PATHS OF TRAVEL AND CIRCULATION SPACES TO BE IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

SYMBOLS INDICATING ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY

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NOTE

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ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC. ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC

NOTE

ALL EXIT AND TRAVEL DISTANCES TO COMPLY WITH NCC.2019 VOL 1 D1.4 - EXIT TRAVEL DISTANCES

THE DISTANCE BETWEEN ALTERNATIVE MEANS OF EGRESS TO COMPLY WITH NCC.2019 VOL 1 D1.5 - DISTANCE BETWEEN ALTERNATIVE EXITS

ALL EXITS AND PATHS OF TRAVEL TO COMPLY WITH NCC.2019 VOL D1.6 - DIMENSIONS OF EXITS AND PATHS OF TRAVEL TO EXITS

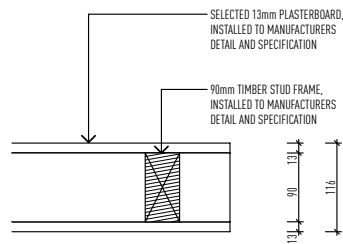
ALL TRAVEL VIA ISOLATED EXITS TO COMPLY WITH NCC.2019 VOL 1 D1.7 - TRAVEL VIA FIRE ISOLATED EXITS

ALL EMERGENCY LIGHTING TO COMPLY WITH NCC.2019 VOL 1 EV.1 - EMERGENCY LIGHTING

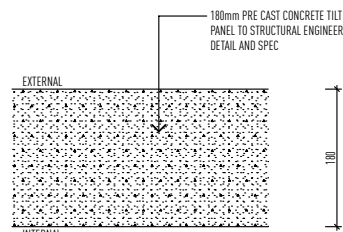
ALL EMERGENCY LIGHTING TO COMPLY WITH NCC.2019 VOL 1 EV.4.2 - EMERGENCY LIGHTING REQUIREMENTS

ALL EMERGENCY LIGHTING MUST BE IN ACCORDANCE WITH AS/NZ 2293.1

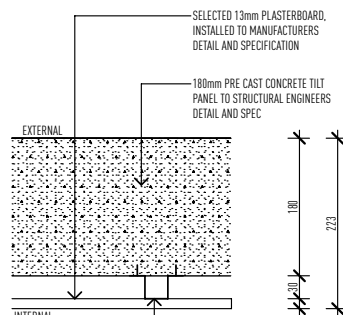
FOR CONSTRUCTION



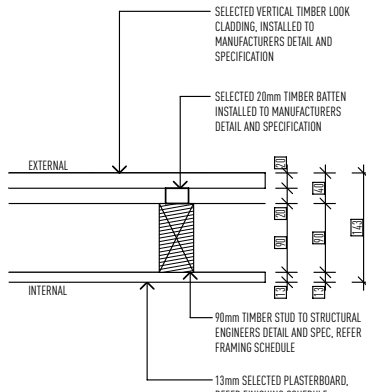
WALL TYPE A 1:5



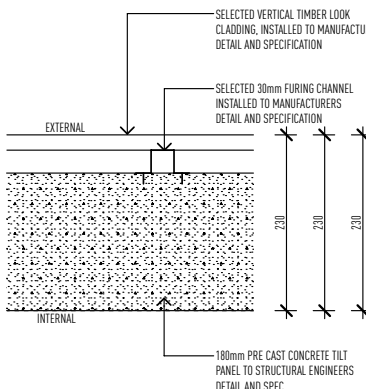
WALL TYPE B 1:5



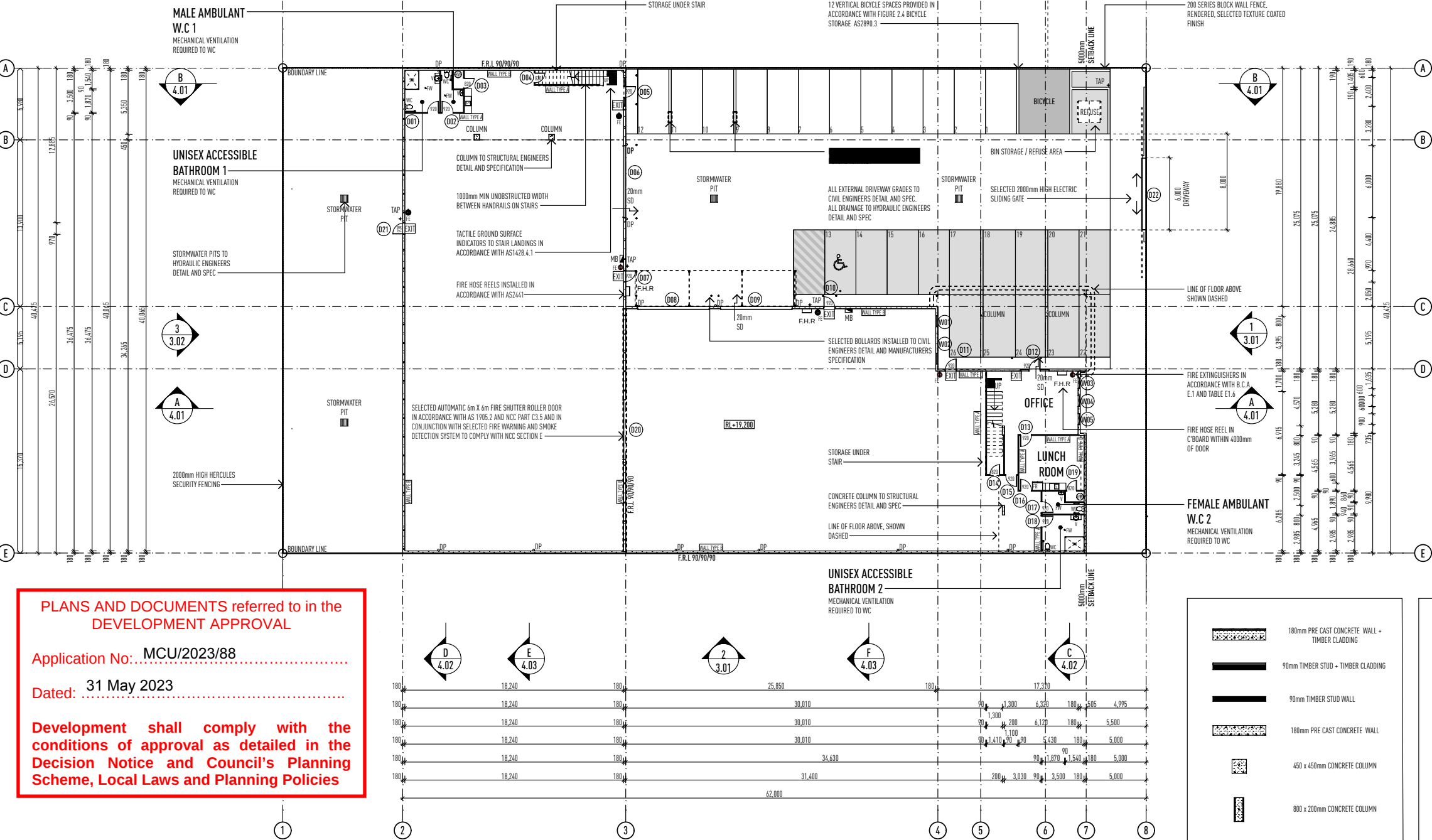
WALL TYPE C



WALL TYPE D 1:5



WALL TYPE E 1:5



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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	180mm PRE CAST CONCRETE WALL + TIMBER CLADDING
	90mm TIMBER STUD + TIMBER CLADDING
	90mm TIMBER STUD WALL
	180mm PRE CAST CONCRETE WALL
	450 x 450mm CONCRETE COLUMN
	800 x 200mm CONCRETE COLUMN
	200 SERIES CONCRETE BLOCK WALL
	SELECTED EMERGENCY LIGHTING
	SELECTED MECHANICAL VENTILATION
	36m HOSE, 100mm CLEARANCE ALL ROUND, INSTALLED IN ACCORDANCE WITH AS2441
	WALL TYPE REFER TO SCHEDULE ON PAGE
	DOOR NUMBER - REFER TO SCHEDULE
	WINDOW NUMBER - REFER TO SCHEDULE
	SELECTED FIRE EXTINGUISHER, IN ACCORDANCE WITH B.C.A E1 AND TABLE E1.6

GROUND FLOOR PLAN

1:200 @ A1

ISSUE	DATE	DESCRIPTION
A	18.05.22	BA PLAN ISSUED
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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 108 HOMESTEAD DRIVE, VANTAGE, YATALA, QLD

FOR
PROJECTS QLD 101 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
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TEL
EMAIL
WEB

07 5527 5300
INFO@JPD.COM.AU
WWW.JPD.COM.AU



DRAWN	KW/CV/KF	DRAWING - GROUND FLOOR PLAN	ISSUE D
DATE	OCT '22	DRAWING No.	
SCALE	1:200 @ A3	BP1300/BA3.01	

two clicks design

NOTE

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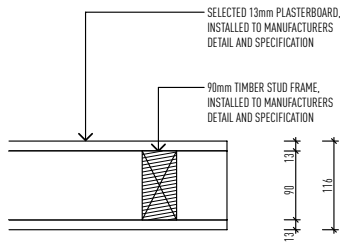
ALL EXITS AND PATHS OF TRAVEL TO COMPLY WITH NCC 2019 VOL D1.6 -

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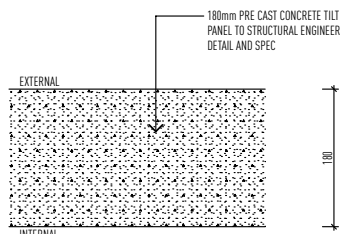
Application No: MCU/2023/88

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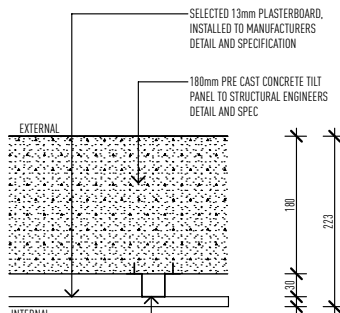
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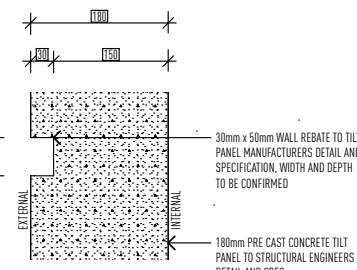
WALL TYPE A 1:5



WALL TYPE B 1:5



WALL TYPE C



WALL REBATE 1:5

FIRST FLOOR PLAN

1:200, 1:5 @ A1

ISSUE	DATE	DESCRIPTION
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DRAWN	KW/CV/KF	DRAWING - FIRST FLOOR PLAN	
DATE	OCT '22	DRAWING No.	
SCALE	1:200, 1:5 @ A3	BP1300/BA3.02	ISSUE D

two clicks design

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1:200 @ A1

[illegible]

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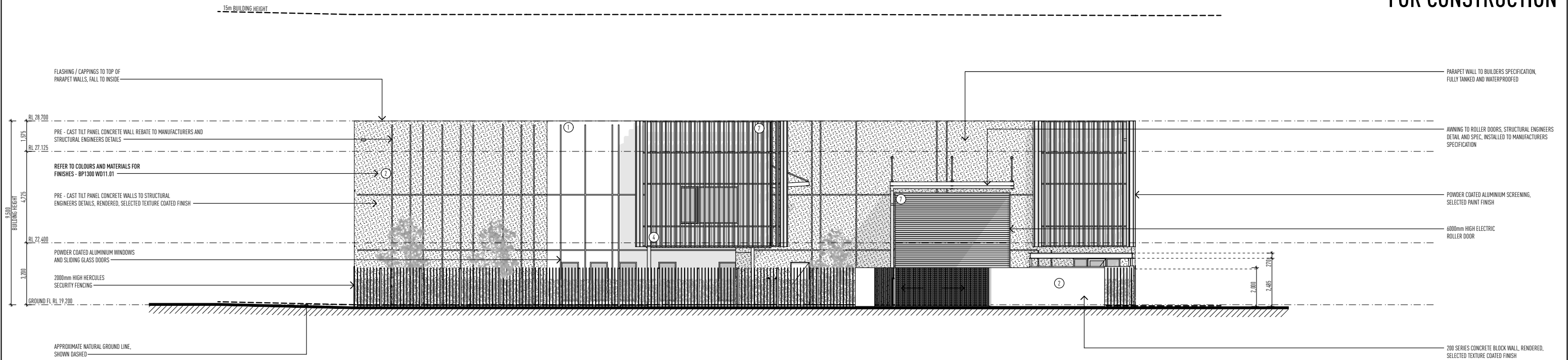
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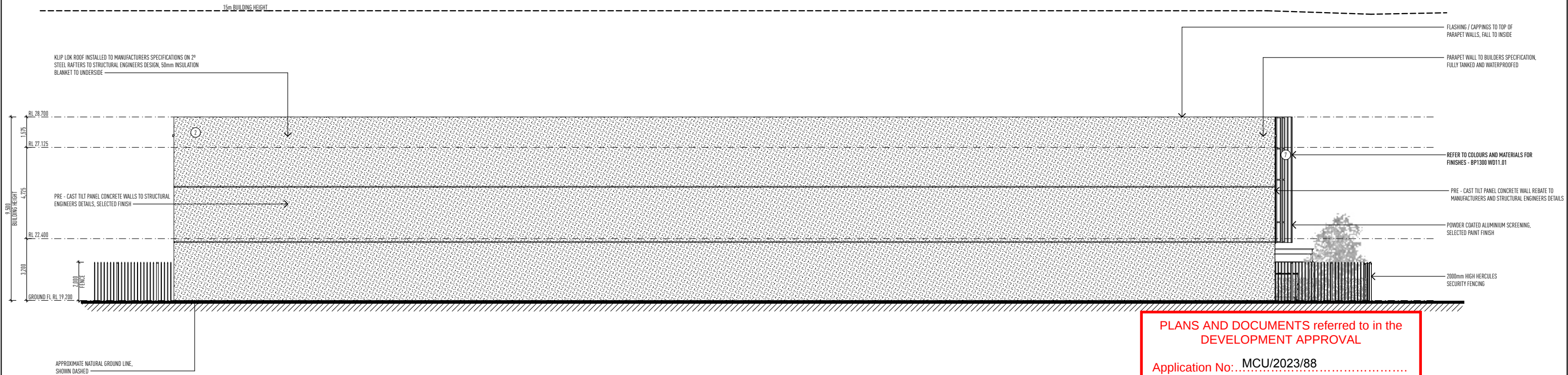


DRAWN	KW/CV/KF	DRAWING - ROOF PLAN	
DATE	OCT '22	DRAWING No.	ISSUE
SCALE	1:200 @ A3	BP1300/BA3.03	D

two clicks design



ELEVATION 1



ELEVATION 2

ELEVATION 1 & 2

1:100 @ A1

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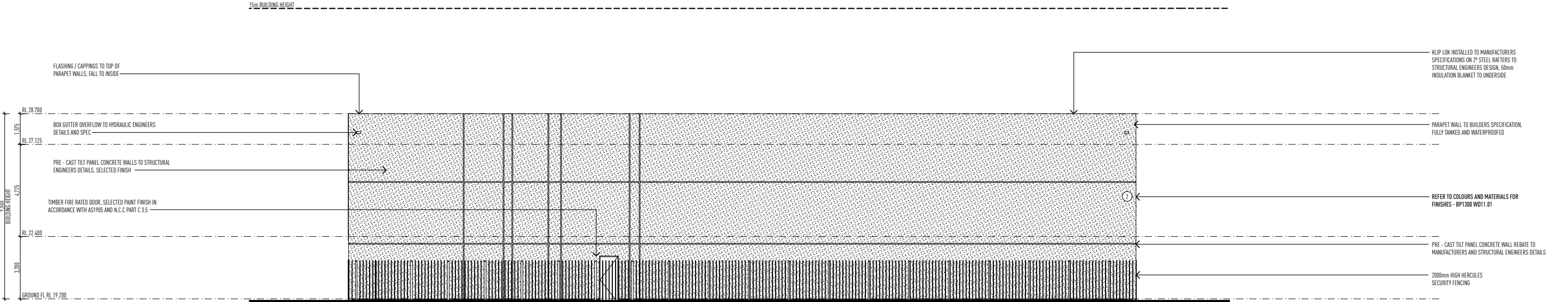
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EMAIL
WEB

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INFO@JPD.COM.AU
WWW.JPD.COM.AU

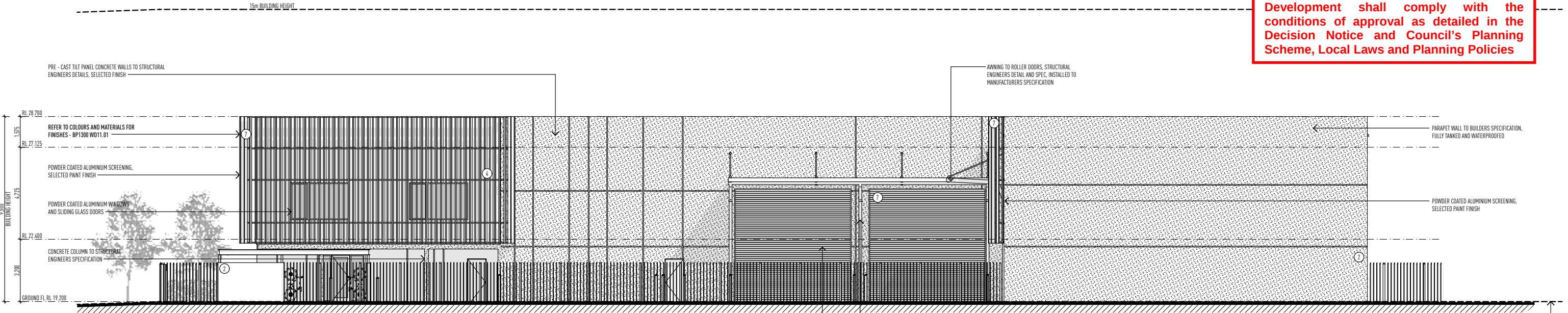


DRAWN	KW/CV/KF	DRAWING - ELEVATION 1 & 2	
DATE	OCT '22	DRAWING No.	
SCALE	1:100 @ A3	BP1300/BA4.01	ISSUE D

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ELEVATION 3



ELEVATION 4

ELEVATION 3 & 4

ISSUE	DATE	DESCRIPTION
A	18.05.22	BA PLAN ISSUED
B	08.06.22	TILT PANEL CO ORDINATION / ADDITIONAL FIRE EXIT DOOR ADDED
C	08.06.22	UPDATED HYDRAULIC PLAN CO ORDINATION / FIRE HYDRANTS REMOVED / ADDITIONAL PARKING SPACE ADDED
D	20.10.22	ADJUSTED AMBULANT TOILET / MALE FEMALE TOILETS
E	27.01.23	ADJUSTED WINDOW SCHEDULE

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 108 HOMESTEAD DRIVE, VANTAGE, YATALA, QLD

FOR
PROJECTS QLD 101 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

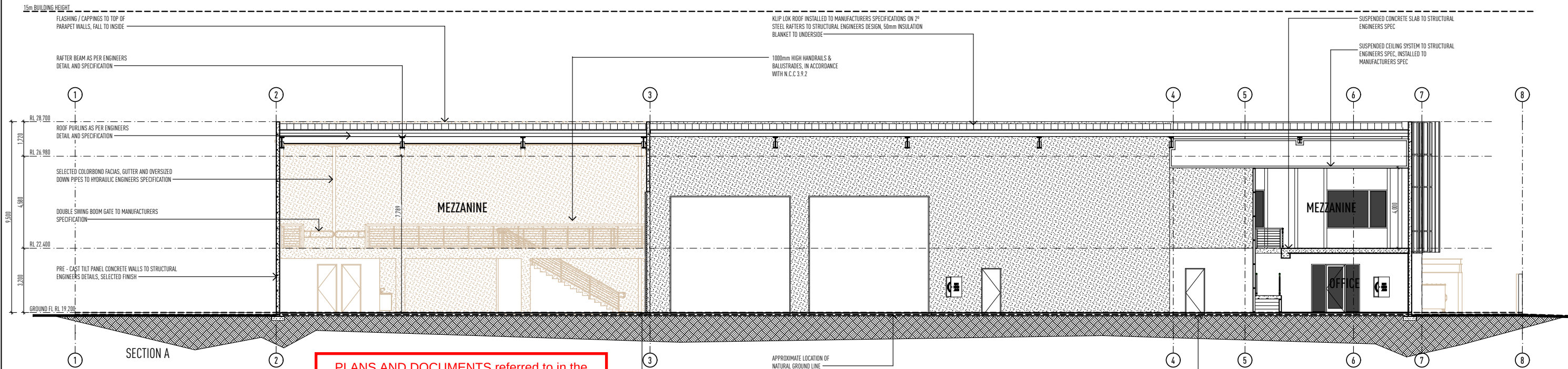
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DRAWN	KW/CV/KF	DRAWING - ELEVATION 3 & 4	
DATE	OCT '22	DRAWING No.	
SCALE	1:100 @ A3	BP1300/BA4.02	ISSUE D

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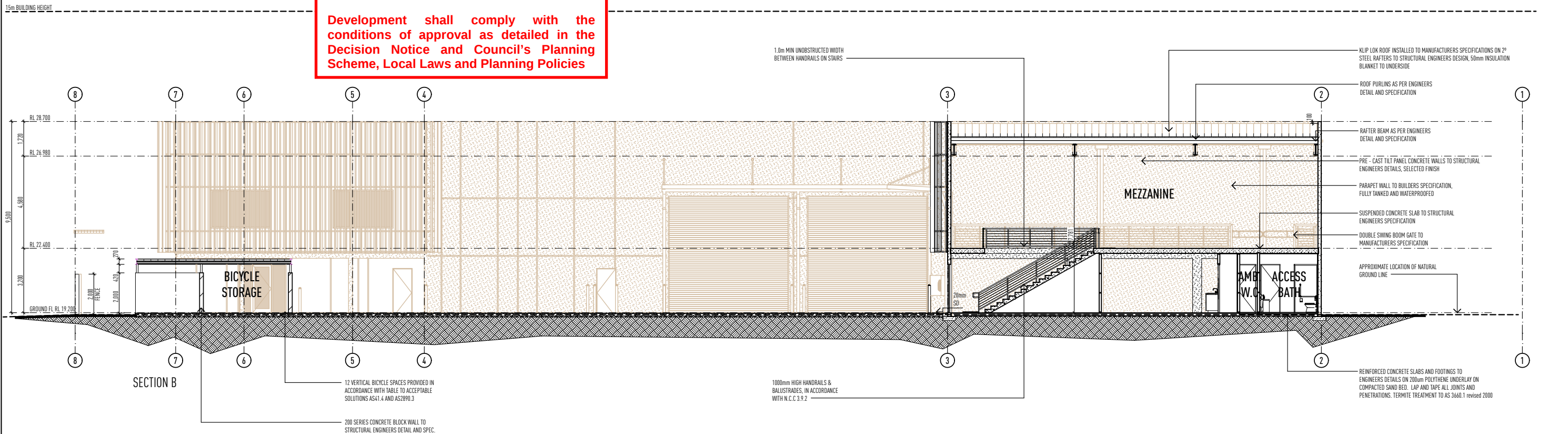


PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: MCU/2023/88

Dated: 31 May 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



SECTION A & B 1:100 @ A1

ISSUE	DATE	DESCRIPTION
A	18.05.22	BA PLAN ISSUED
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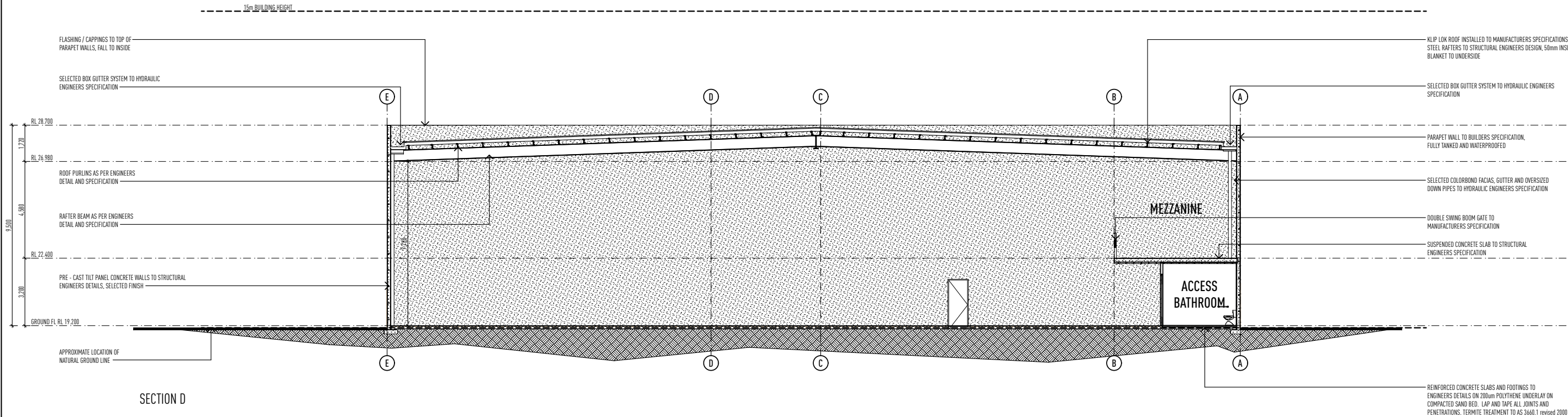
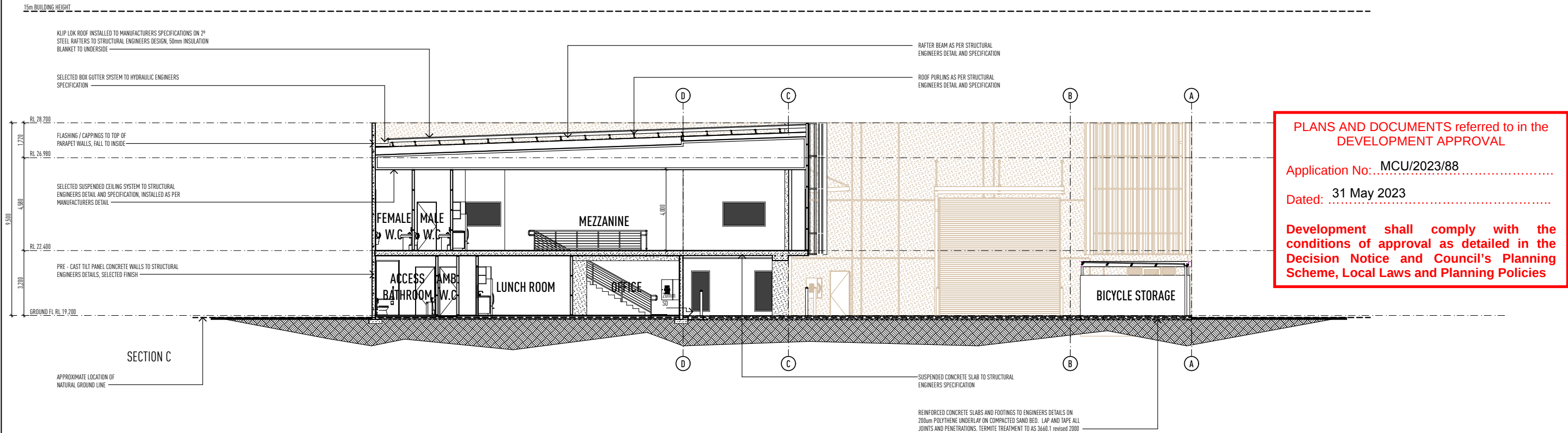
PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 108 HOMESTEAD DRIVE, VANTAGE, YATALA, QLD
FOR
PROJECTS QLD 101 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
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TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



DRAWN	KW/CV/KF	DRAWING - SECTION A & B	
DATE	OCT '22	DRAWING No.	
SCALE	1:100 @ A3	BP1300/BA5.01	ISSUE D

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SECTION C & D

1:100 @ A1

ISSUE	DATE	DESCRIPTION
A	18.05.22	BA PLAN ISSUED
B	08.06.22	TILT PANEL CO ORDINATION / ADDITIONAL FIRE EXIT DOOR ADDED
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AT
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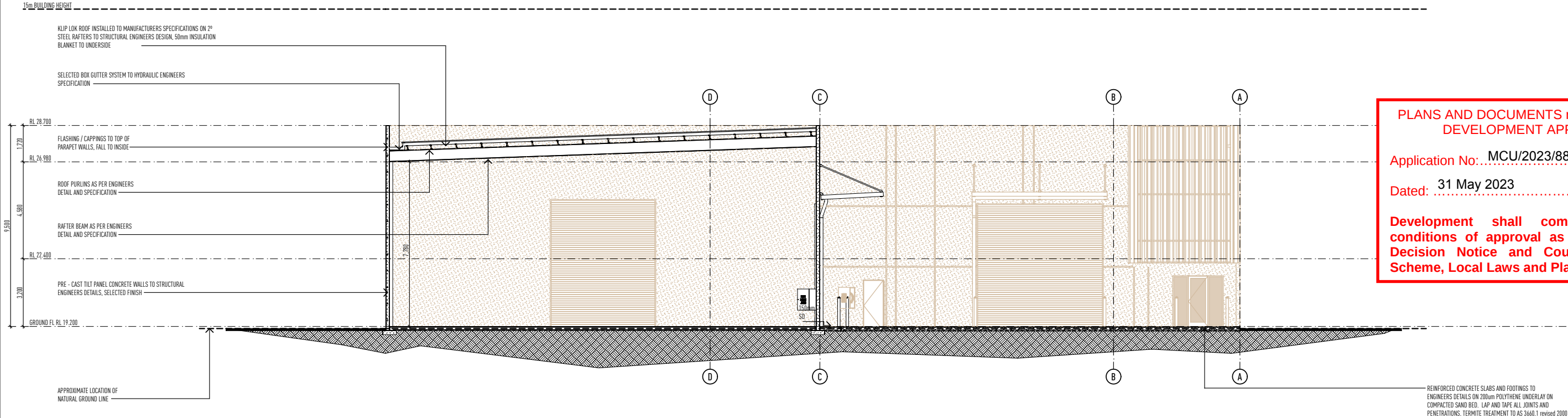
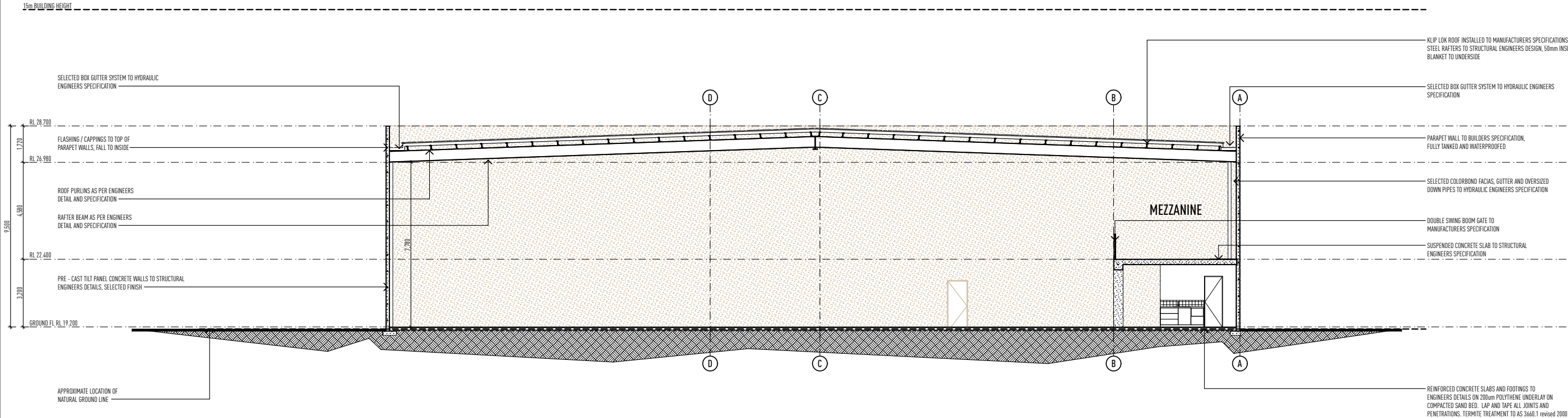
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TEL
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WEB

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DRAWN	KW/CV/KF	DRAWING - SECTION C & D	
DATE	OCT '22	DRAWING No.	
SCALE	1:100 @ A3	BP1300/BA5.02	ISSUE D

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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MCU/2023/88

Dated: 31 May 2023

Development shall comply with the
conditions of approval as detailed in the
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SECTION E & F

1:100 @ A1

ISSUE	DATE	DESCRIPTION
A	18.05.22	BA PLAN ISSUED
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FOR
PROJECTS QLD 101 PTY LTD

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DRAWN	KW/CV/KF	DRAWING - SECTION E & F	
DATE	OCT '22	DRAWING No.	
SCALE	1:100 @ A3	BP1300/BA5.03	ISSUE D

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PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No.: MCU/2023/88

Dated: 31 May 2023

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1



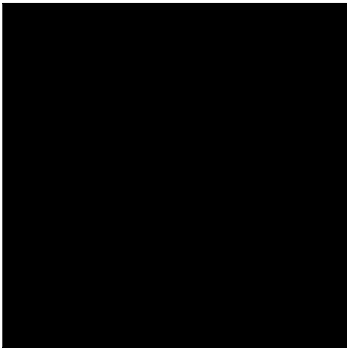
WALLS
RENDER 1
DULUX PAINT OR SIMILAR
COLOURBOND MONUMENT

2



WALLS
RENDER 2
RESENE PAINT OR SIMILAR
DOUBLE ALABASTER

3



WINDOW AND DOOR FRAMES
POWDER COATED
- BLACK

4



WALLS
SELECTED VERTICAL TIMBER LOOK CLADDING
- BLACK

5



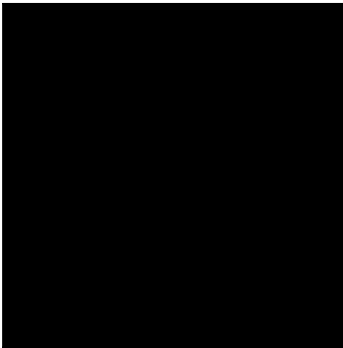
ROOF
KLIP LOCK ROOF SHEETING
POWDER COAT
COLOURBOND MONUMENT OR SIMILAR

6



DRIVEWAY
SELECTED CONCRETE FINISH
- GREY

7



ALUMINIUM BATTEN SCREENS, ROLLER DOORS
SELECTED ALUMINIUM BATTENS
POWDER COAT
BLACK

COLOURS AND MATERIALS

@ A1

ISSUE	DATE	DESCRIPTION
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DRAWN	KW/CV/KF	DRAWING - COLOURS AND MATERIALS	
DATE	OCT '22	DRAWING No.	BP1300/BA11.01
SCALE	@ A3	ISSUE	