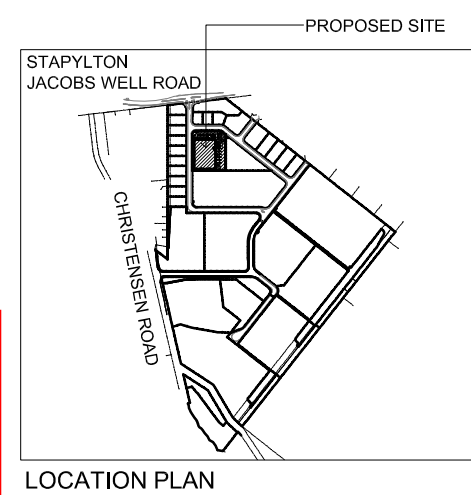
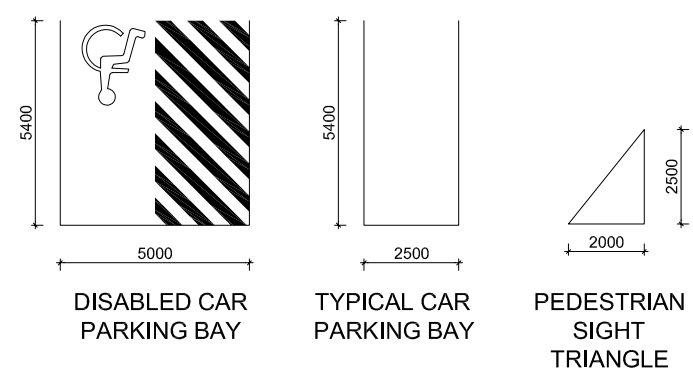


REV	DESCRIPTION	DATE
A	PRELIMINARY	09.06.23
B	ISSUE FOR DA	29.06.23
C	BIN ENCLOSURE AND PARKING UPDATE	13.07.23
D	PEDESTRIAN ACCESS, CAR PARKING LAYOUT, RAMP AND SIGHT TRIANGLES NOTE	18.09.23
E	CAR PARKING AND LOADING BAY UPDATE	25.10.23
F	NOTES UPDATE	20.11.23

DEVELOPMENT SUMMARY	
SITE AREA	20895 m²
WAREHOUSE (Including Warehouse Office and Amenities)	10005 m²
OFFICE	460 m²
TOTAL BUILDING AREA	10465 m²
CAR PARKING PROVIDED	57
AWNING	1046 m²
HEAVY DUTY PAVEMENT	3824 m²
LIGHT DUTY PAVEMENT	2238 m²
SITE EFFICIENCY	50.1
SITE COVER (Total Building Footprint + Awnings / Site Area)	55.1 %



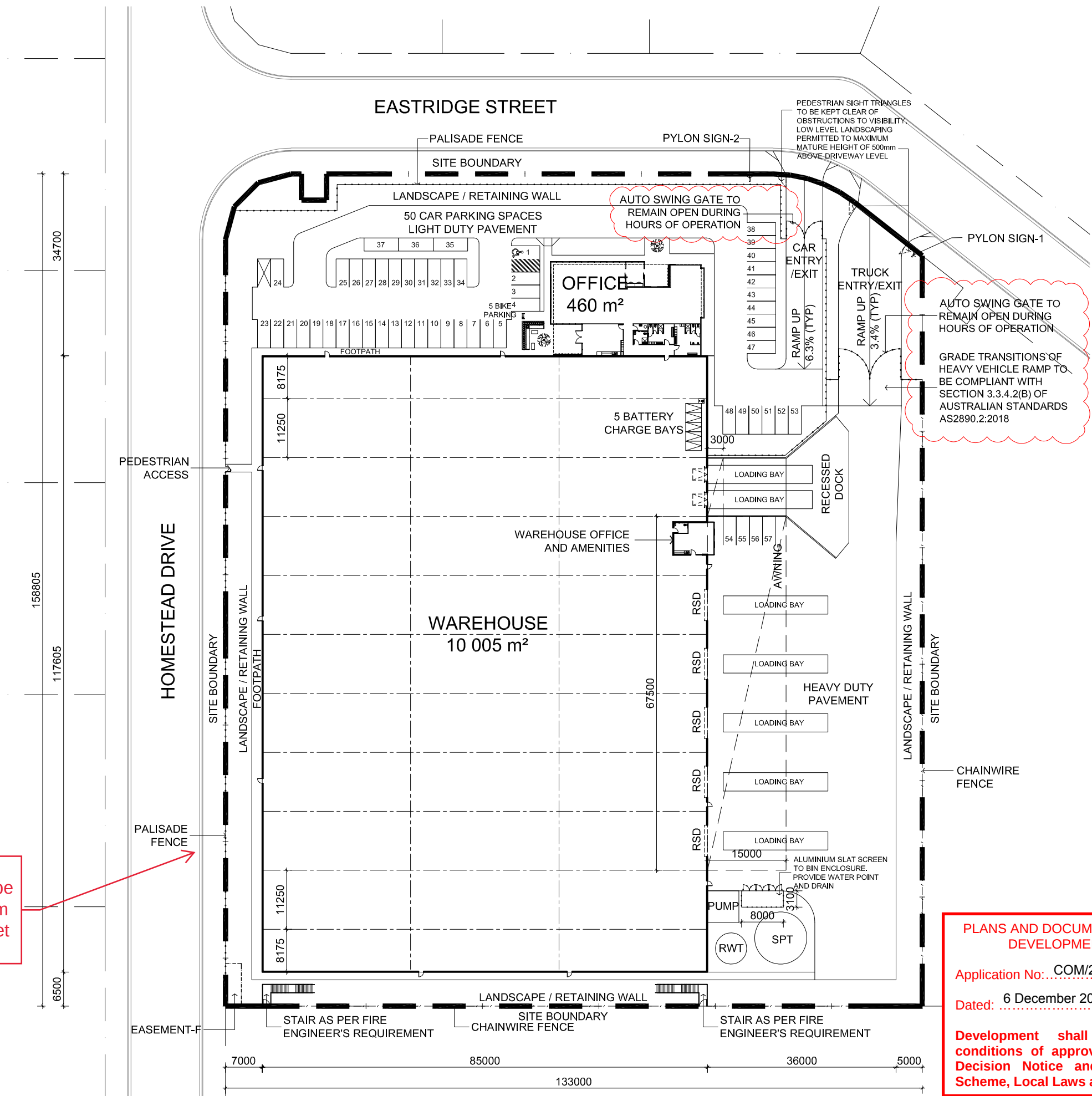
PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2023/162

Dated: 6 December 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

FOR DEVELOPMENT APPLICATION



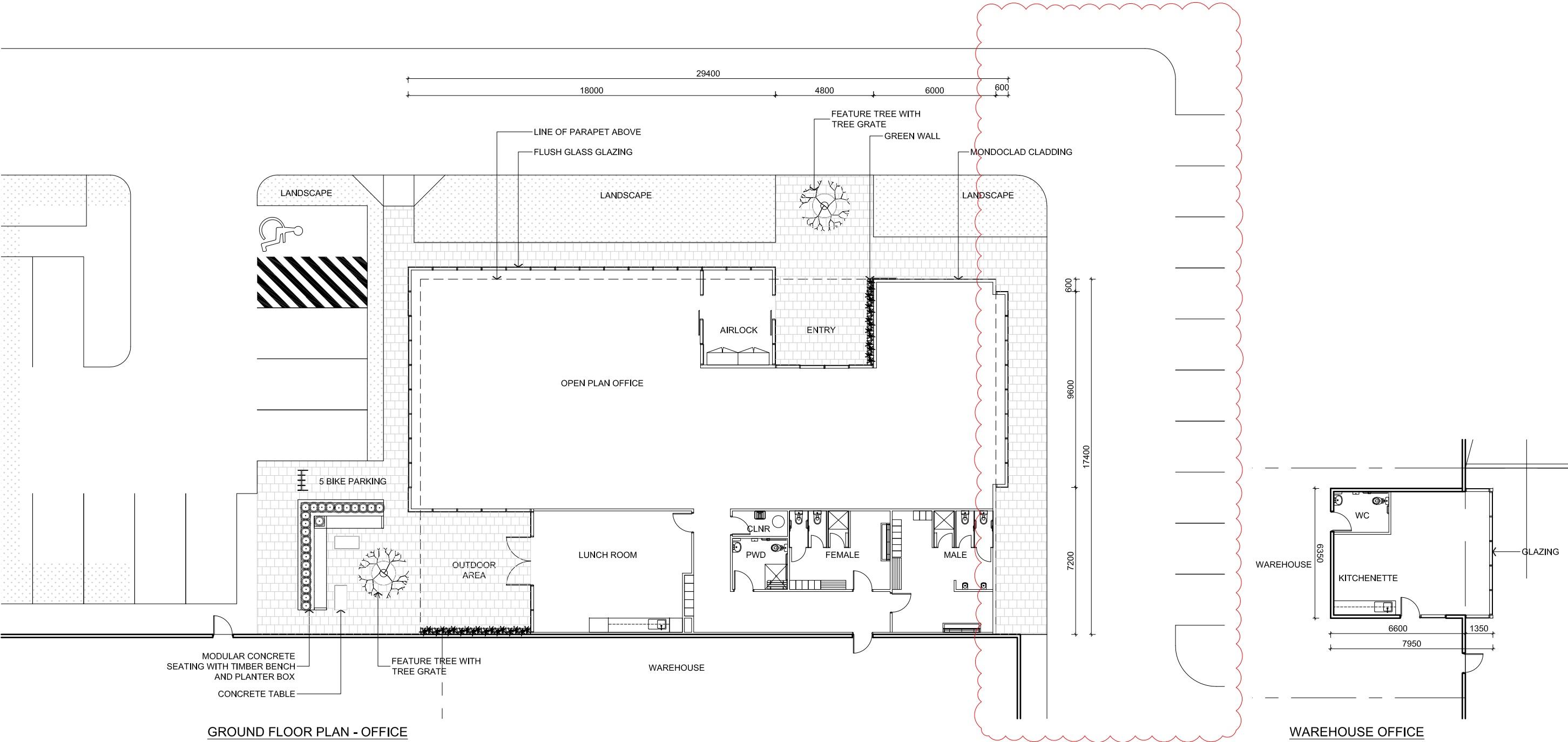
Palisade fence & retaining wall to be set back minimum 3m from the street boundary.

PROPOSED INDUSTRIAL DEVELOPMENT

'VANTAGE YATALA' EASTRIDGE STREET,
STAPYLTON, QUEENSLAND

SITE PLAN

REV	DESCRIPTION	DATE
A	ISSUE FOR DA	09.06.23
A	REISSUE	29.06.23
B	CAR PARKING UPDATE	18.09.23
C	CAR PARKING UPDATE	25.10.23



PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: COM/2023/162

Dated: 6 December 2023

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

FOR DEVELOPMENT APPLICATION



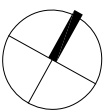
FRASERS PROPERTY INDUSTRIAL
LEVEL 8, 97 BOUNDARY STREET,
WEST END, QLD 4101
P +61 7 3249 7400

© 2023 FRASERS PROPERTY INDUSTRIAL
This document is confidential and is subject to copyright. It
may not be copied, used, reproduced or transmitted in
any way or in any form without the express permission of
Fraser's Property Industrial. Areas written on drawings are
approximate only and are subject to confirmation by
survey.

PROPOSED INDUSTRIAL DEVELOPMENT

'VANTAGE YATALA' EASTRIDGE STREET,
STAPYLTON, QUEENSLAND

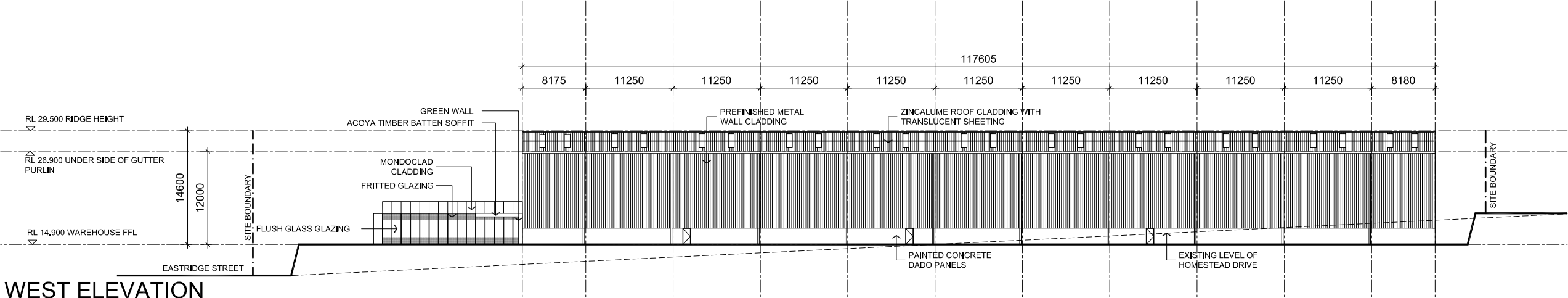
OFFICE PLAN



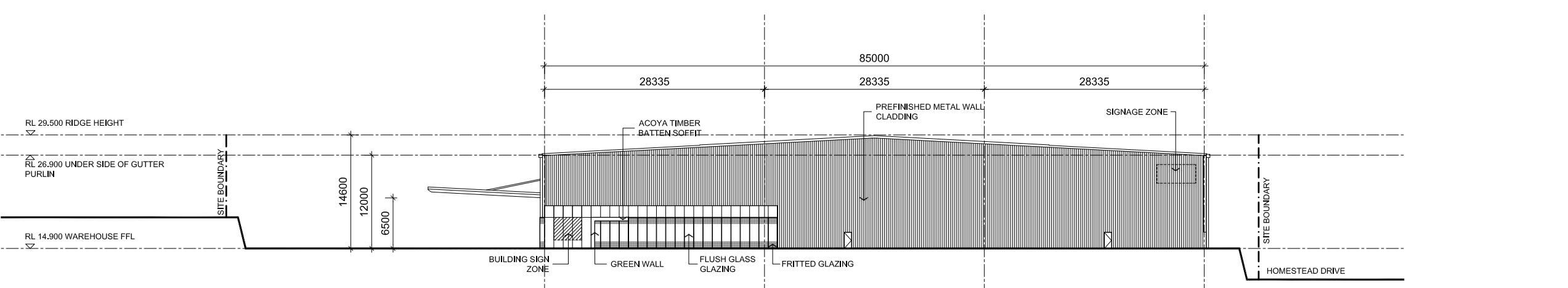
JOB Q22-002A-DA-110 DATE 25.10.23
SCALE 1:100 @ A1 DRN. MS REV. C

REV	DESCRIPTION	DATE
A	ISSUE FOR DA	09.06.23
B	EXISTING GROUND LINE ADDED	13.07.23

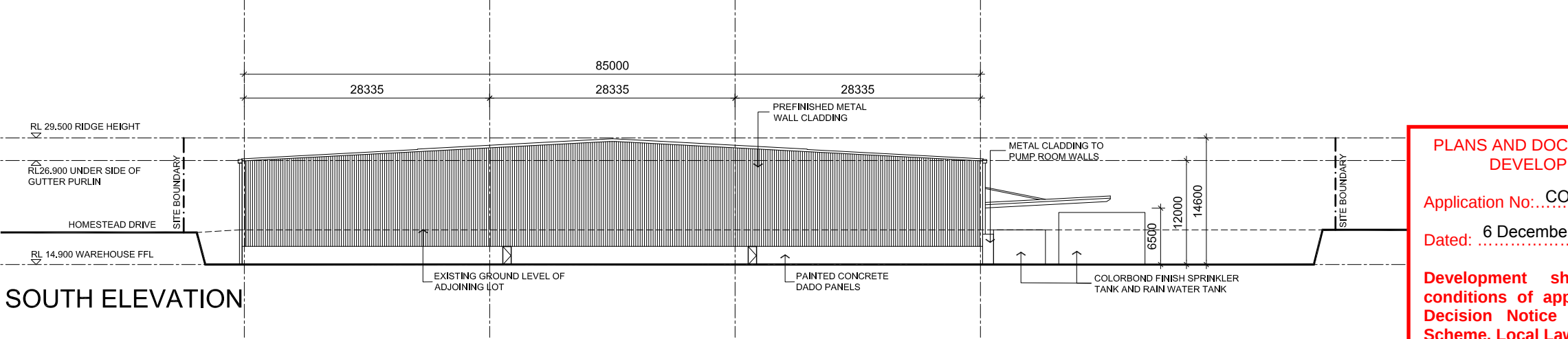
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No.: COM/2023/162

Dated: 6 December 2023

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

ALL LEVELS ARE INDICATIVE AND SHOULD
BE READ IN CONJUNCTION WITH CIVIL
ENGINEER'S DRAWINGS. ALL LEVELS ARE
TO BE +/- 1000mm.

FOR DEVELOPMENT APPLICATION



FRASERS PROPERTY INDUSTRIAL
LEVEL 8, 97 BOUNDARY STREET,
WEST END, QLD 4101
P +61 7 3249 7400

© 2023 FRASERS PROPERTY INDUSTRIAL
This document is confidential and is subject to copyright. It
may not be copied, used, reproduced or transmitted in
any way or in any form without the express permission of
Fraser's Property Industrial. Areas written on drawings are
approximate only and are subject to confirmation by
survey.

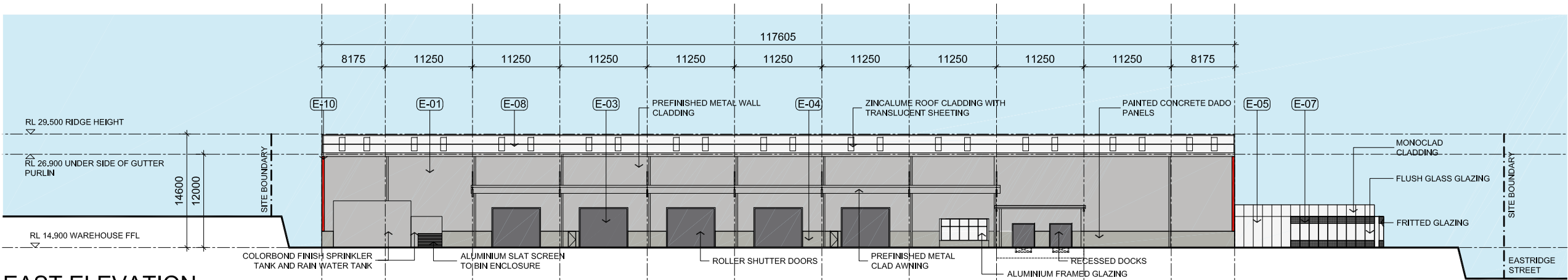
PROPOSED INDUSTRIAL DEVELOPMENT

'VANTAGE YATALA' EASTRIDGE STREET,
STAPYLTON, QUEENSLAND

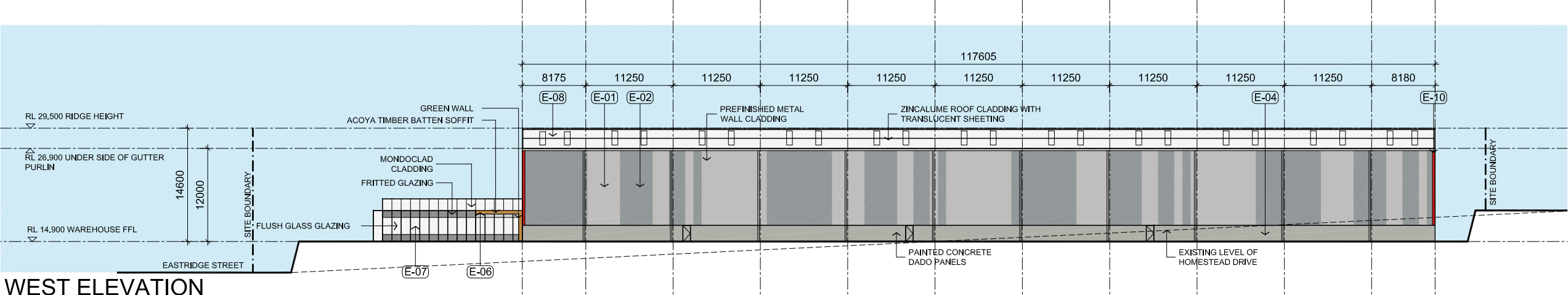
BUILDING ELEVATIONS

JOB DATE
Q22-002A-DA-200 13.07.23

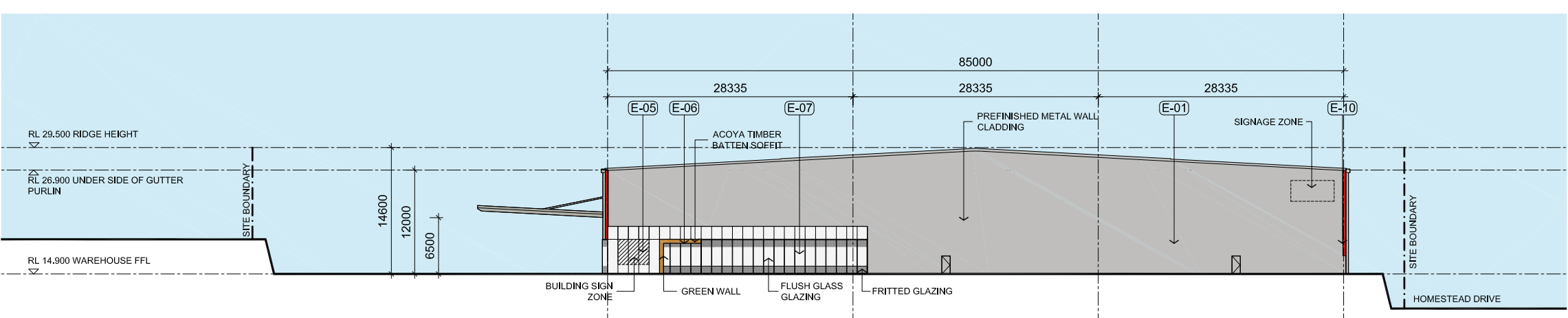
SCALE DRN. REV.
1:300 @ A1 KL B



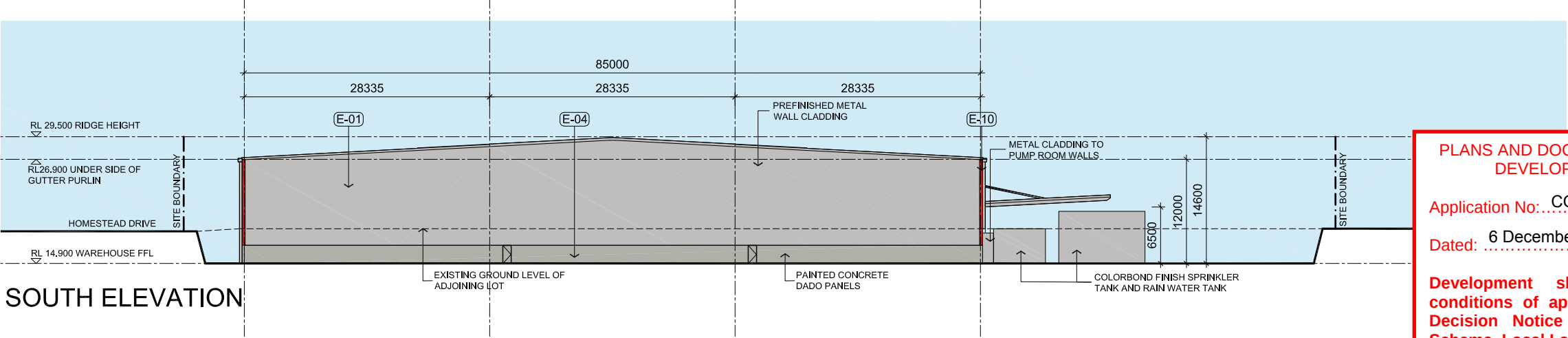
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

REV	DESCRIPTION	DATE
A	ISSUE FOR DA	09.06.23
B	WEST ELEVATION UPDATE	13.07.23

LEGEND

- E-01**
WAREHOUSE WALL, GUTTERS, CAPPING, DOWNPIPES, SPRINKLER AND RAINWATER TANK, AWNING COLUMNS AND BRACING - COLORBOND 'SHALE GREY'
- E-02**
WAREHOUSE WALL AND DOWNPIPES, COLORBOND 'WINDSPRAY'
- E-03**
ROLLER SHUTTER DOORS COLORBOND 'BASALT MATT'
- E-04**
DADO PANELS, WAREHOUSE EXIT DOORS AND DOWNPIPES TO MATCH 'RAL7038'
- E-05**
OFFICE WALL CLADDING MONOCLAD 'SILVER GRAY METALLIC'
- E-06**
ACOYA OR APPROVED EQUIVALENT TIMBER CLADDING
- E-07**
EXTERNAL GLAZING
- E-08**
WAREHOUSE AND OFFICE ROOF ZINCALUME
- E-09**
AC CONDENSOR AREA SCREEN ON OFFICE ROOF TO MATCH COLORBOND 'SHALE GREY'
- E-10**
WAREHOUSE WALL CLADDING MONOCLAD 'RED'

NOTE: COLOUR SWATCHES SHOWN ON THIS DRAWING ARE INDICATIVE ONLY, REFER SAMPLES FROM MANUFACTURERS FOR TRUE COLOUR REFERENCES

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2023/162

Dated: 6 December 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. ALL LEVELS ARE TO BE +/- 1000mm.

FOR DEVELOPMENT APPLICATION

JOB	DATE	
Q22-002A-DA-500	13.07.23	
SCALE	DRN.	REV.
1:300 @ A1	KL	B



FRASERS PROPERTY INDUSTRIAL
LEVEL 8, 97 BOUNDARY STREET,
WEST END, QLD 4101
P +61 7 3249 7400

© 2023 FRASERS PROPERTY INDUSTRIAL
This document is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of Fraser's Property Industrial. Areas written on drawings are approximate only and are subject to confirmation by survey.

PROPOSED INDUSTRIAL DEVELOPMENT
'VANTAGE YATALA' EASTRIDGE STREET,
STAPYLTON, QUEENSLAND

ELEVATIONS
FINISHES