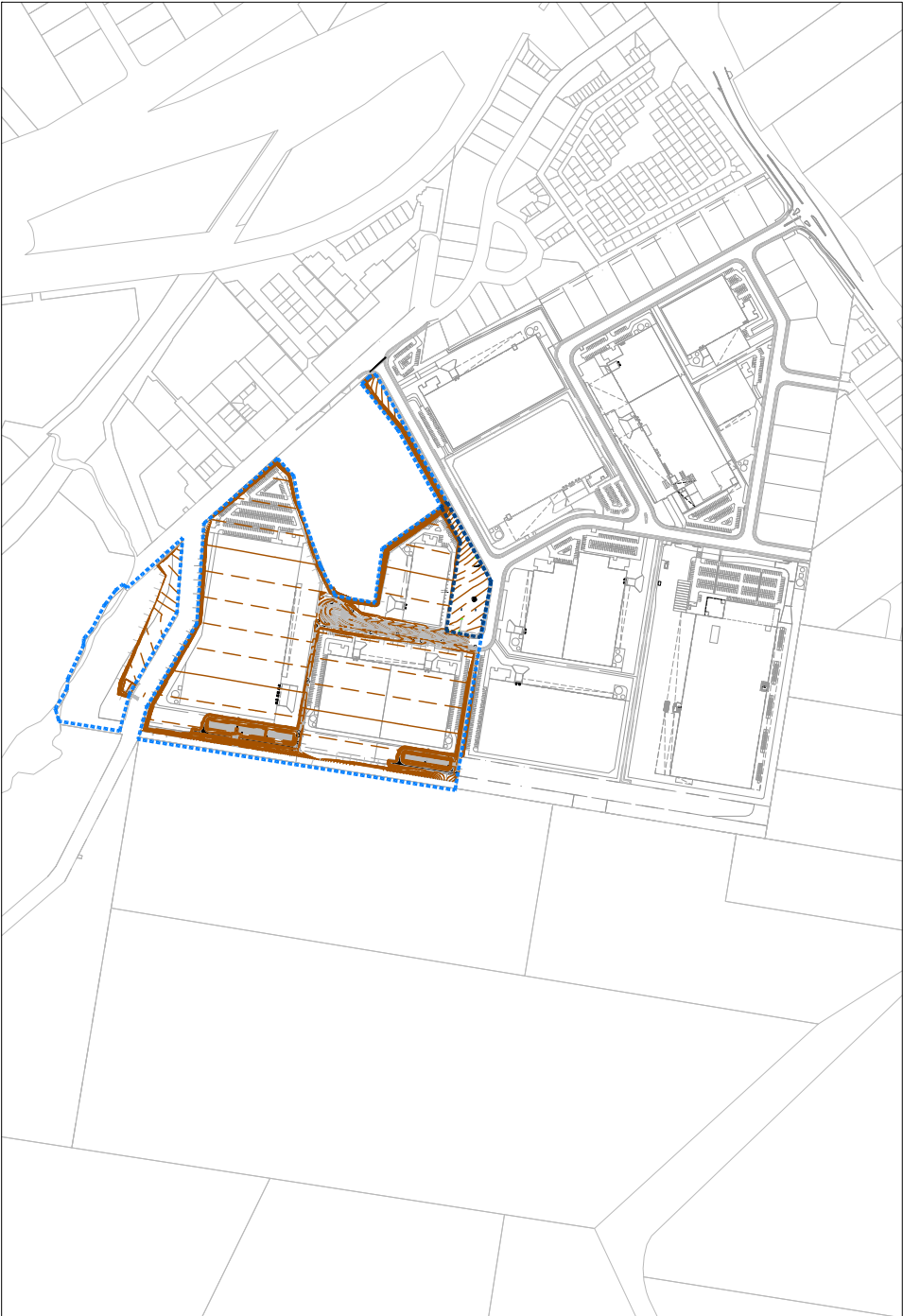


VANTAGE YATALA

STAGE 3 - COMMON PROPERTY HEALTH PRECINCT 60 STAPYLTON JACOBS WELL ROAD, 82 CHRISTENSEN ROAD AND 31 YELLOWWOOD ROAD, STAPYLTON



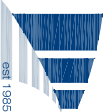
DRAWING INDEX

5941-L-OW-3-HP-CP01	Locality Plan
5941-L-OW-3-HP-CP02	Landscape Finishes and General Arrangement Plan
5941-L-OW-3-HP-S01	Specifications
5941-L-OW-3-HP-S02	Specifications and Planting Schedule
5941-L-OW-3-HP-STP01	Surface Treatment Plan
5941-L-OW-3-HP-STP02	Surface Treatment Plan
5941-L-OW-3-HP-SEP01	Services Plan (Irrigation, Electrical and Water Connections)
5941-L-OW-3-HP-PP01	Services Plan (Irrigation, Electrical and Water Connections)
5941-L-OW-3-HP-PP02	Planting Plan

LOCALITY PLAN

PRINCIPAL

FRASERS PROPERTY (AUSTRALIA) PTY LTD
LEVEL 3, 1C HOMEBUSH BAY DRIVE, RHODES, NSW 2138



**g a s s m a n
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FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

Real Property Description:
Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD

ISSUED FOR TENDER

*THIS DRAWING IS INTENDED TO
BE PRINTED IN COLOUR*

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DRAWING TITLE Cover Page

C	06.07.23	For Approval	JLS	100
B	06.07.23	For Review	JLS	100
A	28.06.23	For Review	JLS	100
Issue	Date	Description	By	CHK

Scale at A3:

Designed: JLS

Drafted: JLS

Checked: MG

RPEQ: 16939

Signed:

Date: 18.12.23

Drawing No: 5941-3-L-HP-OPW-CP01 Rev. No: C



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Client:



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Oakh Creek & Logan 17th Business Street, Yatala QLD | PO Box 392, Berridge 4207

Client:



FRASERS PROPERTY
(AUSTRALIA) PTY. LTD.

Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

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DRAWING TITLE
Cover Page

C	05/07/23	For Approval	JLS	WKS
B	05/07/23	For Review	JLS	WKS
A	28/06/23	For Review	JLS	WKS
Issue	05/07/23	Description	DSN	CHK

Scale at A3:

Designed: JLS

Drafted: JLS

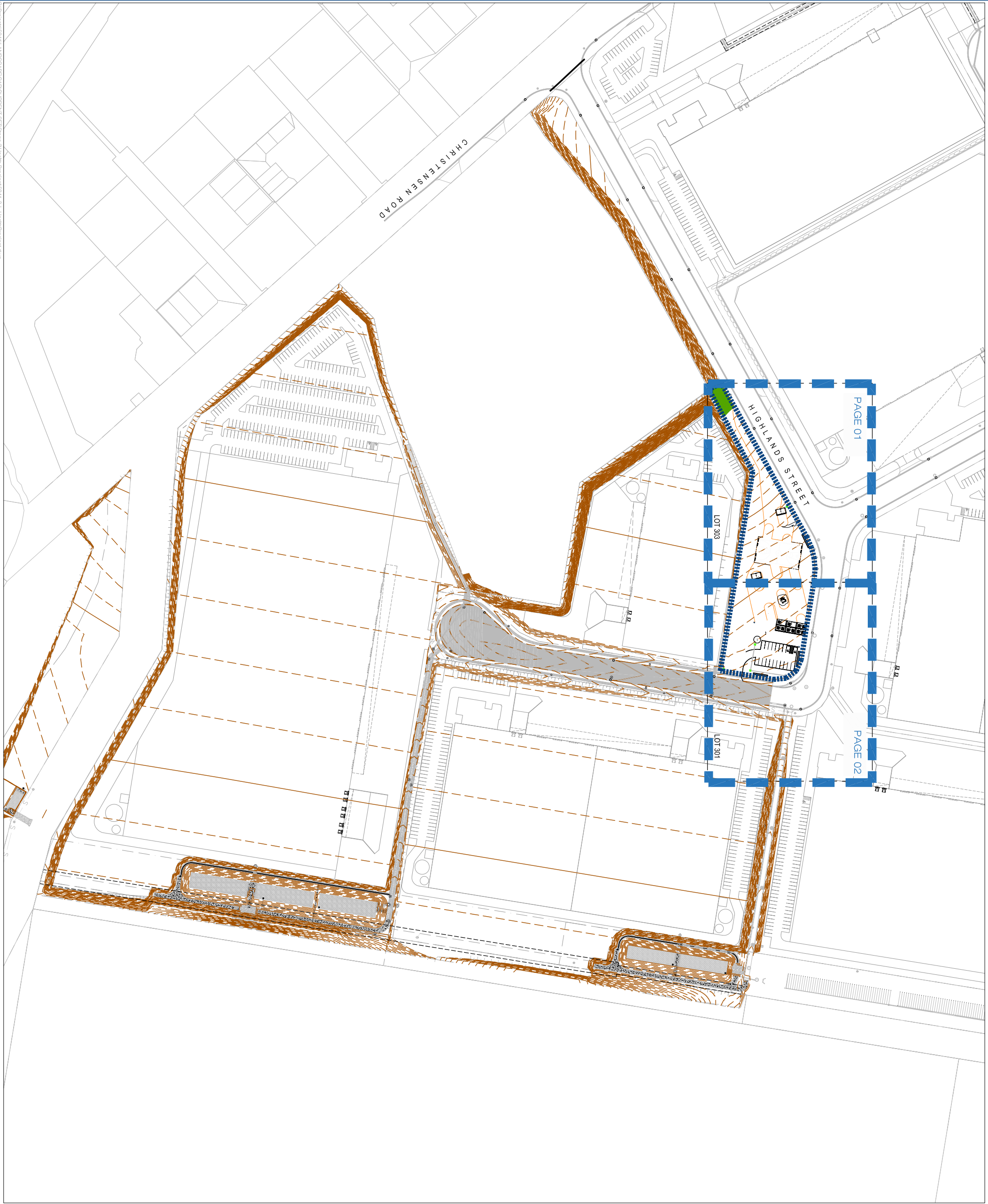
Checked: MG

RPEO: 16939

Signed:

Date: 18.12.23

Drawing No: 5941-3-L-HP-OPW- CP02 Rev. No: C



LANDSCAPE SPECIFICATIONS

GENERAL

The Operational Works Plans are to be read in conjunction with Survey, Civil Engineering and Hydraulic and Electrical Reticulation Drawings and specifications for this project.

All works are to be in accordance with Gold Coast City Council- Planning Scheme - Landscape Work Code and approval conditions. Any discrepancy between these plans and other relevant drawings and specifications shall be brought to the notice of the Development Managers Representative before commencement or continuation of works.

LEVELS & EXCAVATION

Existing and finished surface levels shown within this plan have been derived from survey and civil engineering plans authored by Gassman Development Perspectives. Refer to these plans for further information, where required. Any discrepancy found between these plans and the survey and civil drawing series shall be brought to the attention of the Development Managers Representative before the commencement or continuation of works.

Excavation / blasting to free pits may be required, assess and prepare prior to engagement of landscape contractor.

CLEARING AND SITE PREPARATION

Clear site of all building materials, litter, fencing, weeds.

Apply pre-emergent spray to weeds in areas to areas nominated to become turf / gardens.

TEMPORARY FENCING

Install 1.8m high chain wire temporary fencing to site boundary with lockable access gate. Fencing to remain until all furniture is installed and boundary fencing bollards are in place.

STORMWATER PITS, PIPE AND CONNECTION

Schematic design reflected within this plan series only.

Hydraulic and Civil contractor to design and construct components of the Health Precinct Park inline with this plan series.

WATER CONNECTIONS

Schematic design reflected within this plan series only.

Hydraulic and Civil contractor to design and construct components of the Health Precinct Park inline with this plan series.

Water connections to include supply connection points for irrigation controllers (back up feed), hose cocks, water bubblers, and amenities block (toilets and wash basin). Indicative locations shown only.

AMENITIES BLOCK (1)

Supply and install Goss Park AMT102-S (1 x PMD, 2 x AMB & 1 x SERVICE ROOM).

Standard Screens & Door Looks on security timer.

Internal Fixtures Inc.

Size: 5.20m x 6.015m

Colour and feature screening to be confirmed.

HOSE COCK (2)

Supply and install HDV post 1.2m in height with vandal proof hose cock.

Drainage sump and water connection to be provided. Final locations and sizing to be advised by Hydraulics / Plumbing Consultant.

WATER BUBBLERS (2)

Supply and install Grllex Reviva Drinking Fountain with dog bowl and refill tap

Body Finish - Apo Grey

Bowl Finish - Black Salm

WATER TANK AND PUMP (1)

Supply and install All Trank galvanised commercial grade tank (or similar approved).

Product code: ATRT.

Sizing: 5.125mids 3.510m H with 60,000 litre capacity.

Ladder, lockable anti climb and entry platform to be provided

Top up float and valve to be provided for irigation purposes.

Pump to be provided for irigation purposes - consult irigation consultant for requirements.

Final locations and sizing to be advised by Civil and Hydraulics Engineer.

SEWERAGE

Schematic design reflected within this plan series only.

Hydraulic and Civil contractor to design and construct components of the Health Precinct Park inline with this plan series. 3 Toilets will be provided within the amenities block as well as a wash basin.

ELECTRICAL CONNECTIONS

Schematic design reflected within this plan series only.

Electrical contractor to design and construct electrical components of the

Health Precinct Park inline with this plan series. Electrical to include GPO and power connections for irigation (2 x WP GPOs), water tank pump connection point, connection for security cameras, boom gate, and BBQs).

LIGHT POSTS (16)

Supply and install Izium evo LED lighting 4-15m in height, with nominal voltage os 220-240V, colour temperature WW30. Post to be aluminium with polyester powder coating. Final locations, sizing and layout design to be advised by Electrical Consultant.

GARDEN / SIGNAGE UP LIGHTING (12)

Supply and install VALINTA Curve Micro Up light : 100x162x160mm, with nominal voltage os 220-240V, in warm white 827 (to be situated on concrete footing. Final locations and sizing to be advised by Electrical Consultant.

GPO (2)

Supply and install weatherproof GPO to amenities block for irrigation connection.

SECURITY CAMERAS (3)

Security cameras and security network connection lines (D and C by others) to be installed in positions similar to this plan series.

IRRIGATION

Irrigation (D and C by others) to be incorporated in areas indicated on this plan series. Conduit installed by others, in positions reflected on this plan series (unless otherwise specified). Irrigation to use potable water source from water tank provided on site.

19mm dripline irrigation system, to garden areas (as highlighted on this plan series), at 350mm spacing. Drip line system to have be a back to base irrigation system equivalent to Rainbird ESP Decoder controller with rain sensors, RPZ, and take off points nominated in the service / storage room of the amenities block.

Turf areas are to be irrigated via rotator sprinklers with head to head coverage as indicated in this plan series. Rotator sprinklers to have back to base irrigation system equivalent to Rainbird ESP decoder with rain sensors.

Hydraulic point to be provided by others (water tank pump and top up system): 1LPS @ 450KPa (system flow + pressure requirement) (RPZ 25mm).

Electrical take off to be provided by others: 2 x 10AMP weather proof GPO required (as listed above).

BITUMEN AND VEHICLE CROSS OVER

Proposed bitumen car parking area to be coordinated and designed by civil project engineer and traffic consultant and constructed via civil construction team.

KERB AND CHANNEL TO CAR PARKING AREA

Proposed kerb and channel 150mm in height, in positions as indicated within this plan series to be coordinated and designed by civil project engineer and traffic consultant and constructed via civil construction team.

LINE MARKING

Line marking to car parking area to be in accordance with relevant Council and Australia Standards, as directed and designed by traffic consultant.

WHEEL STOP (x2)

Wheel stop to be in accordance with relevant Council and Australia Standards, as directed and designed by traffic consultant.

CONCRETE PAVEMENT TYPE 1

Supply and install Hanson 'Blue Healer Grey' or similar approved concrete finish to a minimum depth of 150mm in areas indicated within this plan series. Blue healer concrete to have medium sandblasting applied (with stencils in place over logo design of concrete pavements type 2 and 3 below)

CONCRETE PAVEMENT TYPE 2

Supply and install Hanson 'Blue Healer Grey' or similar approved concrete finish to a minimum depth of 150mm in areas indicated within this plan series. Blue healer concrete to have light sandblasting applied (with stencil in place over logo design of concrete pavements type 3 below)

CONCRETE PAVEMENT TYPE 3

Supply and install Hanson 'Blue Healer Grey' or similar approved concrete finish to a minimum depth of 150mm in areas indicated within this plan series. Blue healer concrete to have plan finish.

CONCRETE EDGE

Supply and install 150mm concrete edge in charcoal in areas indicated within this plan series. Concrete edge to be level to neighboring surface treatments.

WET POUR RUBBER TYPE 1

Supply and install 19mm Rosehill TPV Wet pour Rubber in RH01 Standard Red in areas indicated within this plan series.

WET POUR RUBBER TYPE 2

Supply and install 19mm Rosehill TPV Wet pour Rubber in RH02 Bright Red in standard lettering patterns as indicated in this plan series.

RUBBER UNDERLAY

Supply and install 110mm thick rubber underlay for Critical Fall Zones for gym equipment as indicated by the manufactures instructions and shown in this plan series.

POLYMERIC RUBBER CRUMB BASKETBALL COURT

Supply and install polymeric rubber crumb (basketball court) in standard Red (RH01) with standard white linework.

BASKETBALL POST AND RING (2)

Supply and install basketball ring with backboard to basket ball court as indicated within this plan series.

GYM EQUIPMENT

Supply and install gym equipment to rubber wet pour zones as indicated within this plan series. Gym equipment to be installed as per manufactures instructions with correct rubber underlay in fall zones (required for that particular gym equipment).

All gym equipment frame finishes to be in Apo Grey, all feature bars to be in Flame Red or Charcoal (Colour TBC)

Refer to numbering type as listed in plan series.

TYPE 1 Colmax Steel Workout WO-22101 Push Up Stand

TYPE 2 Colmax Steel Workout WO 2901B Righting

TYPE 3 TGO504 Parallel Bars by Playrope

TYPE 4 Colmax Steel Workout WO-2402 Module

TYPE 5 TGO502 Double Pull Up Bar by Playrope

TYPE 6 WO 2108B Balancing Beam (individual beam)

TYPE 7 CRS Creative Klix_FX_020

TYPE 8 TGO505 Overhead Ladder by Playrope

SHELTER TYPE 1

Supply and install Strabe Shelter Single Leg Exposed Beam Shelter 20m x 8m in area indicated within this plan series.

Roof Finish - Monument

Frame Finish - Apo Grey

Leg Inset Finish - Flame Red or Charcoal (Colour TBC)

Down pipe required for roof system. Final design to be advised by Strabe

Mounting Options - Inground Mount

SHELTER TYPE 2

Supply and install Strabe Shelter Single Leg Exposed Beam Shelter in positions shown within this plan series.

Roof Finish - Monument

Frame Finish - Apo Grey

Leg Inset Finish - Flame Red or Charcoal (Colour TBC)

Available Sizes - 6 x 4m

Mounting Options - Inground Mount

DOUBLE BIN (2)

Supply and install Grllex Streestyle Waste Bin Enclosure (General) in areas indicated within this plan series.

Body Finish - Apo Grey

Frame Finish - Black Salm

Lid Finish - Recycle Lid Basalt

Grllex Streestyle Waste Bin Enclosure (Recycling)

Body Finish - Apo Grey

Frame Finish - Black Salm

Lid Finish - Recycle Lid / Lemon Yellow

BIKE RACKS (5)

Supply and install Grllex City Cycle Streestyle bike racks, with double-sided access, and stainless steel anti-theft fixing as indicated within this plan series.

Body Finish - Apo Grey

PICNIC SETTING (10)

Supply and install Grllex Streestyle table setting (2 benches and 1 table) in areas indicated within this plan series.

Surface Mount Fixings

Slats Finish - Apo Grey

Frame Finish - Flame Red or Charcoal (colour tbc)

End Caps Finish - Apo Grey or Flame Red (colour tbc)

Available Options - Wheelchair Access

Available Sizes - Standard Size (2m)

BENCH SETTING (8)

Supply and install Grllex Streestyle bench setting in locations indicated within this plan series.

Surface Mount Fixing

Slats Finish - Apo Grey

Frame Finish - Flame Red or Charcoal (colour tbc)

End Caps Finish - Apo Grey or Flame Red (colour tbc)

Available Sizes - Standard Size (2m)

ELECTRIC BBQ (2)

Supply and install Grllex Frontier BBQ Double 1900 x 950mm in location set out within this plan series.

Body Finish - Apo Grey

SANDSTONE BLOCK SEATING

Supply and install A Grade 5 Sandstone block with sawn faces 500mm(H) x 500mm(W) x 1m (L) on roadbase footing and rubber wet pour surrounds in locations indicated within this plan series. Sandstone block semi circle to have even grade / finish.

GROWING MEDIA (Deep Planting Beds)

The Landscape Contractor is to provide sufficient surface and subsurface drainage to street tree garden beds to ensure positively drain areas free from ponding and water logging of soils.

Cultivation of subgrade is to a minimum depth of 200mm prior to planting topsoil turf for at 150mm, and to a minimum depth of 300mm for planting areas, and 500mm depth to batters that have grade of 1:3 or less.

Cultivate manually within 300mm of paths or structures and within the drip line of trees to a minimum depth of 150mm.

Remove stones exceeding 25mm, clots of earth exceeding 50mm, and all weed material. Grub out stumps and roots over 50mm in diameter to a minimum depth of 300mm below sub-grade. Tree and shrub stumps less than 75mm in diameter must be cut off at ground level and treated to prevent re-growth. Trim the surface to design levels after cultivation.

Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subgrade. gypsum. incorporate at the rate in accordance with the manufactures guidelines.

Fill required for leveling must be from previous earthworks on site or imported from a certified supplier as required. all fill material to be used must be free from:

- Logs, stumps and other vegetative material;
- Materials susceptible to spontaneous combustion;
- Clay of liquid limit exceeding 90 and/or plasticity index exceeding 65;
- Refuse and rubbish;
- Concrete and masonry rubble, and
- Toxic materials and substances.

Supply and install imported topsoil complying with as 4419 - 1996. Spread topsoil on prepared sub-grade and grade evenly, making allowances for required finished levels and contours (allow for light compaction).

The raise of modified topsoil must be free from stones, vegetative matter, stumps, clods greater than 75mm and toxic materials. Modified site soil must have good drainage and be high in organic matter. All modified soils to comply with AS4419. Refer to detail drawing no DD01 or 4002 for further detail.

MULCH (Deep Planting Areas)

Supply and install organic mulch (Hoop Fines or similar approved) to a minimum depth 100mm on top of growing media. Place mulch to the required depth, clear of plant stems. Spread mulch so that after settling it is smooth and evenly graded between design surface levels sloped towards the base of plant stems.

All mulch to be free from stones and soils.

Mulch must comply with AS1289, AS2223, AS 4419 and AS4454.

JUTE NET

All garden areas that are over 1:3 grade (batters) are to have jute net laid and pinned for stabilisation.

FERTILIZER

Use Aqrlform (or similar approved) 100g fertilizer (N:P-K : 20:4:3:4) 1 tablet at a rate of 1 per 140mm pot or smaller pot, 2 per 200mm pot, 3 per 300mm pot or larger. Place fertilizer at plant rootball as indicated within detail drawings found within this set of plans.

PLANT MATERIAL

All plant material is to be inspected onsite prior to planting and shall be rejected if it is not found to meet the following criteria.

- All plant material is to be visibly free of disease and damage, is to be of true genus, species and cultivars specified and is to be the specified container size and appropriate height or spread.
- All plant material is to have a well developed root system, without girdling and spiralling, nor shall the plant be root bound.

TURF

Supply and install 'a' grade winter green couch, as indicated on landscape plans. Roll on completion and top dress as necessary to provide an even free draining surface. Water immediately after installation until the topsoil is moistened to its full depth.

General: Cultivation and topsoil by others (civil). Landscape to provide final trim to ensure no peaks or troughs, and fall directed towards stormwater / drainage.

Client:



Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

Real Property Description:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
Level Datum: AHD

ISSUED FOR TENDER
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DRAWING TITLE
Specification Notes & Planting Schedule

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LANDSCAPE SPECIFICATIONS

TREE PLANTING

Supply and install street trees in accordance with Gold Coast City Council street tree placement guidelines. Trees are to be installed in locations as shown on this plan and as per the planting schedule located on this page. All trees to be placed within 48hours of delivery. Plant as per typical planting detail located on SP02.

TREE STAKING

Supply and install unpainted 180mm, 38mm x 38mm straight hardwood embedded 600mm into the soil. Stake all trees supplied in 25L or greater. Position stakes equidistant from the plant center and in line with the prevailing wind directions. Secure the tree with suitable lengths of non abrasive UV resistant webbing looped in a figure 8 pattern around the trunk. Secure the webbing to the stake to prevent slipping. Refer to typical planting detail located on SP02.

SHRUBS AND GROUND COVERS

Supply and place shrub and ground cover species according to the plant schedule and location on this set of drawings. Plant as per typical planting as per detail drawing on SP02.

FENCING AND GATES

FENCE TYPE 1 :

Black PVC Coated Chain Link Fencing. Chain Wire to be finished with knuckled wire ends. 3m in height.

FENCE TYPE 2 :

1800mm high chain wire fence to Gold Coast City Council standard drawing no. 13-05-014. Install three rows of security / barbed wire at 100mm intervals on top to increase height to 2100mm

BOLLARD TYPE 1 (173) :

Supply and install 200mm x 100mm HDW bushland bollard in area nominated within this plan series, and as per Gold Coast City council standard drawing no. 05-716.

BOLLARD TYPE 2 (2):

Supply and install Giffex Citistyle bollard (removable with lock) in areas indicated within this plan series. Frame finish in Apo Grey

ELECTRIC BOOM GATE (1):

Supply and install heavy duty stand alone boom gate and barrier gate operator with loop detector, with arm length of 4.7 (in m), in location depicted within this plan series. Final location to be advised by traffic consultant.

SIGNAGE / FEATURE WALL:

Supply and install blockwork wall with stack stone cladding and signage (FPI logo) to match Vantage Industrial Yatala Estate Entry points. 3 walls to be constructed each 10m length, 1.2m high.

ESTABLISHMENT / MAINTENANCE PERIOD

The planting establishment period commences at the date of practical completion as set out by the Gold Coast City Council in a written certification to the Superintendent and Landscape Subcontractor. Planting Establishment on all landscape works is for a 12 month period at date of practical completion and shall incorporate as listed below.

Maintenance shall incorporate the items outlined below, and continue until council acceptance as 'off maintenance'.

General

Maintain all planted areas to ensure the establishment and continued growth of all shrub/ground cover material and palms. Areas shall be maintained in such a way as to ensure groundcover's and shrubs is encouraged to form a mass planting effect.

Weed Control

All planting areas are to be kept weed free through the use of chemical, mechanical and hand weeding as appropriate to the type of planting, its prominence and species involved.

Translocated herbicides should be used in preference to contact products, and where applied in ornamental areas re-visits to remove dead growth will be required.

Pruning

Inspect planting areas regularly and prune out dead or diseased growth as and when discovered.

Groundcovers

Inspect areas of ground cover planting regularly. In areas of compacted soil surface lightly fork soil to improve establishment. Cut back plants significantly overhanging podium in a manner appropriate for the species and to the approval of the Superintendent.

Dusting and Spraying

Allow for regular inspections and spraying and dusting as may be necessary to control pests and diseases on plant stock. Report any occurrences to the Superintendent.

Replacements

Monitor plant growth and allow for the removal from site of any plants which fail to thrive, and the leveling up of the planting area. Advise the Superintendent of number of plant failures after each maintenance visit.

Monitor planting areas and report any incidents of malicious damage or theft.

Mulch

Inspect mulch depths to all planting areas regularly and allow for tidying and topping up levels to specified depths as required.

Log Book

Keep record of dates of visits, maintenance performed and photo evidence of results achieved for the area. Log book to be issued to the Development Managers Representative, at their request.

PLANTING SCHEDULE				
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	QTY
TREES				
DELreg	Delonix regia	royal poinciana	400t	8
WATlio	Watehousea floribunda	weeping lilly pillly	200t	7
CUPana	Cupaniopsis anacardioides	tuckeroo	200t	19
ELalum	Elaeagnus eumundi	quandong	200t	3
TRIBA	Tristanopsis laurina 'tuckeroo'	water gum	200t	8
SHRUBS				
SZTt	Syzygium australe 'tiny trev'	tiny trev lilly pillly	300mm	818
WESfru	Wetringea frutcosa	coastal rosemary	300mm	362
SZSzu	Syzygium australe	hinterland gold	45t	223
ACASm	Acmena smithii	lilly pillly	200mm	252
AUSDul	Austromyrtus dulcis	midgerryberry copper tops	200mm	252
BATvir	Baekea virgata	twiggy heath myrtle dwarf	200mm	252
BANrob	Banksia robur	swamp banksia	200mm	252
WESfru	Wetringea frutcosa	coastal rosemary	200mm	252
MECT	Melaleuca cneif tops	honey myrtle	200mm	252
GROUNDCOVERS				
MYOPar	Myoporum parvifolium	Creeping boobialla	140mm	848
LIBeve	Litorea evergreen giant	evergreen giant	140mm	1520
BANspi	Banksia spinulosa	birthday candles	140mm	608
LOAm	Lomandra 'lime tough'	lime tough mat rush	140mm	248
CAUJ	Callistemon 'little john'	dwarf bottlebrush	140mm	248
CASjia	Casuarina placida 'cousin it'	cousin it	tubestock	1158
HYMlit	Hymenocallis litoreaalis	spider lily	tubestock	1158
TRJas	Trachelospermum jasminoides	star jasmine	tubestock	1158
GAZtre	Gazania rigens	treasure flower	tubestock	1158

LEGEND



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Client:



Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

Real Property Description:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST COUNCIL
Level Datum: AHD

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DRAWING TITLE
Specifications & Planting Schedule

	FOR APPROVAL	JLS	TMS
C	05/07/23		
B	05/07/23	For Review	JLS TMS
A	28/06/23	JLS	TMS
Issue	Date	Description	Drawn

Scale at A3:

Designed: JLS

Drafted: JLS

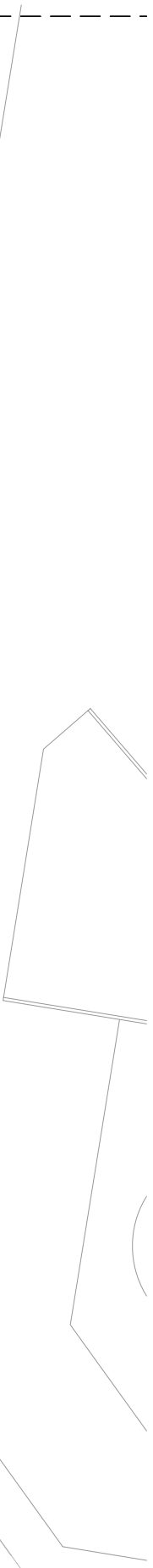
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RPEC: 16939

Signed: 

Date: 18.12.23

Drawing No: 5941-3-L-HP-OPW-SP02
Rev. No: C



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Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

Real Property Description:

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Plan: SP285994
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Level Datum: AHD

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DRAWING TITLE
Surface Treatment

C	05.07.23	For Approval	JLS	NKS
B	05.07.23	For Tender	JLS	NKS
A	28.06.23	For Tender	JLS	NKS
Initials	Date	Description	Drawn	Check

Scale at A3: 1:400

Designed: JLS

Drafted: JLS

Checked: MG

RPEQ: 16939

Signed:

Date: 18.12.23

Drawing No: 5941-3-L-HP-OPW-ST02 Rev. No: C

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Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

Real Property Description:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
COUNCIL
Level Datum: AHD

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DRAWING TITLE
Services Plan
(Irrigation, Electrical, Water Connections)

Rev	Date	Description	Drawn	Checked	For Approval	For Review	For Review	For Review	For Review
C	05.07.23		JLS	JLS	JLS	JLS	JLS	JLS	JLS
B	03.07.23		JLS	JLS	JLS	JLS	JLS	JLS	JLS
A	28.03.23		JLS	JLS	JLS	JLS	JLS	JLS	JLS
Issue	Date	Description	Drawn	Checked	For Approval	For Review	For Review	For Review	For Review

Scale at A3: 1:400

Designed: JLS

Drafted: JLS

Checked: MG

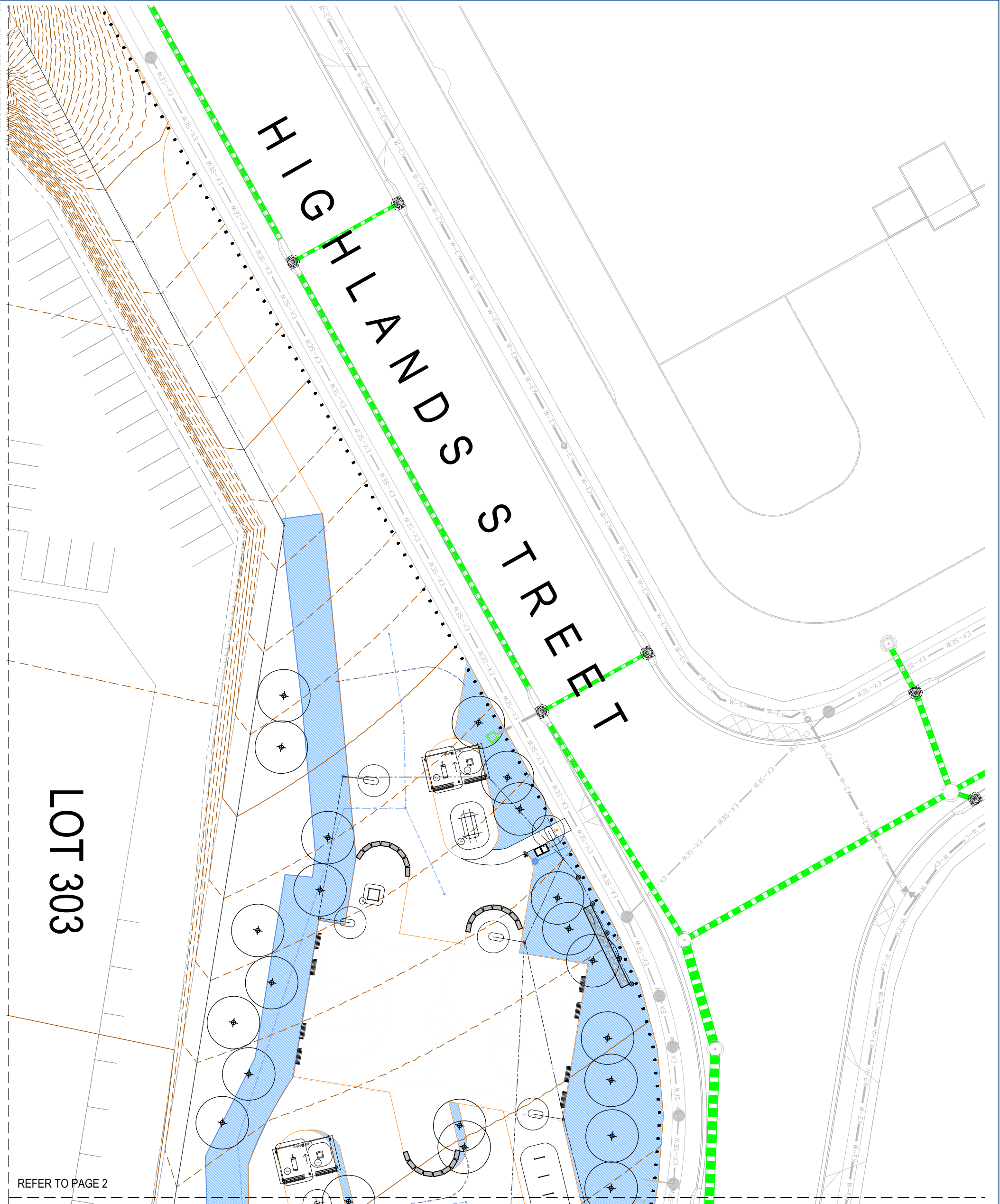
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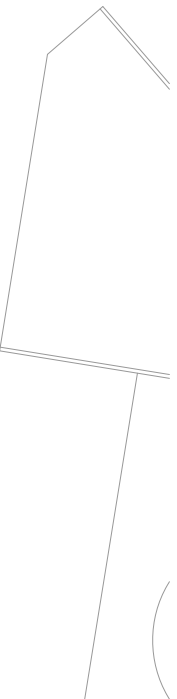
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Date: 18.12.23

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Rev. No: C

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Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
60 STAPYLTON JACOBS WELL
ROAD, STAPYLTON QLD 4207

Real Property Description:

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DRAWING TITLE
Services Plan
(Irrigation, Electrical & Water Connections)

Rev	Date	By	Description	Check
C	05.07.23	JLS	For Approval	JLS
B	05.07.23	JLS	For Review	JLS
A	28.06.23	JLS	For Review	JLS
Initial	Drawn	Description	Drawn	Check

Scale at A3: 1:400

Designed: JLS

Drafted: JLS

Checked: MG

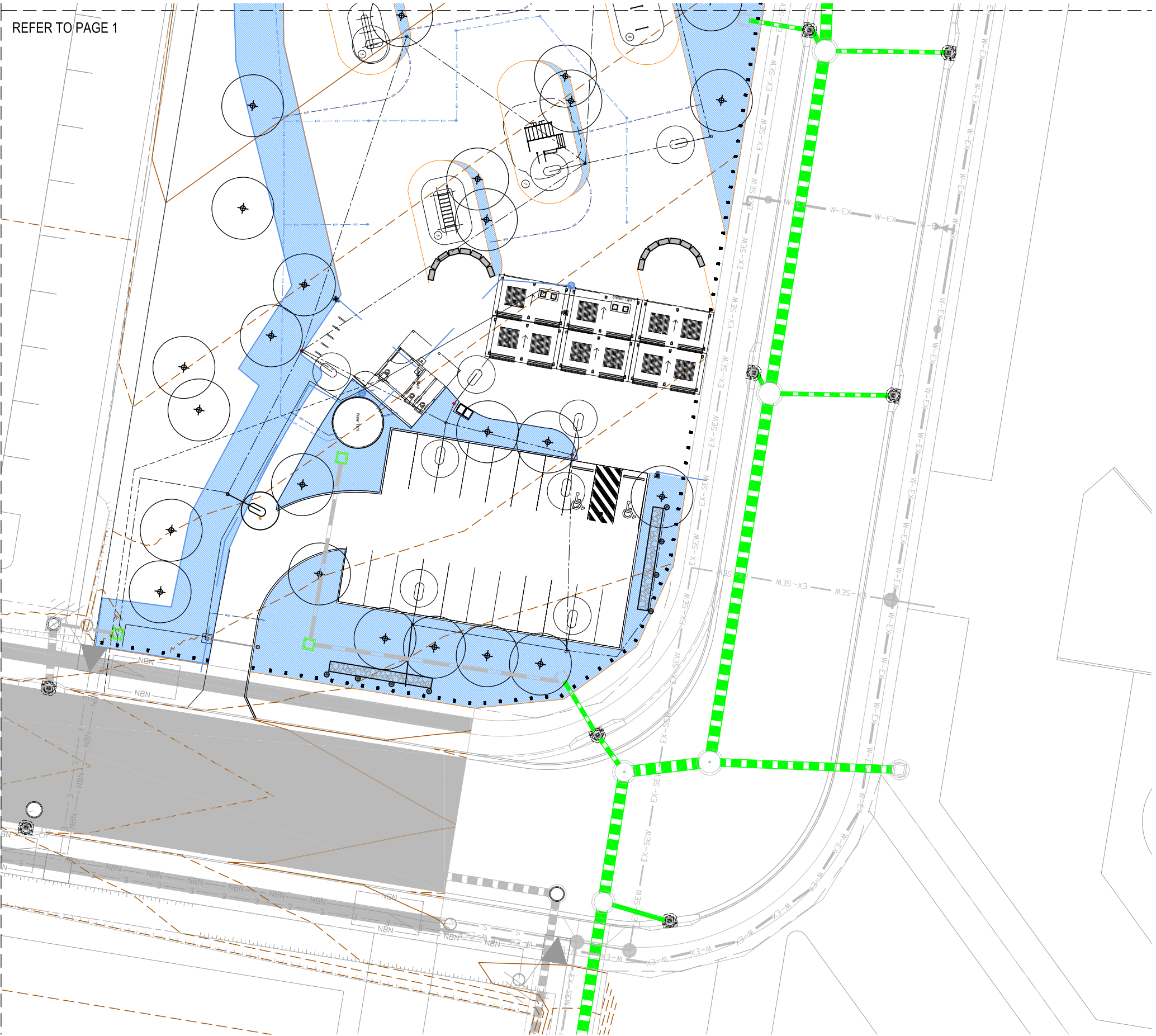
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Signed:

Date: 18.12.23

Drawing No: 5941-3-L-HP-OPW-SE02
Rev. No: C

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Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
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Real Property Description:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST
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DRAWING TITLE

Planting Plan

Rev	Date	Description	Drawn	Check
C	05.07.23	For Approval	JLS	MG
B	05.07.23	For Review	JLS	MG
A	20.03.23	For Review	JLS	MG

Scale at A3: 1:400

Designed: JLS

Drafted: JLS

Checked: MG

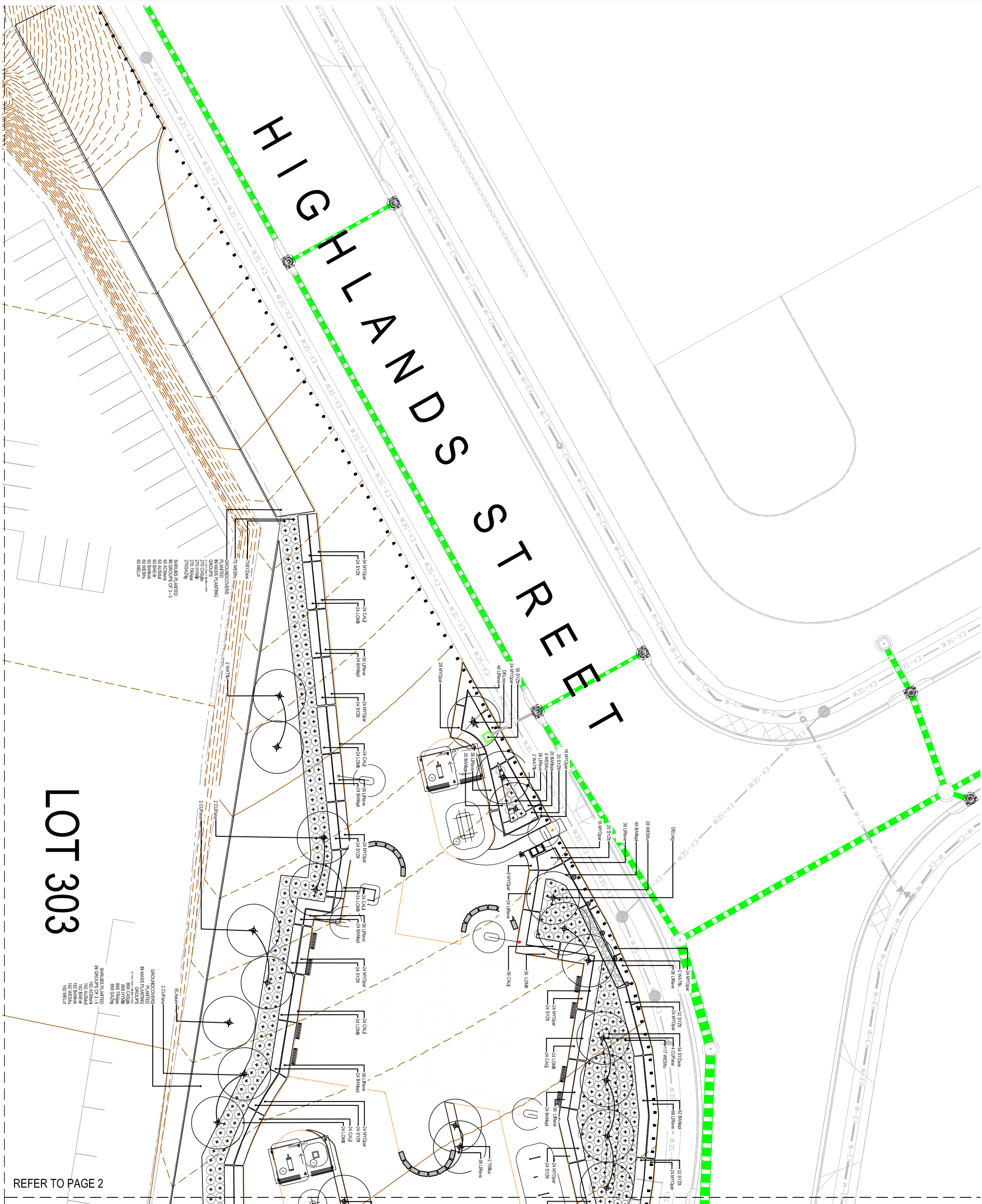
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Date: 18.12.23

Drawing No: 5941-3-L-HP-OPW-PP01

Rev. No: C



LOT 303

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Project: VANTAGE YATALA
STAGE 3
HEALTH PRECINCT

Site Address:
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ROAD, STAPYLTON QLD 4207

Real Property Discription:

Lot: 501
Plan: SP295994
Local Authority: CITY OF GOLD COAST COUNCIL
Level Datum: AHD

Level Datum:

AHD

Level

Datum:

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DRAWING TITLE					
Planting Plan					
C	08.07.23			JLS	WG
B	05.07.23	For tender		JLS	WG
A	28.06.23	For tender		JLS	MG
Date		Description		DNN	GKH

Scale at A3: 1:400

Designed:	11/5
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Drafted:	11/2
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Checked:	MG
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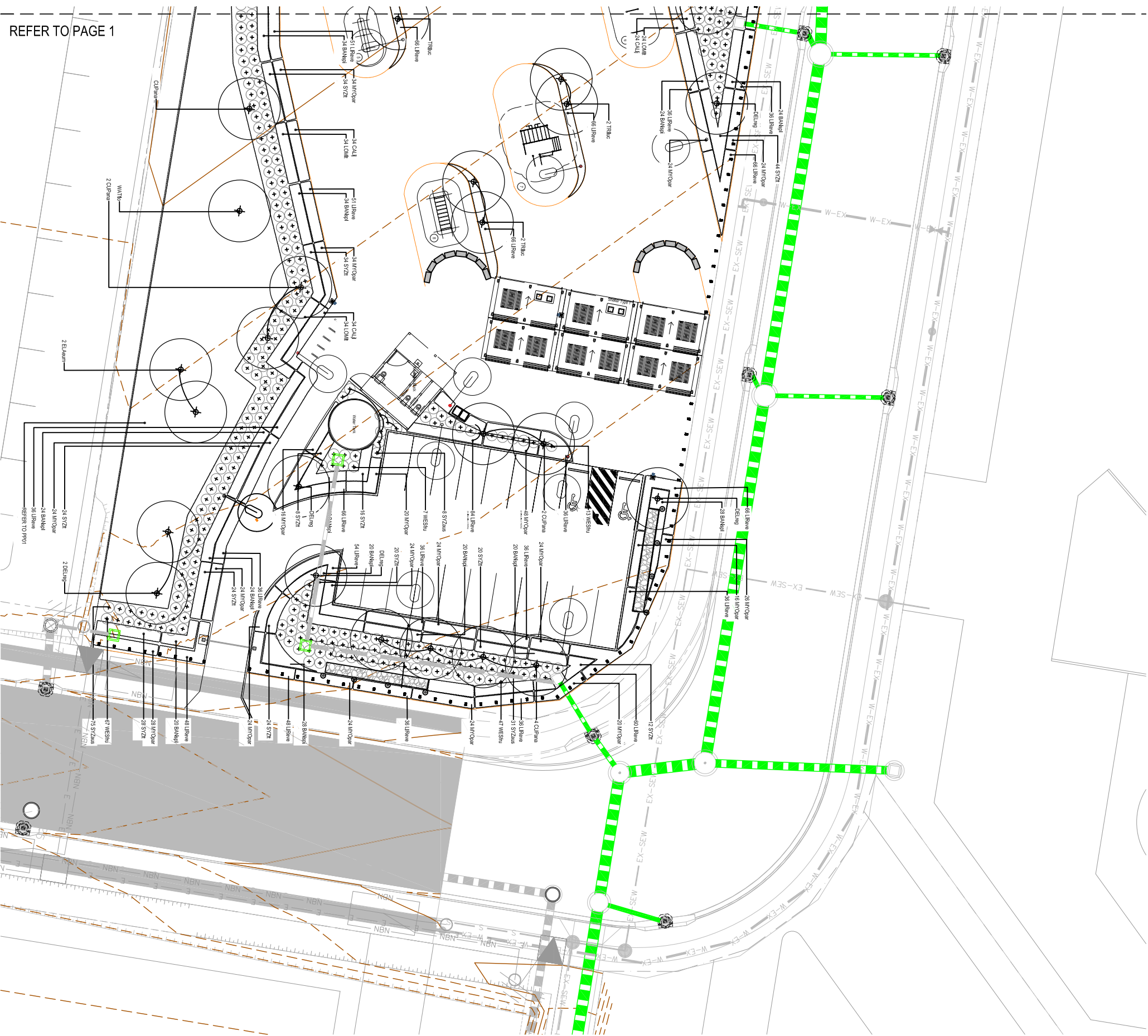
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Date:	18/12/23
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5941-3-L-HP-OPW-PPU2

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