

OPERATIONAL WORKS FOR CHANGE TO GROUND LEVEL

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LOCALITY PLAN
SCALE 1:2000 (A1)

CLIENT



FPI QUEENSLAND PTY. LTD.

VantageYatala

SITE ADDRESS

LOT 120 on SP316137
EASTRIDGE STREET
STAPYLTON, QLD 4207

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2024/39

Dated: 10 April 2024

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

1. CONTRACT DOCUMENTATION
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION AND CoGC STANDARD DRAWINGS AND SPECIFICATIONS.
2. DATUM
LEVELS SHOWN ON THE PLANS ARE A.H.D.
3. SURVEY SETOUT
THE SURVEY SET OUT INFORMATION TO ALLOW THE CONTRACTOR TO ACCURATELY SET OUT THE WORKS HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR. THE CONTRACTOR IS NOT TO SCALE FROM THESE PLANS AS A MEANS OF OBTAINING SETOUT INFORMATION.
4. EXISTING SURVEY CONTROL STATIONS
IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EXISTING SURVEY CONTROL STATIONS ARE NOT DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES. SHOULD THE CONTRACTOR IDENTIFY ANY CONFLICT BETWEEN EXISTING SURVEY CONTROL AND THE REQUIRED CONSTRUCTION ACTIVITIES THE SUPERINTENDENT IS TO BE NOTIFIED IMMEDIATELY.
5. EXISTING SERVICES
THE LOCATION OF EXISTING SERVICES WHERE SHOWN ON THE PLANS ARE INDICATIVE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT SERVICE AUTHORITIES TO ASCERTAIN THE EXACT LOCATION OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS AND TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE EXISTING SERVICES.
6. SITE ACCESS
THE CONTRACTOR SHALL ONLY GAIN ACCESS TO THE SITE VIA ACCESS LOCATIONS APPROVED BY THE SUPERINTENDENT. FREEDOM OF ACCESS TO OTHER WORK AREAS ON THE SITE SHALL BE MAINTAINED AT ALL TIMES.
7. PROVISION FOR TRAFFIC
PROVISION FOR TRAFFIC ON LOCAL ROADS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND CoGC COUNCIL REQUIREMENTS.
8. WORK EXTENT
THE CONTRACTOR IS TO RESTRICT ACTIVITIES TO THOSE AREAS DESIGNATED AS WORKS AREAS UNDER THE CONTRACT. AT NO TIME IS THE CONTRACTOR TO ENTER ADJOINING PROPERTIES OR CONTRACT AREAS WITHOUT THE WRITTEN AUTHORISATION OF THE SUPERINTENDENT.
9. TESTING
ALL TESTING IS TO BE CARRIED OUT BY AN APPROVED N.A.T.A TESTING AUTHORITY IN ACCORDANCE WITH THE PROJECT SPECIFICATION AND REQUIREMENTS OF CoGC COUNCIL.
10. "AS CONSTRUCTED" SURVEY
"AS CONSTRUCTED" SURVEY SHALL BE CARRIED OUT BY THE PRINCIPAL'S SURVEYOR AS WORK PROCEEDS. THE CONTRACTOR IS TO PROVIDE ADEQUATE NOTICE TO THE PRINCIPAL'S SURVEYOR ON WHEN THIS IS REQUIRED TO ENSURE COMPLIANCE WITH THE REQUIREMENTS OF CoGC COUNCIL.
11. MAINTENANCE OF SITE CONDITION
AT THE COMPLETION OF WORKS THE SITE IS TO BE LEFT IN A CLEAN AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT AND CoGC.

1. PRECEDENCE
EARTHWORKS SPECIFICATION PREPARED BY PROJECT GEOTECHNICAL ENGINEER TO TAKE PRECEDENCE OVER STANDARD COUNCIL EARTHWORKS NOTES.
2. TOPSOIL STRIPPING
TOPSOIL SHALL BE STRIPPED PREPARED BY PROJECT GEOTECHNICAL ENGINEER TO TAKE PRECEDENCE OVER STANDARD COUNCIL EARTHWORKS NOTES.
3. EARTHWORKS LEVELS
EARTHWORKS LEVELS SHOWN ON THE DRAWING ARE TO FINISHED SURFACE LEVELS AND INCLUDE 100mm OF TOPSOIL. THE CONTRACTOR SHALL VERIFY BENCH MARK LEVELS AND ADVISE THE SUPERINTENDENT OF ANY DISCREPANCY BEFORE COMMENCEMENT OF CONSTRUCTION.
4. UNDESIRABLE MATERIAL
THE ENTIRE SITE/WORK AREAS SHALL BE CLEARED OF ALL UNDESIRABLE MATTER. THIS SHALL INCLUDE DEAD TIMBER, GRASS, OLD FOUNDATIONS, CONCRETE, MASONRY REMAINS, GARBAGE, DEBRIS AND ALL OTHER OBSTRUCTIONS TO THE WORKS UNLESS NOTED OTHERWISE. HOLES LEFT BY THE REMOVAL OF ANY OF THE ABOVE SHALL BE FILLED WITH APPROVED COMPACTED MATERIAL WITH PROPERTIES AT LEAST SIMILAR TO INSITU SOILS.
5. COMPACTION STANDARD
FILL MATERIAL SHALL BE COMPACTED TO THE FOLLOWING STANDARD, WHERE DRY DENSITY RATIO IS DETERMINED IN ACCORDANCE WITH AS 1289 USING STANDARD COMPACTION METHODS.
 - a. 100% DRY DENSITY RATIO IN COHESIVE MATERIAL OR 80% IN COHESIONLESS MATERIAL FOR ROAD SUBGRADE.
 - b. 98% DRY DENSITY RATIO IN COHESIVE MATERIAL OR 65% IN COHESIONLESS MATERIAL FOR ALL AREAS OTHER THAN THE ROADWAY AND BUILDING PADS.
 - c. 98% DRY DENSITY RATIO IN COHESIVE MATERIAL OR 70% IN COHESIONLESS MATERIAL FOR BUILDING PADS.
5. PAVEMENT DEPTHS
EARTHWORKS VOLUMES DO NOT INCLUDE DESIGN PAVEMENT DEPTHS AS INDICATED ON THE TYPICAL BULK EARTHWORKS ROAD SECTION.
6. TESTING
ALL EARTHWORKS TO BE CARRIED OUT UNDER LEVEL 1 SUPERVISION IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3798 UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT. ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A TESTING AUTHORITY.
7. ROCK
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT DOCUMENT.

9. **DAMS AND PONDS**
WHERE POSSIBLE, WATER FROM DAMS AND PONDS SHALL BE MAINTAINED AND UTILISED FOR CONSTRUCTION PURPOSES AND DUST SUPPRESSION. DAMS AND PONDS NOT TO BE RETAINED SHALL BE DEWATERED, CLEARED OF ANY FOREIGN MATTER AND ORGANIC MATERIAL WITH THIS MATERIAL TO BE REMOVED OFF SITE.
9. **RETAINING STRUCTURES**
THE DESIGN AND STRUCTURAL CERTIFICATION OF RETAINING STRUCTURES SHALL BE UNDERTAKEN BY THE CONTRACTOR'S STRUCTURAL ENGINEER (RPEQ) IN CONSULTATION WITH THE PROJECT'S CIVIL ENGINEER AND LANDSCAPE CONSULTANT. THE CONTRACTOR IS RESPONSIBLE FOR THE SUBMISSION AND APPROVAL COORDINATION OF THE ASSOCIATED DRAWINGS AND CERTIFICATION TO GoGC. A COPY OF THIS SUBMISSION IS TO BE PROVIDED TO THE SUPERINTENDENT.
10. **TOPSOIL REPLACEMENT**
ALL BATTERS AND ALLOTMENT CUT & FILL AREAS SHALL BE TOP SOILED FROM ONSITE STOCKPILES. IF DIRECTED BY THE SUPERINTENDENT THE TOPSOIL SHALL BE SCREENED PRIOR TO PLACING. THE CONTRACTOR SHALL ALLOW IN THEIR RATE FOR SCREENING AND THE DISPOSAL OF REJECT MATERIAL TO TIP OFFSITE INCLUDING ALL FEES. THE CONTRACTOR MUST ENSURE THAT THE STRIPPING SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO AVOID CONTAMINATION BY OVER CUTTING. IF TOPSOIL IS CONTAMINATED BY OVER CUTTING AND DETERMINED NOT SUITABLE FOR REUSE BY THE SUPERINTENDENT, THE CONTRACTOR SHALL BEAR THE COST OF REMOVAL FROM SITE OF ALL CONTAMINATED TOPSOIL AND THE COST TO SUPPLY AND IMPORT SUITABLE TOPSOIL FOR RE-SPREADING.
11. **GRASSING / SEEDING**
ALL CUT & FILL AREAS AND DISTURBED AREAS SHALL BE GRASSED OR SEEDED TO THE SATISFACTION OF THE SUPERINTENDENT.
12. **STOCKPILES**
ALL MATERIAL/SPoil ARISING FROM WORKS ON SITE SHALL BE COMPACTED TO AN APPROPRIATE STANDARD WITHIN THE FILL AREAS OF FUTURE STAGES AS NOMINATED BY THE SUPERINTENDENT. THE CONTRACTOR IS NOT TO CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS WRITTEN AUTHORIZATION IS RECEIVED FROM THE SUPERINTENDENT.

- a. THE OBJECTIVES OF THE EROSION AND SEDIMENT CONTROL PROGRAM ARE:
 - a. ALLOW STORMWATER TO PASS THROUGH THE SITE IN A CONTROLLED MANNER AT NON-EROSIVE FLOW VELOCITIES.
 - b. MINIMISE SOIL EROSION FROM WATER AND WIND
 - c. MINIMISE ADVERSE EFFECTS OF SEDIMENT RUNOFF.
 - d. MINIMISE OR PREVENT ENVIRONMENTAL HARM ASSOCIATED WITH DISCHARGE FROM THE CONSTRUCTED SITE.
 - e. ENSURE THAT THE VALUE AND USE OF RESIDENTIAL AND INDUSTRIAL PROPERTIES ADJACENT TO THE DEVELOPMENT ARE NOT DIMINISHED AS A RESULT OF THE MIGRATION OF SEDIMENT FROM THE DEVELOPMENT.
2. THE EROSION AND SEDIMENT CONTROL PROGRAM SHALL COMPLY WITH THE ENVIRONMENTAL BEST ENGINEERING GUIDELINES FOR QUEENSLAND CONSTRUCTION SITES. THE CURRENT INSTITUTION OF ENGINEERS AUSTRALIA AND LOCAL AUTHORITY GUIDELINES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTIONS INCLUDING THE MAINTENANCE PERIOD. NOTWITHSTANDING THE FINISHED EARTHWORK DESIGN SHOWN ON THE DRAINGS THE CONTRACTOR IS RESPONSIBLE TO IMPLEMENT ADDITIONAL SEDIMENT CONTROL MEASURES AND DEVICES USING BEST PRACTICES AS NECESSARY TO MINIMISE THE QUANTITY LEAVING THE SITE DURING CONSTRUCTION AND UPON COMPLETION OF EARTHWORKS.
3. THE CONTRACTOR IS TO FOLLOW CONSTRUCTION PHASE AS OUTLINED IN THE CONSTRUCTION SEQUENCE/SILT MANAGEMENT PROGRAM. ALL SEDIMENT CONTROL DEVICES SHALL BE MONITORED, CLEANED AND/OR REPLACED WHENEVER THE ACCUMULATED SEDIMENT REDUCES THE CAPACITY BY 50%. ALL PERIMETER BANK/SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET. AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS AND PROTECT ANY DOWNSTREAM CONSTRUCTION AND GULLY INLETS. INLETS TO HAVE SILT PROTECTION IN ACCORDANCE WITH KERB INLET PROTECTION DETAIL AT LOCATIONS SHOWN OR AS INDICATED BY THE ENGINEER.
4. PRIOR TO THE COMMENCEMENT OF EARTHWORKS, THE CONTRACTOR IS TO CARRY OUT SOIL TESTING (IF REQUIRED BY SUPERINTENDENT) TO DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL AND RESULTS TO BE GIVEN TO THE ENGINEERS SO THE FINALIZATION OF THE EROSION AND SEDIMENT CONTROL PLAN CAN BE COMPLETE.
5. TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN LOCATIONS AGREED WITH THE SUPERINTENDENT. CLEARING OF SITE AND STOCKPILE AREAS TO BE AS DIRECTED BY THE SUPERVISING ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AT ALL TIMES INCLUDING WEEKENDS AND PUBLIC HOLIDAYS.
6. SUITABLE ACCESS SHALL BE PROVIDED TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES (IT IS TO BE NOTED THAT CLEARING SHALL ONLY OCCUR IN AREAS WHERE THERE IS NO OTHER ALTERNATIVE TO GAIN ACCESS TO THE LOCATION OF THE SEDIMENT CONTROL DEVICES). APPROVAL FOR REMOVAL OF PROTECTED SIZE VEGETATION MUST BE OBTAINED PRIOR TO CLEARING.
7. ROCK BUNDS TO BE PLACED AROUND ALL HEADWALLS DURING CONSTRUCTION.
8. 0.8m TURF IS TO BE PLACED BEHIND ON ALL BATTERS WITHIN PRIVATE OPEN SPACE STEEPER THAN 1:4 UNLESS OTHERWISE NOTED. THE EXTENT OF GRASSING SHALL BE DETERMINED BY THE ENGINEER AND SHALL BE SEED, AS SPECIFIED, WITHIN 7 DAYS OF FINAL TRIMMING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT GRASS STRIKE RATES ARE ACHIEVED AT ON AND OFF MAINTENANCE INSPECTION IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
9. TURF IS TO BE PLACED FROM BACK OF KERB TO ROAD RESERVE BOUNDARY ON ALL ROADS AFTER EARTHWORKS ARE COMPLETE.
10. GEO-FABRIC LINING OF CHANNELS AND CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
11. FILLING AND OR MAINTENANCE OF EXISTING AND OR SEDIMENT BASINS MAY REQUIRE FLOCCULATION.
12. BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH THE APPROVED OPEN SPACE MANAGEMENT PLAN (OSMP).
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN OUT GPT'S, SEDIMENT FOREBAYS AND ALL OTHER SEDIMENT CONTROL DEVICES DURING CONSTRUCTION AND PRIOR BOTH ON AND OFF MAINTENANCE INSPECTIONS WITH CoGC. THE CONTRACTOR SHALL ALLOW FOR THE COST OF THESE WORKS WITHIN THEIR SUBMITTED TENDER PRICE.

- a. ERECT SITE SIGNAGE, CONSTRUCT ENTRY AND EXIT POINT AS INDICATED CONSTRUCT VEHICLE WASH-DOWN AREA AND ASSOCIATED SILT MANAGEMENT DEVICES.
- b. CONSTRUCT SITE OFFICE AND STORAGE COMPOUND AREA
- c. ERECT SILT FENCE AT LOW POINTS OF THE SITE AS DEMONSTRATED
- d. ERECT TEMPORARY TREE PROTECTION FENCING FOR VEGETATION TO BE RETAINED IN ACCORDANCE WITH AN OPW (TREE CLEARING) APPROVAL OR IN ACCORDANCE WITH AS4970 PROTECTION OF TREES ON DEVELOPMENT SITE.
- e. CONSTRUCT ROCK CHECK DAMS AND SILT FENCE DOWN STREAM OF BASIN.
- f. CONSTRUCT BASIN TO FULL DEPTH.
- g. CONSTRUCT BALANCE OF BASIN IN CONJUNCTION WITH CLEARING AND BULK EARTHWORKS OPERATIONS.
- h. BASIN TO BE UTILISED AS A TEMPORARY SEDIMENT BASIN. DO NOT FILL IN FILTRATION MATERIAL UNTIL CONSTRUCTION OF DEVELOPMENT IS COMPLETE.
2. CLEARING AND BULK EARTHWORKS

THERE SHALL BE NO CLEARING OF PROTECTED SITE VEGETATION WITHOUT AN APPROVED TREE CLEARING PLAN WHICH SHALL BE IN ACCORDANCE WITH AS4970.

SILT FENCE, SAND BAGS AND EARTH RILLS WITHIN ROADS TO BE ERECTED AS INDICATED OR REQUIRED DURING CLEARING & EARTHWORKS.

SUPERINTENDENT TO CONFIRM THE EXTENT OF CLEARING PRIOR TO COMMENCEMENT OF WORKS.
3. CONSTRUCTION OF SEWER/ROOFWATER / STORMWATER /SERVICES

EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE OF TRENCH AND TO PROTECT PIPE WORKS AND DIRECT SURFACE MATERIAL AWAY FROM EXCAVATIONS.

TOPSOIL AND GRASS SEED AREAS IN ALLOTMENTS IMMEDIATELY AFTER COMPLETING THE SEWER AND ROOFWATER DRAINAGE CONSTRUCTION.

DEPRESS GROUND AROUND TEMPORARY FIELD INLETS TO CREATE SILT POND.
4. CONSTRUCTION – SEDIMENT BASINS

SEDIMENT BASIN TO BE CONSTRUCTED TO THE EARTHWORK PROFILES SHOWN.

STORMWATER OUTLET PIPES TO BE TEMPORARY BLOCKED OFF UNTIL DECOMMISSIONING OF SEDIMENT BASIN (SUBSEQUENT TO CONSTRUCTION OF ALL STAGES).

PLACE SPOIL FROM SEDIMENT BASIN INTO ALLOCATED AREAS AS ENGINEERED FILL IN ACCORDANCE WITH THE STAGING ORDER.

SEDIMENT BASIN SHALL ONLY BE REMOVED AFTER APPROVAL BY SUPERINTENDENT AND COUNCIL.
5. CONSTRUCTION – STOCKPILING

TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.

STOCKPILE SITE TO BE CLEARED OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE NUISANCE TO ADJOINING PROPERTIES.

NO STOCKPILES ARE TO BE LOCATED WITHIN THE DRIP ZONE OR STRUCTURAL ROOT ZONE OF ANY RETAINED VEGETATION.
6. CONSTRUCTION – ROADWORKS

SILT FENCES TO ALLOTMENTS TO BE ERECTED.

KERB INLET PROTECTION TO BE PROVIDED TO ALL GULLIES.
7. CONSTRUCTION – ALLOTMENTS

TOPSOIL AND SEED ALLOTMENTS.

SILT FENCES TO ALLOTMENTS TO BE RE-ERECTED.

COVERS TO GULLY GRATES TO BE REMOVED IF THE SUPERINTENDENT INDICATE THE GRASS STRIKE IS SUFFICIENT (80% WITHIN 30 CALENDAR DAYS OF FINAL ALLOTMENT RIMMING).
8. POST CONSTRUCTION – ALLOTMENTS

TOPSOIL AND GRASS SEED ALL ALLOTMENTS.

COVERS TO GULLY GRATES TO BE REMOVED IF THE SUPERINTENDENT INDICATES THE GRASS STRIKE IS SUFFICIENT (80% WITHIN 30 CALENDAR DAYS OF FINAL ALLOTMENT TRIMMING).
9. POST CONSTRUCTION – BASIN

BASIN TO CONTINUE ACTING AS SEDIMENT BASIN UNTIL COMPLETION OF ALL STAGES.
10. POST CONSTRUCTION – ROAD RESERVES

TOPSOIL AND TURFING IS TO BE PROVIDED BEHIND KERB.
11. MAINTENANCE (PRE TO POST CONSTRUCTION)

THE SILT FENCES ARE TO BE INSPECTED WEEKLY.

ANY REPAIRS REQUIRED ARE TO BE EFFECTED IMMEDIATELY.

SILT AFTER RAIN IS TO BE CLEARED FROM STREETS AND ALLOTMENTS IMMEDIATELY AND CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE OF THE FAILURE.
12. POST CONSTRUCTION

PRIOR TO COMMENCING CONSTRUCTION OF THE DETENTION BASIN THE DIVERSION OF SURFACE WATER FROM THE PROPOSED WORK AREAS, USING MEASURES SUCH AS OPEN DRAINS/SUMPS, ARE REQUIRED TO AID IN SITE DE-WATERING.

BASIN TO CONTINUE ACTING AS SEDIMENT BASIN UNTIL 85% OF CATCHMENT CONSTRUCTION IS COMPLETE.

THE CLAY FILLING FOR THE BASIN WALLS SHALL BE PLACED IN HORIZONTAL LAYERS OF 200mm THICKNESS AND COMPACTED TO DENSITY RATIO WITHIN THE RANGE 98%-102% STANDARD COMPACTION (AS 1289.5.1.1). PLACEMENT MOISTURE CONTENT SHOULD BE WITHIN THE RANGE OMC -1% TO OMC -2% (WHERE OMC = OPTIMUM MOISTURE CONTENT FOR STANDARD COMPACTION). CONTRACTOR TO PROVIDE SAFETY FENCING TO BASIN DURING CONSTRUCTION AND APPROPRIATE SIGNAGE (PERMANENT OR TEMPORARY).



Designed: JH	Drafted: ML
Approved:	MG
RPEQ	16939
Signed:	
Date:	27/02/2024
Drawing No: 6181 ENG BE 002	
Revision	
A	

Client:



Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

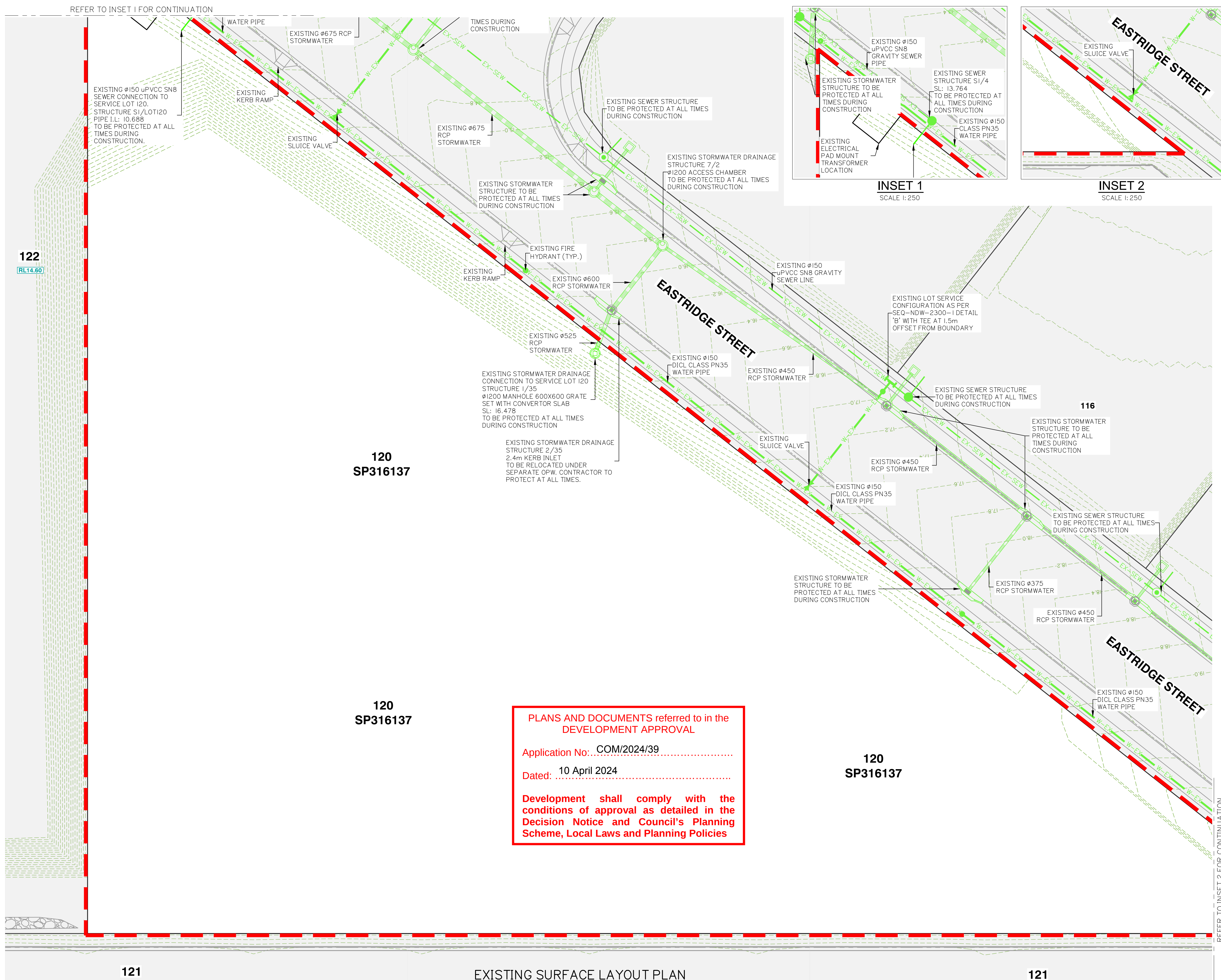
RPD:

Lot: 120
Plan: SP316137
Local Authority: CoGC

Level Datum: AHD
Meridian: -
PSM: -
RL: -

ISSUED FOR APPROVAL

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GENERAL NOTES.

[illegible]

A	27/02/24	ORIGINAL ISSUE	ML	MG
ev	Date	Description	DRN	CHK
DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE.			A1 UNREDUCED	
CULVERT AND PIPE SIZES IN MILLIMETRES			A3 REDUCED	

Scale:



0 5 10 15 20m
1:250 (A1) 1:500 (A3)

PROJECT NORTH POINT



Project No.	6181
Designed:	JH
Drafted:	ML
Approved:	
	MG
IPEQ	16939
Signed:	
Date:	27/02/2024
Drawing No:	
6181 ENG BE 010	

[illegible]

A	27/02/24	ORIGINAL ISSUE	ML	M
Rev	Date	Description	DRN	CH
DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE.			A1 UNREDUCED	
CULVERT AND PIPE SIZES IN MILLIMERES			A3 REDUCED	

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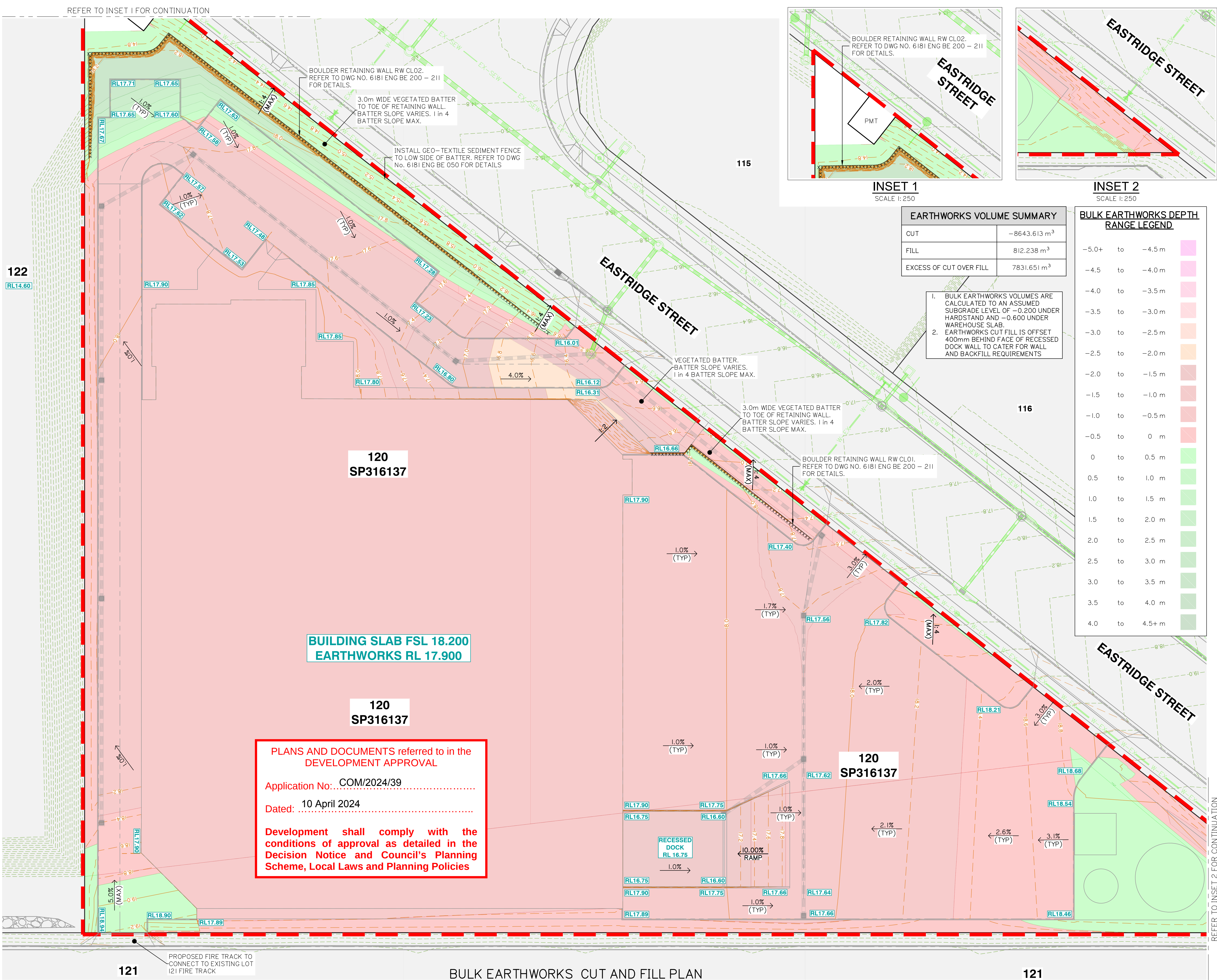


0 5 10 15 20m
1:250 (A1) 1:500 (A3)

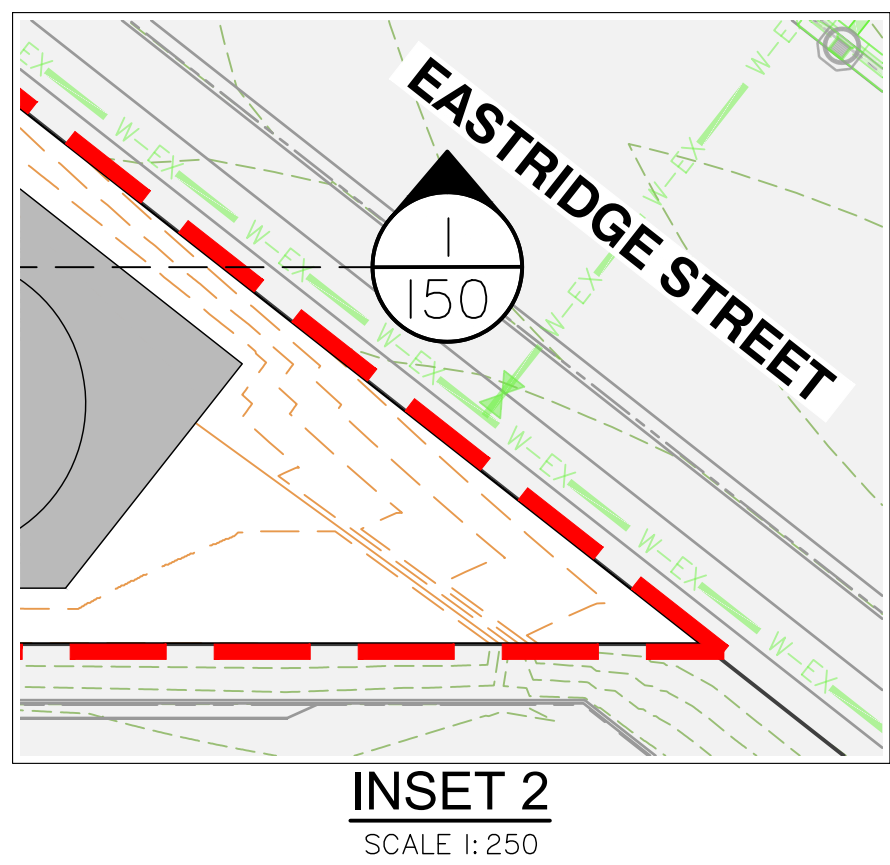
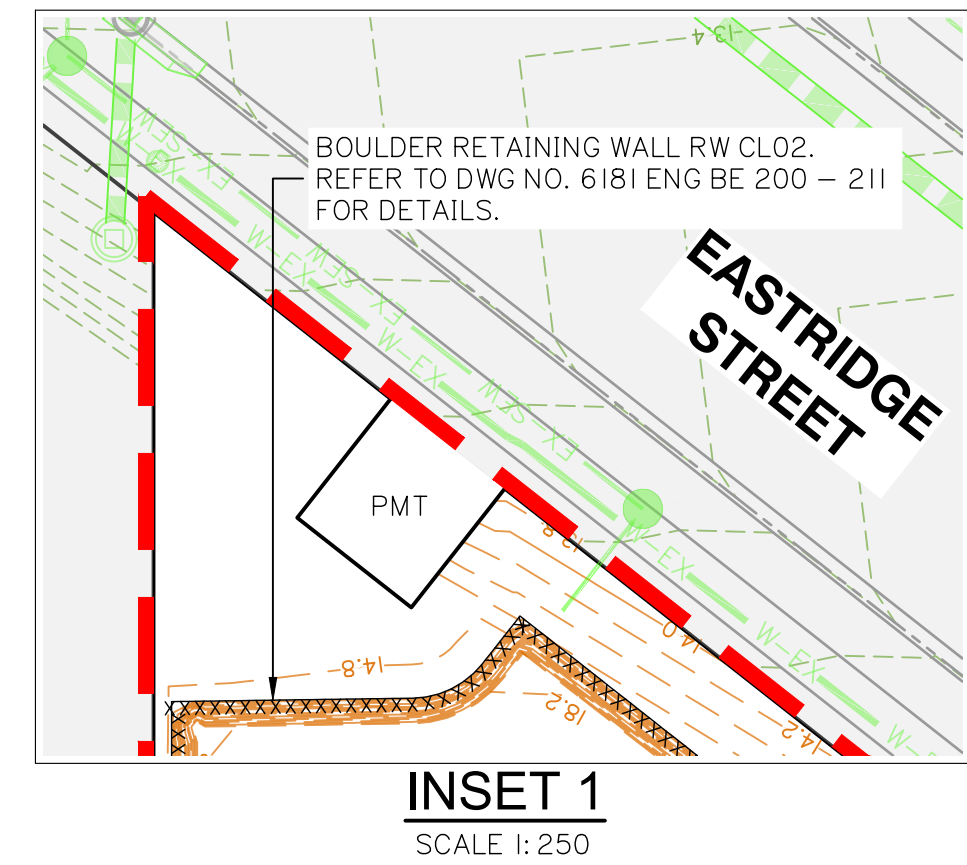
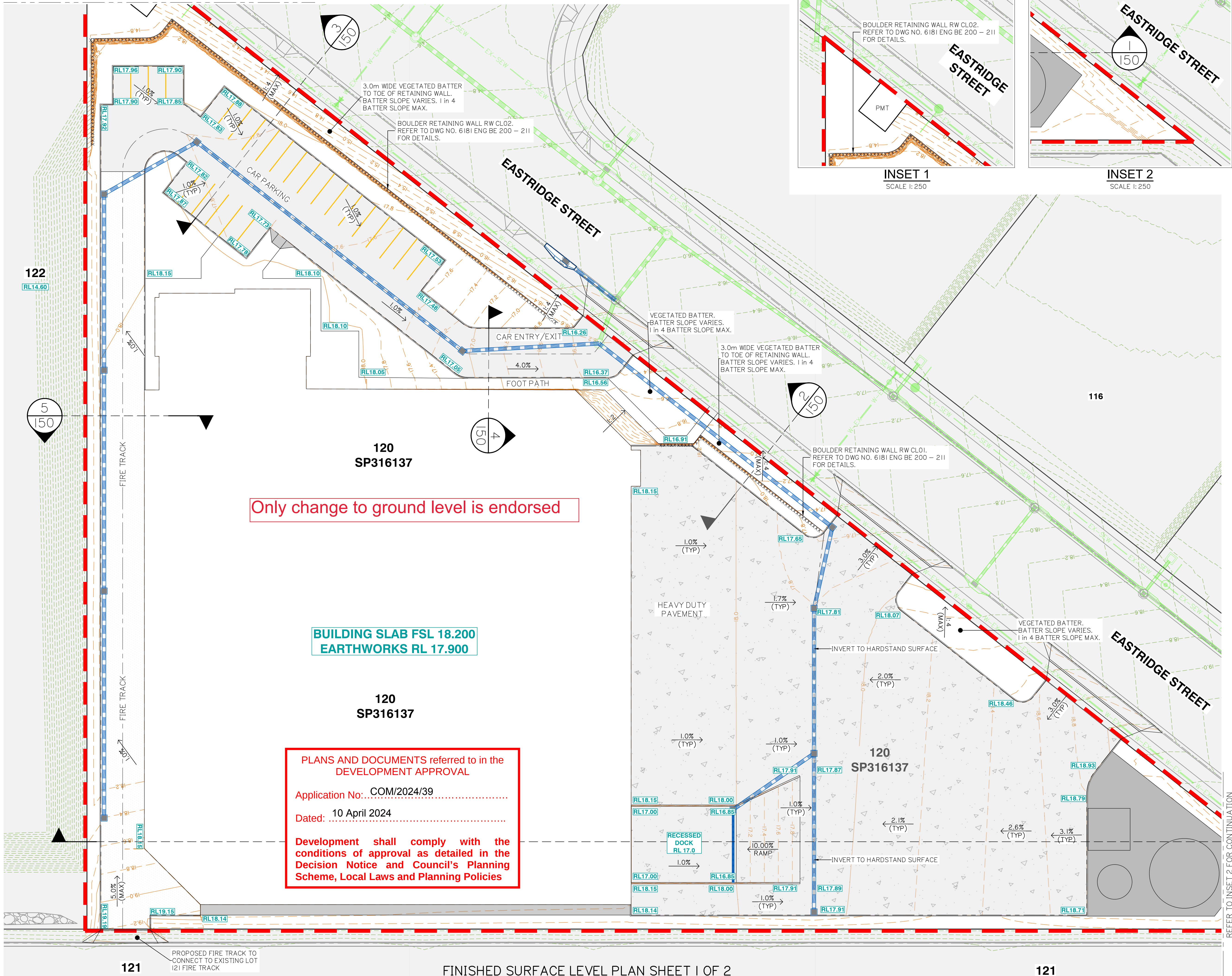
PROJECT NORTH POINT



Project No:	6181
Designed: JH	Drafted: ML
Approved:	MG
PEQ	16939
Signed:	
Date:	27/02/2024
Drawing No:	Revised:
6181 ENG BE 100	A



REFER TO INSET 1 FOR CONTINUATION





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planning | environment | landscape | engineering | survey

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Gold Coast | 76 Business Street, Yatala QLD | PO Box 392, Beerleigh 4207

Client:



FRASERS
PROPERTY

FPI QUEENSLAND
PTY. LTD.

Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

RPD:

Lot:	120
Plan:	SP316137
Local Authority:	CoGC
Level Datum:	AHD
Meridian:	-
PSM:	-
RL:	-

ISSUED FOR APPROVAL

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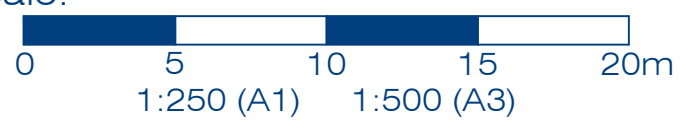
Drawing Title:

FINISHED SURFACE
LEVEL PLAN
SHEET 1 OF 2

Rev	Date	DESCRIPTION	ML	MG
A	27/02/24	ORIGINAL ISSUE	ML	MG

DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE. A1 UNREDUCED. CULVERT AND PIPE SIZES IN MILLIMETRES. A3 REDUCED.

Scale:

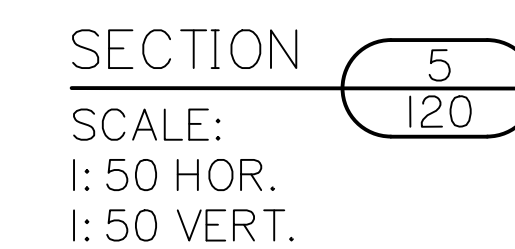
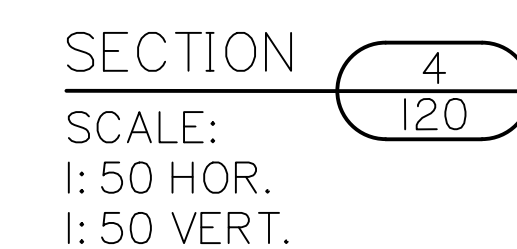
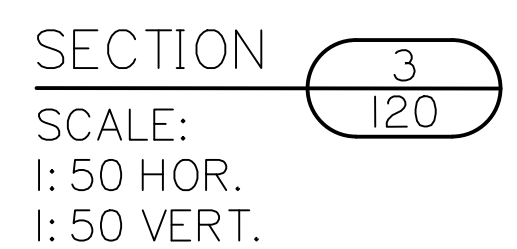
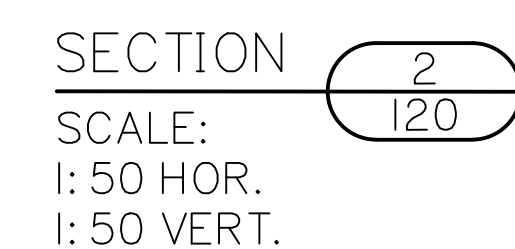
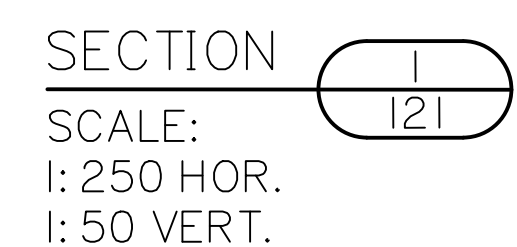


PROJECT NORTH POINT



Project No:	6181
Designed:	JH
Approved:	MG
RPEQ:	16939
Signed:	
Date:	27/02/2024
Drawing No:	6181 ENG BE 120
Revision:	A

REFER TO INSET 2 FOR CONTINUATION



Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

Level Datum:	AHD
Meridian:	-
PSM:	-
RL:	-

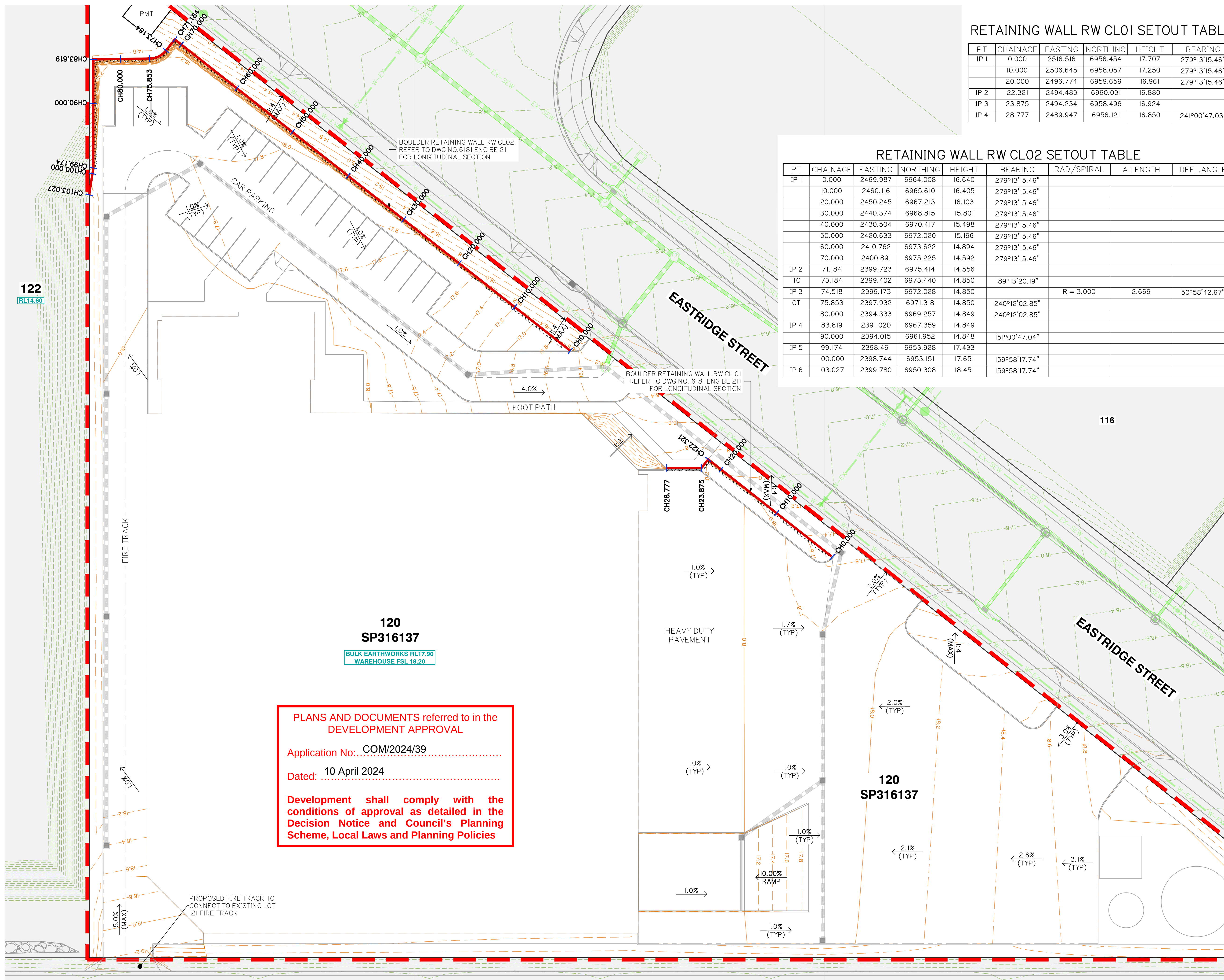
THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
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GENERAL NOTES.

FINISHED SURFACE LEVEL CROSS SECTIONS

A	27/02/24	ORIGINAL ISSUE	ML	MG
Rev	Date	Description	DRN	CHK
		DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE	A1 UNREDUCED	
		CULVERT AND PIPE SIZES IN MILLIMETRES	A3 REDUCED	

PROJECT NORTH POINT

Drawing No:	Revision
6181 ENG BE 150	A



RETAINING WALL RW CLOI SETOUT TABLE

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING
IP 1	0.000	2516.516	6956.454	17.707	279°13'15.46"
	10.000	2506.645	6958.057	17.250	279°13'15.46"
	20.000	2496.774	6959.659	16.961	279°13'15.46"
IP 2	22.321	2494.483	6960.031	16.880	
IP 3	23.875	2494.234	6958.496	16.924	
IP 4	28.777	2489.947	6956.121	16.850	241°00'47.03"

RETAINING WALL RW CL02 SETOUT TABLE

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL	A.LENGTH	DEFL.ANGLE
IP 1	0.000	2469.987	6964.008	16.640	279°13'15.46"			
	10.000	2460.116	6965.610	16.405	279°13'15.46"			
	20.000	2450.245	6967.213	16.103	279°13'15.46"			
	30.000	2440.374	6968.815	15.801	279°13'15.46"			
	40.000	2430.504	6970.417	15.498	279°13'15.46"			
	50.000	2420.633	6972.020	15.196	279°13'15.46"			
	60.000	2410.762	6973.622	14.894	279°13'15.46"			
	70.000	2400.891	6975.225	14.592	279°13'15.46"			
IP 2	71.184	2399.723	6975.414	14.556				
TC	73.184	2399.402	6973.440	14.850	189°13'20.19"			
IP 3	74.518	2399.173	6972.028	14.850		R = 3.000	2.669	50°58'42.67"
CT	75.853	2397.932	6971.318	14.850	240°12'02.85"			
	80.000	2394.333	6969.257	14.849	240°12'02.85"			
IP 4	83.819	2391.020	6967.359	14.849				
	90.000	2394.015	6961.952	14.848	151°00'47.04"			
IP 5	99.174	2398.461	6953.928	17.433				
	100.000	2398.744	6953.151	17.651	159°58'17.74"			
IP 6	103.027	2399.780	6950.308	18.451	159°58'17.74"			



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Gold Coast 76 Business Street, Yatala QLD PO Box 392, Beenleigh 4207

Client:



FPI QUEENSLAND
PTY. LTD.

Project:

LOT-120 PROPOSED
INDUSTRIAL
DEVELOPMENT

Site Address:

VANTAGE YATALA Lot-120
EASTRIDGE STREET
STAPYLTON, QLD 4207

RPD:

Lot: 120
Plan: SP316137
Local Authority: CoGC

Level Datum: AHD
Meridian: -
PSM: -
RL: -

ISSUED FOR APPROVAL

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THIS DRAWING IS INTENDED TO BE PRINTED IN COLOUR.
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
GENERAL NOTES.

Drawing Title:

RETAINING WALL CONTROL LINE AND SETOUT TABLES

[illegible]

A	27/02/24	ORIGINAL ISSUE	ML	MG
ev	Date	Description	DRN	CHK
DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE.			A1 UNREDUCED	
CULVERT AND PIPE SIZES IN MILLIMETRES			A3 REDUCED	

Scale:



0 5 10 15 20m
1:250 (A1) 1:500 (A3)

PROJECT NORTH POINT



Project No. 6181

Designed: JH

Drafted: ML

Approved:

MG

RPEQ

6939

Signed:

Michelle K...

Date:

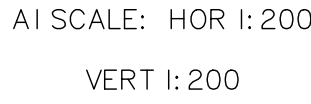
27/02/2024

Drawing No:

Revision

6181 ENG BE 200

A



Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



RETAINING WALL LONGITUDINAL SECTIONS