

OUR REF: 6132 MC1
YOUR REF: MCU/2022/525

26 April 2024

The Chief Executive Officer
Gold Coast City Council
PO Box 5042
GOLD COAST MC QLD 9729

Via email: mail@goldcoast.qld.gov.au

Dear Sir/Madam,

**RE: MINOR CHANGE REQUEST TO DEVELOPMENT PERMIT FOR MATERIAL CHANGE OF
USE FOR A WAREHOUSE – MCU/2022/525**

AT: 28 EASTRIDGE STREET, STAPYLTON QLD 4207 – LOT 117 ON SP316137

We act on behalf of the Applicant, *Eastridge 117 Pty Ltd*, requesting a minor change to development permit MCU/2022/525 under s78 of the *Planning Act 2016* (the Act) for the above-mentioned property.

This change application seeks to amend the existing Warehouse approval by converting the single Warehouse into three separate Warehouse tenancies. The proposed changes are minor in nature and are consistent with the minor change requirements under the Planning Act 2016.

In support of this minor change application, we enclose the following:

- **Attachment A** – Forms;
- **Attachment B** – Current Approval Package MCU/2022/525;
- **Attachment C** – Current Preliminary Approval Package MIN/2023/64; and
- **Attachment D** – Amended Proposal Plans.

As the application will be lodged electronically, the prescribed fee of **\$1,386.20** (20% of \$6,931.00) will be paid upon receipt of Council's invoice.

There are no affected entities for this change application.

1.0 SITE DESCRIPTION

Table 1 - Site Summary	
Site Address	28 Eastridge Street, Stapylton QLD 4207
Real Property Description	Lot 117 on SP316137
Total Site Area	4,094m ²
Current Site Use	Warehouse
Local Authority	Council of the City of Gold Coast
Zoning	Low impact industry (Future low impact industry precinct).

2.0 APPROVAL HISTORY

Table 2 - Approval History	
Approval Reference	Comment
MCU201100650 Dated: 6 May 2013 Most recent minor change MIN/2023/64 (23 May 2023)	Overarching Preliminary Approval On 6 May 2013, Council approved a Preliminary Approval for making a Material Change of Use to override the Planning Scheme for industry uses. This Preliminary Approval includes an endorsed Place Code and Land Use Classification Plan and supports industrial land uses and industrial subdivision within the relevant industrial land use precincts. The original approval has been amended a number of times, with the most recent Minor Change (MIN/2023/64) approved on 23 May 2023. The subject site is wholly located within Precinct B – General Impact and Business Industry. A copy of the most recent version of the Preliminary Approval is included at Appendix C for Council's convenience.
MCU/2022/525 Dated: 28 March 2023	Development approval for Material Change of Use for a Warehouse This application seeks to change this approval.

3.0 BACKGROUND

On 28 March 2023 Council approved a Material Change of Use for a Warehouse on the subject site (MCU/2022/525). The approved development involved the establishment of a single warehouse building with ancillary office. The proposed development supported on-site servicing by a HRV and provided a total of 34 parking spaces.

An extract of the approved site layout is provided in **Figure 1** below. A copy of the stamped approved plans is provided within **Appendix B**.

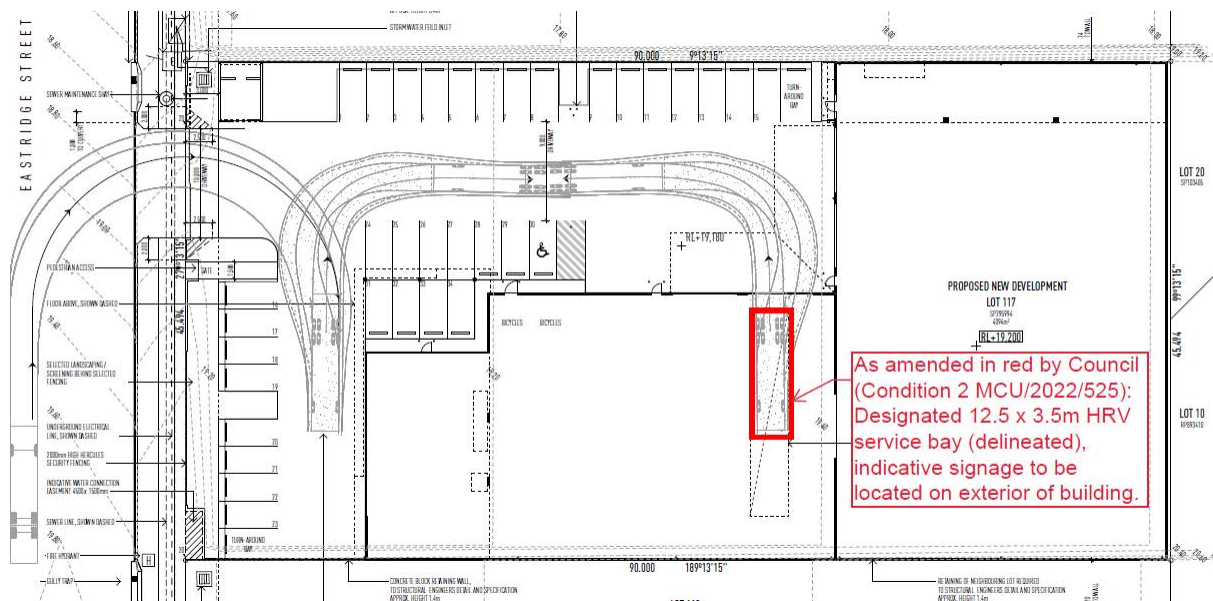


Figure 1: Approved site layout MCU/2022/525 (GDP File, 2024)

4.0 CHANGES REQUESTED UNDER S.78 OF THE *PLANNING ACT 2016*

This application proposes to amend the existing Warehouse approval by converting the single Warehouse into three separate Warehouse tenancies. The changes are sought in response to current market conditions whereby this smaller industrial footprint is more readily sought than a single tenancy.

The internal layout of the existing Warehouse is to be reconfigured into three separate tenancies. Each tenancy will have Warehouse space at ground level, with an ancillary office and storage at mezzanine level. An extract of the proposed site layout is shown in in **Figure 2** below. A copy of the amended proposal plans is provided within **Appendix D**.

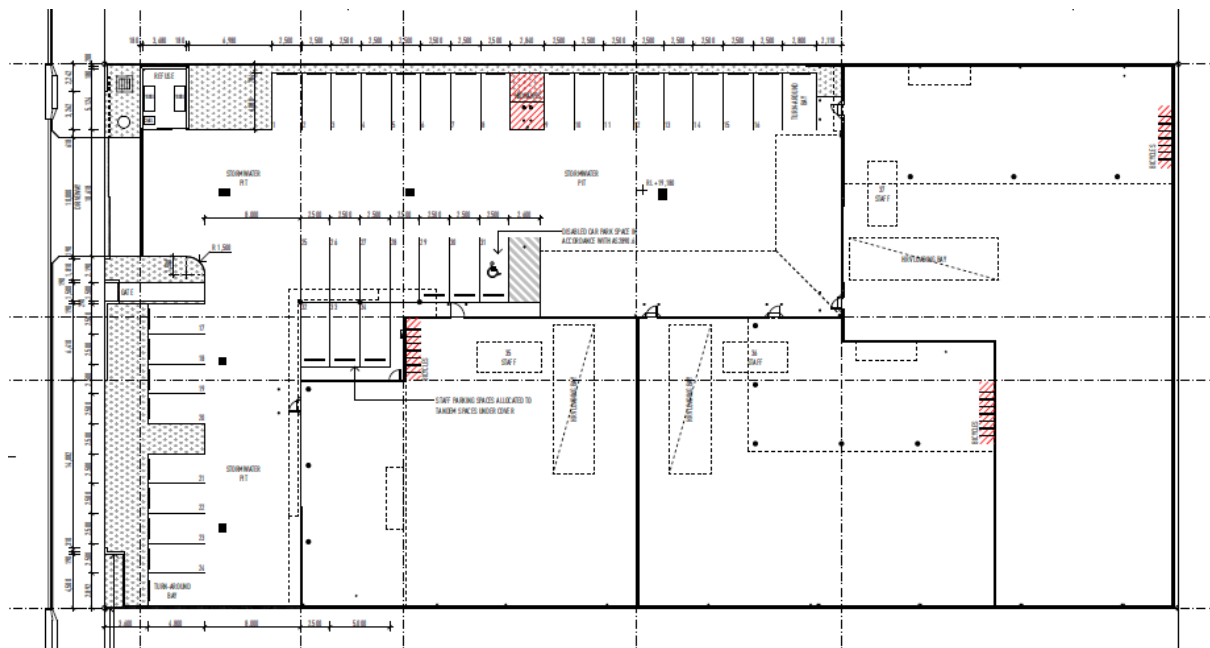


Figure 2: Proposed site layout (GDP File, 2024)

The approved development had a Gross Floor Area (GFA) of 2,855.57m² and a Total Use Area (TUA) of 2,091.77m². The GFA of the changed development will be slightly lowered at 2,824.78m². An amended TUA of 2,667.25m² is also proposed.

The development proposes an ancillary office for each tenancy below the required 20% TUA threshold. Each tenancy proposes the following areas for ancillary offices:

- Tenancy 1 – (19%)
- Tenancy 2 – (15.9%)
- Tenancy 3 – (12.5%)

As a result of the proposed changes, the development is required to provide a total of 38 parking spaces. The development provides 37 parking spaces, which is marginally below this requirement. The existing carparking layout will remain largely unchanged but will be altered slightly to fit the additional parking spaces. 34 parking spaces will be located externally, with three parking spaces located inside each tenancy (one per tenancy - reserved for staff). In addition, bicycle parking is provided within each tenancy at a rate of eight bicycle parking spaces per tenancy.

The reduced parking supply is considered appropriate given it is only marginally less than what would normally be required (a shortfall of only one parking space). The remaining parking bays are considered acceptable to cater to the demand of the proposed warehouse tenancies.

With regard to site servicing, the development provides for a Heavy Rigid Vehicle (HRV) loading bay within each tenancy. The original approval allowed for HRV servicing in lieu of Articulated Vehicle (AV) servicing given the size and shape of the site does not allow for full-on-site manoeuvring for an AV (noting that allowance for restricted manoeuvring for AVs will be maintained in accordance with the original approval). This arrangement will be maintained under the proposed minor change. Swept paths for HRV manoeuvring are shown on the amended proposal plans.

With regard to external changes, the façade of the building will remain largely unchanged. The only changes proposed are to the warehouse roller doors providing access to the heavy vehicle loading bays. In particular, the two warehouse doors on the building's western façade will be shifted slightly to align with the new internal tenancy layout to ensure access to the heavy vehicle loading bay can be maintained for each unit. The adjoining wall on the southern façade (front) will also shift further south (but this is only marginal). The existing two roller doors along the building's rear southern façade will be replaced with a single roller door.

The development also maintains the following aspects relevant to the minor change:

- Bin storage will remain located within the south-west corner of the site.
- No change to traffic generation or site access.
- No change to stormwater characteristics across the site.
- No change to the approved landscape design.

4.1 Conditions Requiring Amendment

Based on the changes detailed above, the Applicant proposes the following conditions be amended:

Table 3 Summary of Requested Condition Changes			
Condition No.	Condition Aspect	Requested Change	Justification
2	Approved drawings	Amend condition	Amend condition to reflect updated plans, date, drawing number and version.
3	Scope of approval – Ancillary office	Amend condition to remove reference to double storey ancillary office and single tenancy	The development proposes to convert the single Warehouse into three separate tenancies, each with their own ancillary office. Further, the ancillary offices are proposed to be located on the first-floor mezzanine only (no ground floor offices are proposed).
12	Off street vehicle and car parking facilities	Amend condition	Amend condition to reflect a total car parking requirement of 37 vehicles.

14	Loading areas	Amend condition	Amend condition to reflect the three tenancies which are each proposed to contain a separate loading bay.
18	Driveways and vehicular crossings	Amend condition	Amend condition to reflect updated plans, date, drawing number and version.
Infrastructure Charges Notice (ICN)	Infrastructure Charges	Amended ICN	Amend ICN to reflect updated GFA calculation.

5.0 PLANNING ACT 2016 LEGISLATIVE AND STATUTORY CONSIDERATIONS

5.1 PLANNING ACT 2016 – MINOR CHANGE ASSESSMENT PROVISIONS

To assist the determination of this minor change application, detailed assessment of the requested changes has been undertaken against the assessment provisions as outlined within section 81 of the Act in which the responsible.

The outcome of this assessment is as follows:

s.81(3)(a) *must assess against, or have regard to, the matters that applied when the development application was made; and*

Comment: The original development application was made under an existing preliminary approval that altered the effect of the Planning Scheme. This request does not alter the matters that applied when the development application was made.

s.81(3)(b) *may assess against, or have regard to, the matters that applied when the change application was made.*

Comment: The preliminary approval under which the original development application was made is still in effect over the subject site. The proposed changes will maintain consistency with the existing preliminary approval.

5.2 PLANNING ACT 2016 SCHEDULE 2 (DICTIONARY)

Chapter 1 Section 6 of the Act provides the Definitions and meanings of particular words used throughout the Act, and refers specifically to the Dictionary in Schedule 2.

Schedule 2 provides the definition of 'minor change':

- (a) for a development application; and
- (b) for a development approval.

For this particular application request, a minor change 'for a development approval' is relevant.

The definition assists in providing a guideline to the compliance within meaning of minor change and is presented in the below table.

Table 4 Minor Change	
(b) for a development approval-	Comment/Compliance
(i) would not result in substantially different development; and	Complies The proposal does not result in substantially different development, as indicated in Table 5 below.

Table 4 Minor Change

(b) for a development approval-	Comment/Compliance
	The proposed amendments simply seek to convert a single industrial Warehouse into three separate tenancies. As such, the proposal is seen as generally consistent with the original approval.
(ii) if a development application for a development including the change, were made when the change application is made would not cause – (A) the inclusion of prohibited development in the development; or (B) referral to a referral agency, other than to the chief executive, if there were no referral agencies for the development application; or (C) referral to extra referral agencies, other than to the chief executive officer; or (D) a referral agency to assess the application against, or have regard to, matters prescribed by a regulation under section 55(2), other than matters the referral agency must have assessed the application against, or have had regard to, when the application was made; or (E) public notification if public notification was not required for the development application.	(A) Complies The proposed change would not result in prohibited development. (B) Not Applicable There were no referral agencies triggered for the original development application. (C) Complies No extra referral agencies will be triggered for referral. (D) Complies No additional assessment matters are required to be assessed by a referral agency. (E) Not applicable Public notification was not required for the original development application. This change application does not trigger the need for public notification (application remains Code Assessable).

Table 5 DA Rules Schedule 1 – Substantially different development

A change may be considered to result in a substantially different development if the proposed change:

Test	Comment/Compliance
(a) involves a new use; or	Complies Proposal does not involve a new use.
(b) results in the application applying to a new parcel of land; or	Complies The proposal does not result in the application applying to a new parcel of land.
(c) dramatically changes the built form in terms of scale, bulk and appearance; or	Complies The proposal does not involve a dramatic change in built form in terms of scale, bulk and appearance. In particular, the majority of changes relate to internal reconfigurations to create the three tenancies. The only external changes proposed relate to the realignment of warehouse roller doors to align with the new tenancy layout and slight adjustment of the southern façade (front, near parking bay 34).
(d) changes the ability of the proposed development to operate as intended; or	Complies The proposal does not change the ability of the land use to function or operate as intended by the original approval. Whilst now divided into three separate tenancies, the Warehouse can still carry out its role.
(e) removes a component that is integral to the operation of the development; or	Complies The proposal does not remove any integral component to the proposed development or operation of the development. Specifically, the building is being divided into three tenancies, and ensures all required parking, access and manoeuvring is fully maintained, although results in a shortfall of one parking space. The core warehousing use will not change as a result of this change application.
(f) significantly impacts on traffic flow and the transport network, such as increasing traffic to the site; or	Complies The proposal will not dramatically increase traffic to the site, nor will it have any other significant impact on traffic flow or the wider transport network. The proposed changes result in a slight increase in parking requirements due to the

	introduction of the new tenancies (additional two parking spaces required per tenancy). This small increase is not considered significant.
(g) introduces new impacts or increase the severity of known impacts; or	Complies The extent of the change will not introduce any new impacts, nor increase the severity of any known impacts.
(h) removes an incentive or offset component that would have balanced a negative impact of the development; or	Complies The proposal does not remove any incentive or offset component in relation to the proposed development.
(i) impacts on infrastructure provisions.	Complies The proposal does not involve a change that would impact on the provision of planned infrastructure.

Given the above, we are of the position that the proposed changes generally comply with the relevant provisions under the Act.

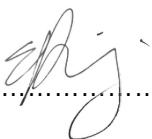
6.0 CONCLUSION

Having consideration to the above compliance statement and attached information, it is considered that the proposed change to the conditions of approval are relatively minor in nature and are consistent with those that are generally envisaged under s.78 of the Act.

If you require any further information or have any queries, please contact the undersigned.

Yours faithfully,

GASSMAN DEVELOPMENT PERSPECTIVES PTY LTD



ERIKA DI LUIGI

SENIOR TOWN PLANNER

Enclosed: *Attachment A – Forms*
 Attachment B – Current Approval Package MCU/2022/525
 Attachment C – Current Preliminary Approval Package MIN/2023/64
 Attachment D – Amended Proposal Plans

ATTACHMENT B

CURRENT APPROVAL PACKAGE MCU/2022/525



gasman
development
perspectives

planning
environment
landscape
engineering
survey

Our reference: MCU/2022/525
Your reference: 6132

Decision notice—approval (with conditions)

(Given under section 63(2) of the *Planning Act 2016*)

Date of decision notice: 31 March 2023

Applicant details

Applicant name: Eastridge 117 Pty Ltd
Applicant contact details: C/- Gassman Development Perspectives
PO BOX 392
BEENLEIGH QLD 4207

Application details

Application number: MCU/2022/525
Approval sought: Material Change of Use (Code Assessment)
Details of proposed development: Warehouse

Location details

Street address: 28 Eastridge Street, Stapylton Qld 4207
Real property description: Lot 117 SP316137

Decision

Date of decision: 28 March 2023
Decision details: Under Delegated Authority, the Executive Coordinator Planning Assessment of the City Development Branch approves the issue of a development application in full, with conditions.

Details of the approval

Development permit: Material Change of use (Code) for a Warehouse

Conditions

The conditions that have been imposed by Council, as Assessment manager, are enclosed.

Further development permits

The following development permits are required to be obtained before the development can be carried out:

- Operational works – vehicle access
- Operational works – landscape works (private)
- Operational works – infrastructure
- Application to work on the City's infrastructure
- Permit for plumbing and drainage work
- Building works

Notwithstanding the above, other approvals/development permits may be required.

Properly made submissions

Not applicable—No part of the application required public notification.

Currency period for the approval (section 85 of the Planning Act 2016)

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of six years

Approved plans and drawings

Approved plans and drawings are attached and are identified in the conditions imposed by Council as the Assessment manager.

Appeal rights

Applicant	You have appeal rights in relation to this decision. An appeal may be made against, as applicable: • the refusal of part of the development application; or • a provision of the development approval; or • if a development permit was applied for, the decision to give a preliminary approval. An appeal must be started within 20 business days after this notice is given to you. An appeal may be made to the Planning and Environment Court or, for certain matters which are identified in section 1(2) of Schedule 1 of the <i>Planning Act 2016</i>, to a development tribunal. An appeal is started by lodging a notice of appeal with the registrar of the Planning and Environment Court or a development tribunal, as applicable. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required fee. An appellant to the Planning and Environment Court must give a copy of the notice of appeal, within 10 business days after the appeal is started, to the persons identified in section 230(3) of the <i>Planning Act 2016</i>. A person who is appealing to the Planning and Environment Court must comply with the rules of the court that apply to the appeal. An extract of Chapter 6, Part 1 and Schedule 1 of the <i>Planning Act 2016</i> is attached to this notice, which sets out further information about the appeal rights.
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For further information please contact Natasha Sidabutar, Planner on p: 07 5582 8866 or via email mail@goldcoast.qld.gov.au who will be pleased to assist.

AUTHORISED BY

Adam Morris
Supervising Planner (North)
For the Chief Executive Officer
Council of the City of Gold Coast

enc:

Conditions imposed by Council as Assessment manager
Statement of reasons (given under section 63(4) of *Planning Act 2016*)

Attach:

Stamped approved plans and drawings (MCU/2022/525)
Infrastructure charges notice for the approved development
Appeal rights extracts

Development Conditions imposed by Council as Assessment Manager

General

1	Timing a All conditions of this development approval must be complied with at no cost to Council at all times unless otherwise stated in another condition. b Where the timing in a condition is prior to commencement of the use and a Building Format Plan is lodged for approval, the timing in the condition changes from being prior to commencement of the use to being prior to the earlier of the commencement of the use and approval of the plan of subdivision. This timing requirement prevails despite any inconsistency with the timing requirement in another condition.
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2	Approved drawings Undertake and maintain the development generally in accordance with the following drawings including as amended in red by the Council:
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Drawing Title	Author	Date	Drawing No.	Ver
SITE PLAN (AS AMENDED IN RED BY COUNCIL)	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/1.03	C
CAR PARK DIMENSION PLAN	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/1.02	C
LANDSCAPE INTENT	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/1.07	C
REFUSE / STORAGE DETAILS	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/2.1	C
REFUSE / STORAGE DETAILS	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/2.2	C
GROUND FLOOR PLAN	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/3.01	C
DIMENSION PLAN – GROUND FLOOR	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/3.02	C
FIRST FLOOR PLAN	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/3.03	C
DIMENSION PLAN – FIRST FLOOR	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/3.04	C
ROOF PLAN	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/3.05	C
ELEVATIONS	TWO CLICKS	21.02.2023	BP1358/WD/4.01	C

		DESIGN			
	ELEVATIONS	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/4.02	C
	SECTION A & B	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/5.01	C
	SECTION C & D	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/5.02	C
	SECTION E & F	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/5.03	C
	COLOURS AND MATERIALS	TWO CLICKS DESIGN	17.02.2023	BP1358/WD/11.01	C
The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.					
3	Scope of approval – Ancillary office (<i>Specific condition</i>) This approval permits an ancillary office area consisting of ground and first level areas of the single tenancy to be used in conjunction with, and subordinate to, the approved Warehouse use on the same lot. The scope of approval includes: • The Warehouse tenancy and associated ground and first level ancillary office area must operate as a single business operation at all times. • The ground and first level ancillary office area of the tenancy are not permitted to be used by any third parties not directly associated with the Warehouse use on the site. • The ground and first level ancillary office area is not permitted to be increased in size.				
Property					
4	Requirement to register easements – Water Supply a Register the following easements for the purpose stated below in accordance with the WSAA Water Supply Code of Australia – SEQ Edition and City of Gold Coast's Standard Water Meter Drawings. i“Water Supply” easement over all Council water meter assemblies. b The terms of the easement must include: - i Standard terms document 707918364 must be referenced on Form 9 – easement document. - ii Easement plans and associated documents (i.e.: Form 9 – easement document and general consent form 18) must be fully completed and signed by the owner of the burdened land (and any mortgagees, if necessary) and benefitting land before they are submitted to council for endorsement. c Registration of the easement must occur at the same time as registering the survey plan or prior to commencement of use whichever is the sooner. d Ensure water infrastructure is positioned appropriately within the easement as per Council's Standard Water Meter Drawings. e This condition attaches to the land the subject of the development approval and binds the owner(s) of the land and the owners' successors in title (even after the time when the easement is required to be registered). Therefore, if this condition is not complied with at the time required by this condition, the owner(s) of the land and the owners' successors				

	in title continue to be obligated to register the easement in accordance with this condition and must do so within 40 business days of becoming aware of the non-compliance with this condition.
5	Restrictions regarding Council easements and sewer and water supply infrastructure - No building work or deep landscaping is permitted over or within any Council public utility easement. - Ensure all proposed buildings, structures and footings are a minimum distance of 1.2 horizontal metres from Council infrastructure. - Ensure all proposed buildings, deep landscaping, structures and footings are a minimum 1 metre clear of the property sewer connection. - Ensure a minimum 2.4 metres unobstructed vertical clearance from the finished surface level above Council sewerage infrastructure including the property inspection opening (IO).
Amenity	
6	Screening of visually offensive components Locate and screen the following components of the development so that they are not visible from any road to which the site has frontage, adjoining premises or otherwise on display from any public thoroughfare or vantage point: - Refuse storage areas - Service equipment - Mechanical ventilation - Refrigeration units - Storage areas for machinery, materials, vehicles or the like.
7	Hours of operation (<i>Specific condition</i>) Activities associated with the operation of the use can occur 24 hours a day, seven days a week and include the following activities: - All activities internal to the Industry associated with the operation of the use - Loading and unloading activities - Ancillary office activities.
8	Lighting to ensure pedestrian and community safety (<i>specific condition</i>) Install and maintain lighting within the site boundary for all car parking areas, outdoor activity areas, and along all on-site pedestrian pathways, at no cost to Council. The design and construction of the lighting system must: - Meet minimum requirements of Australian Standard AS/NZS1158.3.1: 2005 Pedestrian area (Category P) lighting. - Meet the relevant requirements of the electricity supplier (e.g., Energex). - Be installed prior to the commencement of the use and maintained at all times. - Include vandal resistant structures such as high mounted lighting, anti-tamper screws, weather resistant bulkhead fitting, and robust material to withstand severe weather conditions.
9	Nuisance Undertake and operate the development in a manner that causes no detrimental effect upon surrounding premises by reason of noise nuisance, lighting nuisance or such other emissions. Specifically: - Position and direct all lighting so as not to exceed beyond the site boundary. - Future activities are not to generate noise emissions which would detract from the amenity of the nearest sensitive receivers.

	c	Future activities are not to generate odour and air emissions which would detract from the amenity of the nearest sensitive receivers.													
Environmental and Landscaping															
10	Landscaping works a Obtain an operational works approval to landscape the site and the adjoining road verge generally in accordance with the Statement of Landscape Intent listed below, prior to the commencement of the use at no cost to Council: <table><tr><th>Drawing Title</th><th>Author</th><th>Date</th><th>Drawing No.</th><th>Ver</th></tr><tr><td>Landscape Intent Package</td><td>Gassman Development Perspectives</td><td>24.02.2023</td><td>6132 pages 1-10</td><td>C</td></tr></table> and include in particular: - i Unless otherwise specified in these conditions, tree species must be a minimum bag size of 100L at the time of planting. - ii Palm species must be a minimum 3 metres in height at the time of planting. - iii Unless otherwise specified in these conditions, shrub species must be a minimum 200mm pot size at the time of planting. - iv Screening shrubs must be able to achieve a minimum height of 3 metres at maturity. - v Tree species planted with root zones adjacent to structures must have root control barriers and/or structure strengthening systems installed. Full demonstration of these systems is required. - vi Pandanus species must be ex-ground, a minimum 3 metres in height and multi headed at the time of planting. - vii Install large canopy tree plantings at 6 metre centres within the frontage garden beds. - viii Install a row of screening shrubs at 1 metre centres within the frontage garden beds. - ix Any installed frontage fencing for the development must be at least 50% transparent. - x All road reserve turf must be repaired and replaced if damaged - xi Existing street tree must be retained or replaced with 200L canopy shade trees in accordance with Standard drawing 05-103 within SC6.11 City Plan policy – Land development guidelines. b Construct and maintain the private landscaping identified above at no cost to Council at all times.					Drawing Title	Author	Date	Drawing No.	Ver	Landscape Intent Package	Gassman Development Perspectives	24.02.2023	6132 pages 1-10	C
Drawing Title	Author	Date	Drawing No.	Ver											
Landscape Intent Package	Gassman Development Perspectives	24.02.2023	6132 pages 1-10	C											
Transport															
11	Security gate requirements (<i>Specific condition</i>) All security gates must remain open to allow vehicular and pedestrian access for employees and visitors during the approved hours of operation of the development.														
12	Off street vehicle and car parking facilities a Design and construct off street vehicle facilities at no cost to Council prior to the commencement of the use, generally in accordance with the M38 Industrial Estate Place Code and include in particular: - i A total of 34 car parking spaces. - ii All spaces are drained, sealed and line marked. - iii Clearly identified signage and directional markings including: - Signage within the site directing entering motorists to visitor parking locations. - Delineation of parking spaces for people with disabilities.														

	- Signage and line marking indicating 'visitor parking' and 'staff parking' for visitor and staff spaces. b Undertake and maintain the off street vehicle and parking facilities at no cost to Council at all times. c The off-street parking facilities must only be used for vehicle parking.										
13	Loading and unloading (excluding waste collection vehicles) (<i>Specific condition</i>) Loading and unloading of service vehicles must be undertaken generally in accordance with the M38 Industrial Estate Place Code and include in particular: a Loading and unloading of any vehicle servicing the development must be conducted wholly within the site. b A vehicle, or vehicle waiting to be loaded or unloaded, must stand entirely within the site. c All vehicles must enter and exit the site in a forward gear, with the exception of Articulated Vehicles where restricted manoeuvring is permitted.										
14	Loading areas (<i>Specific condition</i>) a Loading areas within the Warehouse are to be clearly line marked. b Line marked loading areas are to be used for loading/ unloading of vehicles only.										
Engineering											
15	Rectification of Council's infrastructure a Rectify any damage caused to Council infrastructure (including kerb, channelling, service pits, footpaths and water and sewer reticulation networks) prior to commencement of the use at no cost to Council. b Construct and maintain the rectified Council infrastructure at no cost to Council prior to commencement of the use.										
16	Existing structures and services a Prior to commencement of works, identify all structures and services (i.e. electrical pillars, water metres/hydrants, telecommunication infrastructure) within pedestrian infrastructure areas (i.e. footpaths, outdoor dining, bike racks) that impede pedestrian accessibility, and where required, obtain the necessary approvals from the relevant public utility authority to have these structures and services removed/relocated at no cost to Council. b Ensure removal/relocation of these structures and services occurs prior to commencement of the use at no cost to Council.										
17	Rectification of Council's infrastructure a Rectify any damage caused to Council infrastructure (including kerb, channelling, service pits, footpaths and water and sewer reticulation networks) prior to commencement of the use at no cost to Council. b Construct and maintain the rectified Council infrastructure at no cost to Council prior to commencement of the use.										
18	Driveways and vehicular crossings Obtain an operational works approval for the design and construction of the driveway and vehicular crossing, prior to commencement of the use at no cost to Council <table><tr><th>Drawing Title</th><th>Author</th><th>Date</th><th>Drawing No.</th><th>Ver</th></tr><tr><td>SITE PLAN (AS AMENDED IN RED BY COUNCIL)</td><td>TWO CLICKS DESIGN</td><td>21.02.2023</td><td>BP1358/WD/1.03</td><td>C</td></tr></table> and include in particular: i Construct and position to enable the maintenance of a public road and road verge, and not cause any obstruction to pedestrians or vehicular traffic. ii Not cause damage to vehicles or road infrastructure.	Drawing Title	Author	Date	Drawing No.	Ver	SITE PLAN (AS AMENDED IN RED BY COUNCIL)	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/1.03	C
Drawing Title	Author	Date	Drawing No.	Ver							
SITE PLAN (AS AMENDED IN RED BY COUNCIL)	TWO CLICKS DESIGN	21.02.2023	BP1358/WD/1.03	C							

	- iii Provide effective access between the road and the property. - iv Provide hydraulic capacity to allow stormwater flow towards the closest stormwater infrastructure. Must be a minimum 1.0m separation from the wings of any gully pit. If this is not the case on site, then the vehicular crossing or the gully pit must be relocated and reconstructed to achieve the required separation.
19	Electrical reticulation Enter into a contractual agreement to design, construct and connect an electrical reticulation system at no cost to Council and include in particular: - a Provide underground electricity to proposed building. - b No additional poles are to be erected within public roads. - c Meet the requirements of the electricity supplier (e.g., Energex).
20	Telecommunications network Enter into a contractual agreement to design, construct and connect a telecommunications services network at no cost to Council and include in particular: - a Provide underground telecommunications to the proposed building, lead-in conduits and equipment space/s in a suitable location within the building/s, to suit the carrier of choice. - b All new pit and pipe infrastructure required to be installed along public road(s), must be suitably sized to cater for future installation of fibre optic cables. - c Meet the telecommunications industry standards (e.g., Telstra/NBN Co standards).
Stormwater Drainage	
21	Overland flow paths and hydraulic alterations - a Leave unaltered the overland flow paths on the site, such that the characteristics of existing overland flows on other properties remain uninhibited and unchanged. - b The development must not: - i Increase peak flow rates downstream from the site. - ii Increase flood levels external to the site. - iii Increase duration of inundation external to the site that could cause loss or damage.
22	Erosion and sediment control - a Undertake works generally in accordance with the Healthy waters code of the City Plan and include in particular: - i Ensure all reasonable and practicable measure are implemented to minimise short and long-term erosion and adverse effects of sediment transport. Also ensure the proposed control measures will achieve 80% hydraulic effectiveness as required by the SPP (refer to SPP Appendix 2 Table A). - ii Sediment control structures e.g.: sediment fence must be placed at the base of all materials on site to mitigate sediment run-off. - iii A perimeter bund and/or diversion drain must be constructed around the disturbed areas to prevent any outside clean stormwater from mixing with polluted / contaminated stormwater. - iv All polluted / contaminated water from the site, including dewatering discharge, must be treated to achieve the water quality objectives in Table 8.2.1 of the Queensland Water Quality Guidelines (DERM September 2009) prior to discharging from the site. - v Inspections for erosion and sediment control measures are to occur in accordance with the compliance procedures in City Plan Policy SC6.11– Land development guidelines, section 4.5.17.1.2 – Compliance.

Sewer and Water Works	
23	Sewer connection - reuse existing sewer connection Connect the site to Council's sewer network via the existing 150mm connection serving the site, prior to commencement of the use at no cost to Council and include in particular: - i Be in accordance with the WSAA Gravity Sewerage Code of Australia – SEQ Service Providers Edition and the Water and Sewerage Connections Policy. - ii The size of the sewer property service connection must be in accordance with Section 5.5.4 of the WSAA Gravity Sewerage Code of Australia – SEQ Service Providers Edition. - iii Where an inspection opening (IO) is to be located in a hardstand area, the inspection opening shall be brought to surface and provided with a trafficable screwtrap lid. - iv Remove / seal / cap redundant sewer property services. <i>Note:</i> <i>An "Application Work on the City's infrastructure" form is required for item iv above.</i>
24	Water connection Obtain an operational works approval for the design and construction of a water connection for the proposal to Council's potable water supply network at the existing 150mm main in Eastridge Street, prior to commencement of the use at no cost to Council and include in particular: - i Water connection to re-utilize the existing road crossing at the east boundary of the site. - ii Be in accordance with the Water Supply Code of Australia – SEQ Service Providers Edition, and the Water and Sewerage Connections Policy. - iii Water meters must be in accordance with the Metering Technical Specifications and Council's standard water meter drawings. - iv The water meter assembly is to be screened from public view. All screening to be outside of the water supply easement and door/s provided to ensure access to the assembly in compliance with Council's standard water meter drawings. - v Remove redundant water meters / connections. <i>Note:</i> <i>An "Application Work on the City's infrastructure" form is required for the above works.</i>
25	Fire loading Ensure the fire loading does not exceed 30L/s for 4 hours duration. Provide certification from a suitably qualified building certifier that fire loading does not exceed the fire loading above, prior to the commencement of the use, at no cost to Council. Refer to 'Certification of works' condition contained within this decision notice.
Construction Management	

26	Certification of works - Water and Waste Provide Council with a certificate prepared by qualified experts from the discipline listed below, confirming as follows: <table><tr><th>Certified document</th><th>Certification date</th><th>Expert discipline</th><th>Requesting Council Section</th></tr><tr><td>Fire loading certification</td><td>Prior to a commencement of the use</td><td>Registered Professional Engineer of Queensland (RPEQ) or a suitably qualified Licensed Building Certifier</td><td>Water and Waste</td></tr></table>	Certified document	Certification date	Expert discipline	Requesting Council Section	Fire loading certification	Prior to a commencement of the use	Registered Professional Engineer of Queensland (RPEQ) or a suitably qualified Licensed Building Certifier	Water and Waste
Certified document	Certification date	Expert discipline	Requesting Council Section						
Fire loading certification	Prior to a commencement of the use	Registered Professional Engineer of Queensland (RPEQ) or a suitably qualified Licensed Building Certifier	Water and Waste						
27	Availability of approved plans, drawings and reports Retain a copy of this decision notice and stamped approved plans, drawings and reports on site at all times during construction. Any contractors undertaking approved work (including tree removal or relocations) must be directly provided with a copy of these conditions and instructed as to the need to comply with them.								
28	Notice of works timetable Provide a Notice of works timetable for Commencement of work to Council's Development Compliance section prior to commencement of any works. A copy of Council's Notice of works timetable is available on Council website.								
Plumbing and Drainage Act 2018									
29	Plumbing and drainage works Obtain a permit for all plumbing and drainage work prior to any compliance assessable work commencing. <i>Note:</i> <i>A permit for plumbing and drainage works does not approve the discharge of trade waste to Council's sewerage system. The generator of trade waste must complete an application for approval to discharge trade waste to Council's Sewerage System (available on Council's website).</i>								
Advice Notes									
A	Land use definition The Warehouse definition pursuant to the M38 Industrial Place Code section 2.1.5 identifies that land use definitions are to be found within Part 4, Division 1, Chapters 1-3 of the Gold Coast City Planning Scheme 2003, as amended. The Our Living City Gold Coast Planning Scheme 2003 Version 1.2 (Amended November 2011) defines the proposed Warehouse use as follows: <i>'A building or enclosed land used to store and display goods, merchandise and materials and to sell these only by wholesale. This term does not include a Shop, Showroom, Salvage Yard or Toxic or Dangerous Goods Store.'This term includes a Car Wash Facility. It does not include a Service Industry, a Motor Vehicle Repair Station, a Salvage Yard, a Service Station, Home Activity or Home Occupation.'</i>								

B	Development infrastructure Development infrastructure required to be provided in implementing this development approval is non-trunk development infrastructure unless otherwise stated in a condition of the approval.					
C	Council water and sewer mains to be protected during site works The developer is responsible at all times for ensuring that Council's water and sewerage infrastructure is protected during construction activities on site. This may require physical protection measures to be put in place during works such as deliveries, moving heavy equipment into and out of the site, or when doing works in close proximity to water and sewer assets. Where Council water and sewer infrastructure is damaged during construction, Council will undertake immediate repairs and any costs associated with these repairs will be charged to the landowner, principal contractor or other relevant party. If further, more permanent repairs are required, such as replacement of water and sewer mains, the landowner, principal contractor or other relevant party will first be given an opportunity to complete these works (other approvals may be required), or Council will undertake these works and pass the costs on to the landowner, principal contractor or other relevant party.					
D	Connections and disconnections Any connection / disconnection to the existing water and sewerage networks will be at the applicant's cost. Prior to the connection / disconnection taking place, the applicant must obtain written approval from Water and Waste. Refer to Water and Sewerage Connections Policy, available on Council's website http://www.cityofgoldcoast.com.au					
E	No open trenching of the road pavement for water connections across / in roadways Conduits must be installed to service the proposed development via trenchless technology the road (open cutting of the road is not permitted) to connect to Council's potable water supply network. In certain circumstances approval of open trenching of the road may be allowed, subject to Council approval. Refer to Water and Sewerage Connections Policy, available on Council's website http://www.cityofgoldcoast.com.au					
F	Water meter sizing All water meters 50 mm in diameter or larger must be installed aboveground and on lot and require an Operational works approval and an easement over the water meter arrangement. Unrestricted access to the water service (including meters) must be provided at all times. Refer to Water and Metering Technical Specifications, available on Council's website http://www.cityofgoldcoast.com.au					
G	Further development permits / compliance permits Further development permits and/or compliance permits from Council are required to facilitate the development of the approved works identified in this decision notice. These include: <table border="1"><tr><td>City Assets</td></tr><tr><td>- Operational works - vehicle access works</td></tr></table> <table border="1"><tr><td>Landscape Assessment</td></tr><tr><td>- Operational works - landscape works (private)</td></tr></table> <table border="1"><tr><td>Plumbing and Drainage</td></tr></table>	City Assets	- Operational works - vehicle access works	Landscape Assessment	- Operational works - landscape works (private)	Plumbing and Drainage
City Assets						
- Operational works - vehicle access works						
Landscape Assessment						
- Operational works - landscape works (private)						
Plumbing and Drainage						

	- Permit for plumbing and drainage work			
	<table><tr><td>Water and Waste</td></tr><tr><td> - Operational works - infrastructure </td></tr><tr><td> - Application to work on the City's infrastructure </td></tr></table> A copy of this decision notice and accompanying stamped drawings / plans must be submitted with any subsequent application identified above. Subsequent development applications (i.e.: Operational works) will be assessed in accordance with the City Plan Version at the time of lodgement (excluding instances where Variation / Preliminary approval exists).	Water and Waste	- Operational works - infrastructure	- Application to work on the City's infrastructure
Water and Waste				
- Operational works - infrastructure				
- Application to work on the City's infrastructure				
H	Connections to, alteration or realignment of Council infrastructure Where development works require the connection to, alteration, removal or realignment of Council infrastructure or impact on other public utility infrastructure (e.g. telecommunications, electricity and gas), the applicant must obtain the necessary approvals from the relevant public utility authority prior to works commencing. Connection to, alteration, removal or realignment of Council infrastructure includes (but is not limited to) fire hydrants, water service meters, sewer maintenance hole covers, stormwater drainage infrastructure, reinstatement of maintenance hole covers, stormwater drainage infrastructure, crossovers, footpaths, road pavement, kerb and channel, kerb ramps, medians, traffic islands, road furniture, signage and line-marking.			
I	Operational Works meeting prior to lodgement Council's Water and Waste Development Services team encourage contact to discuss any water and sewer matters of significance prior to the submission of an application for Operational Works. Contact GCWDA@goldcoast.qld.gov.au to arrange a meeting.			
J	Design, Constructability and Minor change applications The application has been approved based on the information provided by the consultant. Water and Waste are not liable for any design or constructability issues experienced on-site. All necessary steps must be taken prior to construction to validate the information in the designs, including locating services. Should any changes be required to the design to ensure it can be constructed in compliance with relevant engineering standards; a Minor Change application (Section 78 of the <i>Planning Act 2016</i>) must be submitted and approved by Council prior to lodging a request for a Pre-Start meeting.			
K	Compliance with conditions Once this development approval takes effect, the conditions attach to the land and are applicable in perpetuity. It is a development offence to contravene a development approval, including any of its conditions.			
L	Indigenous cultural heritage legislation and duty of care requirement The <i>Aboriginal Cultural Heritage Act 2003</i> ('ACHA') is administered by the Department of Seniors, Disability Services and Aboriginal and Torres Strait Islander Partnerships (DSDSATSIP). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care: - a Is not negated by the issuing of this development approval; - b Applies on all land and water, including freehold land; - c Lies with the person or entity conducting an activity; and - d If breached, is subject to criminal offence penalties. Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care.			

	Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DSDSATSIP's Cultural Heritage Coordination Unit on 1300 378 401 for further information on the responsibilities of developers under the ACHA.
M	Infrastructure charges Infrastructure charges are now levied under a Charges Resolution by way of an Infrastructure Charges Notice, which accompanies this decision notice.
N	Applicant responsibilities The applicant is responsible for securing all necessary approvals and tenure, providing statutory notifications and complying with all relevant laws. Nothing in this decision notice alleviates the need for the applicant to comply with all relevant local, State and Commonwealth laws and to ensure appropriate tenure arrangements have been made where the use of/reliance upon land other than that owned by the applicant is involved. Without limiting this obligation, the applicant is responsible for: - Obtaining all other/further necessary approvals, licences, permits, resource entitlements etc by whatever name called required by law before the development the subject of this approval can be lawfully commenced and to carry out the activity for its duration. - Providing any notifications required by law (by way of example only, to notify the administering authority pursuant to the <i>Environment Protection Act 1994</i> of environmental harm being caused/threatened by the activity, and upon becoming aware the premises is being used for a 'notifiable activity'). - Securing tenure/permission from the relevant owner to use private or public land not owned by the applicant (including for access required by conditions of approval). - Ensuring existing survey marks, including cadastral marks at property corners, i.e pegs or cadastral reference marks in the road reserve (permanent surveys marks, buried iron pins, and various marks in concrete or bitumen structure) are not interfered with. A Consulting Cadastral Surveyor must be contacted if survey marks are disturbed or destroyed during any works in relation to this or related approvals, to investigate and determine if any further action is required. More information on interference with survey marks is available under Section 42 of the <i>Survey and Mapping Infrastructure Act 2003</i>. - Ensuring the correct siting of structures on the land. An identification survey demonstrating correct siting and setbacks of structures may be requested of the applicant to ensure compliance with this decision notice and applicable codes. - Providing Council with proof of payment of the Portable Long Service Leave building construction levy (or proof of appropriate exemption) where the total value of the building and construction works exceeds \$150,000 (excluding GST). Acceptable proof of payment is a Q.Leave –Notification and Payment Form approved by the Authority. Proof of payment must be provided before Council can issue a development permit for the Operational works. This is a requirement of section 77(1) of the Building and Construction Industry (Portable Long Service Leave) Act 1991. - Making payment of any outstanding Council rates and charges applicable to the development site prior to the lodgement of subdivision plans. - Obtaining any necessary local government/state approvals where works require the installation of temporary ground anchoring into adjacent Road Reserves. Where ground anchoring is proposed into an adjacent private property, approval from the relevant property owners(s) is required.
O	Weeds, pest animals and ants Biosecurity Queensland of the Department of Agriculture and Fisheries leads the Government's efforts to prevent, respond to and recover from pests and diseases threatening agricultural prosperity, the environment, social amenity and human health. All landscape materials, including but not limited to, soils, mulch, grass, gravel, potted or ex-ground plants, pavers and timber used in landscape treatments must be free from weeds,

	pest animals and ants.
P	Fire ant control A significant portion of the Gold Coast is within Fire Ant Biosecurity zone 2 and must remain vigilant for the presence of fire ants. Under the <i>Biosecurity Act 2014</i> individuals and organisations whose activities involve the movement or storage of fire ant carriers have a general biosecurity obligation to take all reasonable steps to ensure they do not spread fire ants. Movement of a fire ant carrier from within the fire ant biosecurity zone may need a biosecurity instrument permit. More information is available on the Department of Agriculture and Fisheries website www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants.
Q	Incorporation of Equitable Access at the Detailed Design Stage All public spaces and facilities within the development must provide equitable access, including continuous accessible paths of travel, in compliance with the <i>Commonwealth Disability Discrimination Act (1992)</i> and the Disability (Access to Premises – Buildings) Standards 2010.

Statement of reasons (given under section 63(4) of the *Planning Act 2016*)

Details of proposed development	The proposed development is for a Material change of use (Code assessable) for a Warehouse.
Assessment benchmarks	The following assessment benchmarks applied to the proposed development: • M38 Industrial Estate Place Code; • Car parking, access and transport integration code; • Works for infrastructure code; and • Landscape work code.
Relevant matters	Not applicable – Code assessment
Reasons for decision	An assessment of the development application was carried out against the assessment benchmarks listed above and was determined to comply. A summary of the main reasons for the decision are as follows: • The development is consistent with intent of the M38 Industrial Estate Place Code, being the overarching categorising instrument for the site; and • The development includes an articulated façade to the street frontage and includes substantial landscaping promoting a high quality industrial area. • The development provides car parking at the rate that is compliant with the M38 Industrial Estate Place Code and is not considered to burden available on street car parking. • Pedestrian access is provided from the external footpath to the ancillary office ensure safe access to pedestrians entering the development. • All loading and unloading of service vehicles is achieved within the subject site.
Matters prescribed by a regulation	Not applicable

NOTE

REINSTATE SURROUNDS WHERE CONSTRUCTION HAS DISTURBED, REMOVE ALL DEBRIS, SURPLUS EXCAVATION / FILL FROM SITE. REGRASS AND GENERALLY LEAVE TIDY.

ENSURE THAT FINISHED GROUND AND PAVING SURFACES FALL AWAY FROM THE HOUSE AND DRAIN TO AVOID PONDING OF WATER, GRADED TO A SLOPE NOT LESS THAN 1:20 OVER THE FIRST 1000mm FROM THE BUILDING.

STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH BCA PARTS 3.1.2. & 3.5.2. IN ADDITION TO AS/NZS. 3500 & DISCHARGED TO LOCAL AUTHORITIES REQUIREMENTS, REFER HYDRAULIC ENGINEERS DETAILS.

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS AS REQUIRED.

THE HEIGHT IF OVERFLOW RELIEF GULLYS RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 90mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80 DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

ENERGY EFFICIENCY

SHOWER ROSES TO BE A MINIMUM OF AAA RATING.
WATER CLOSETS TO BE DUAL FLUSH.

MECHANICAL VENTILATION

MECHANICAL VENTILATION SYSTEM COMPLYING WITH AS 1668.1, AS 1668.2 AND SHALL BE PROVIDED IN ACCORDANCE WITH THE MECHANICAL VENTILATION CONSULTANTS DETAILS TO REQUIRED ROOMS.

NOTE : SEE HYDRAULIC CONSULTANTS DESIGN FOR DOWNPIPE AND STORMWATER DISCHARGE

FIRE SERVICES, EMERGENCY LIGHTING

AND SMOKE ALARM LEGEND

ALL LUMINAIRES TO BE COMPLIANT WITH AS/NZ 2293, AND THE B.C.A REFER TO ELECTRICAL CONSULTANTS DOCUMENTATION FOR FURTHER DETAIL AND CLARIFICATION.

	2x 18 FL SINGLE SIDED, MAINTAINED JUMBO EXIT LUMINAIRE (IN WAREHOUSE ONLY) 4 WATT COLD CATHODE SINGLE SIDED MAINTAINED EXIT LUMINAIRE (OFFICE AREA)
	2 x 35W FL BATTEN CHAIN SUSPENDED EMERGENCY LIGHT (INTERNAL) 2 x 35W FL SURFACE MOUNTED WEATHER RESISTANT EMERGENCY LIGHT (EXTERNAL)
EXIT	1 x 10W HALOGEN NON MAINTAINED RECESSED EMERGENCY LIGHT
F.H.R	FIRE HOSE REEL - 36 METERS, 100mm CLEARANCE ALL ROUND, INSTALLED IN ACCORDANCE WITH AS 2441
	NOTE : FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH B.C.A E 1.6 AND SELECTED, LOCATED AND DISTRIBUTED IN ACCORDANCE WITH AS 2444.

PEDESTRIAN TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY. LOW LEVEL LANDSCAPING PERMITTED TO A MAXIMUM MATURE HEIGHT OF 500mm ABOVE DRIVEWAY LEVEL

+ R.L. 00.000 SURFACE LEVEL

X 00.000 EXISTING SURFACE LEVELS

F.L. 00.000 FLOOR LEVEL

PROPERTY DESCRIPTION

LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD
LOT 117 ON SP2195994
PARISH OF TBC
COUNTY OF TBC
SITE AREA - 4094m²
SITE COVER - 57.81%

SITE PLAN

1:200 @ A1

PRELIMINARY ONLY

NOT FOR CONSTRUCTION

DEVELOPMENT DETAILS

PRECINCT B (GENERAL IMPACT BUSINESS AND INDUSTRY)
CLASS 8 - TYPE C CONSTRUCTION

GROUND FLOOR WAREHOUSE (INC AMENITIES) GFA	2366.92m ²
FIRST FLOOR OFFICE (INC AMENITIES) GFA	322.18m ²
MEZZANINE FLOOR AREA	166.47
LANDSCAPING	246m ²
TOTAL BUILDING AREA	2855.57m ² (NOT INC. LANDSCAPING)
SITE AREA	4094m ²

AREA USE CALCULATIONS

GF AREA - GFA - WAREHOUSE	2,154.84m ²
DEDUCTIONS GF - WAREHOUSE	
WALLS	41.02m ²
KITCHEN	2.04m ²
TOILETS	12.87m ²
STAIR	7.14m ²
TOTAL GF DEDUCTIONS - WAREHOUSE	63.07m ²
TOTAL USE AREA WAREHOUSE	2,091.77m ²
ALLOWABLE 20% OFFICE USE AREA	418.34m ²
GF OFFICE AREA - GFA - WAREHOUSE	212.46m ²
DEDUCTIONS GF - OFFICE	
WALLS	10.0m ²
STAIR	7.14m ²
TOILETS	12.23m ²
LUNCH ROOM	29.22
TOTAL GF DEDUCTIONS - OFFICE	58.59m ²
TOTAL USE AREA OFFICE	153.87m ²
FF OFFICE AREA - GFA - OFFICE	329.20m ²
DEDUCTIONS FF - OFFICE	
WALLS	14.08m ²
KITCHEN	2.04m ²
TOILETS	10.63m ²
FACADE	21.57m ²
TOTAL FF DEDUCTIONS - OFFICE	48.32m ²
TOTAL USE AREA OFFICE	280.88m ²
FF MEZZANINE AREA - GFA - MEZZANINE	173.52m ²
DEDUCTIONS FF - MEZZANINE	
WALLS	7.43m ²
FACADE	2.78m ²
STAIR	7.14m ²
TOTAL FF DEDUCTIONS - MEZZANINE	17.35m ²
TOTAL USE AREA MEZZANINE	156.17m ²

CARPARKING
2 PER TENANCY +1/50m² FOR FIRST 500m² GFA
+ 1/100m² THEREAFTER
CARPARKING REQUIRED: 33 SPACES
CARPARKING PROVIDED: 37 SPACES

LANDSCAPED SPACE
1 SPACE PER 40 CAR SPACES
LANDSCAPED SPACE REQUIRED: NA
LANDSCAPED SPACE PROVIDED: NA

DISABLED PARKING
1 SPACE FOR EVERY 100 CAR PARKING SPACES OR THERE AFTER
DISABLED SPACES REQUIRED: 1
DISABLED SPACES PROVIDED: 1

BICYCLE PARKING
1 : 150 GFA
BICYCLE SPACES REQUIRED: 19
BICYCLE SPACES PROVIDED: 21

WASTE GENERATION GENERAL

GENERAL				
INDUSTRY	50 LTRS/100m ²	(2367.31m ²)	=1183.65	LTRS/DAY
OFFICE	10 LTRS/100m ²	(495.56m ²)	=49.56	LTRS/DAY
TOTAL PER DAY			=1233.2	LTRS/DAY
TOTAL PER WEEK			=6166.03	LTRS
1x INDUSTRIAL BINS 3000L (2 PICK UP PER WEEK)			=6000	LTRS
1x INDUSTRIAL BINS 1000L (1 PICK UP PER WEEK)			=1000	LTRS

SIZE	CAPACITY (L)	LENGTH	WIDTH	HEIGHT
-	3000	2030mm	1450mm	1684mm
-	1000	1738mm	991mm	1318mm

WASTE GENERATION RECYCLE

RECYCLE				
OFFICE	20 LTRS/100m ²	(495.56m ²)	=99.11	LTRS/DAY
TOTAL PER DAY			=99.11	LTRS/DAY
TOTAL PER WEEK			=495.56	LTRS
1 x WHEELIE BINS 360L (2 PICK UP PER WEEK)			=720	LTRS

SIZE	CAPACITY (L)	LENGTH	WIDTH	HEIGHT
-	360	865	650	1100

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No: MCU/2022/525

Dated: 28 March 2023

Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

As amended in red by Council
(Condition 2 MCU/2022/525):
Designated 12.5 x 3.5m HRV
service bay (delineated),
indicative signage to be
located on exterior of building.

• THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. WHILE ALL ATTEMPTS HAVE BEEN MADE TO ENSURE THE ACCURACY OF THE DRAWING, JARED POOLE DESIGN WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
• THE WORKS DESCRIBED ON THIS DRAWING AND ACCOMPANYING DRAWINGS ASSOCIATED WITH THIS PROJECT PRODUCED BY JARED POOLE DESIGN ARE COVERED BY COPYRIGHT. THE WORKS DESCRIBED ARE APPLICABLE TO THE PROJECT SITE ONLY AND MUST NOT BE USED FOR ANY OTHER PURPOSE. WORKS CANNOT BE COPIED OR REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION OF JARED POOLE DESIGN.

PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 EASTRIDGE STREET, VANTAGE, YATALA, QLD
FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m	10m	20m
DRAWING SITE PLAN	DRAWING No. BP1358/WD/1.03	ISSUE C
DRAWN CV / KF		
DATE FEB '23		
SCALE 1:200 @ A1		

two clicks design

NOTE

REINSTATE SURROUNDS WHERE CONSTRUCTION HAS DISTURBED, REMOVE ALL DEBRIS, SURPLUS EXCAVATION / FILL FROM SITE. REGRASS AND GENERALLY LEAVE TIDY.

ENSURE THAT FINISHED GROUND AND PAVING SURFACES FALL AWAY FROM THE HOUSE AND DRAIN TO AVOID PONDING OF WATER, GRADED TO A SLOPE NOT LESS THAN 1:20 OVER THE FIRST 1000mm FROM THE BUILDING.

STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH BCA PARTS 3.1.2, 3.1.3 & 3.5.2. IN ADDITION TO AS/NZS. 3500 & DISCHARGED TO LOCAL AUTHORITIES REQUIREMENTS, REFER HYDRAULIC ENGINEERS DETAILS.

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS AS REQUIRED.

THE HEIGHT IF OVERFLOW RELIEF GULLYS RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 90mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80 DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

EXCAVATION NOTES

BANKS TO BE BATTERED IN ACCORDANCE WITH THE BCA, PART 3.1.1 RETAINING WALLS THAT EXCEED 1m IN HEIGHT WILL REQUIRE ADDITIONAL APPROVAL PRIOR TO THE RELEASE OF A FINAL CERTIFICATION FORM 21.

CONTOURS AND LEVELS MAY BE BASED ON PROPOSED SITE INFORMATION ONLY. CHECK AND VERIFY ALL CONTOUR AND SPOT LEVELS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

GRADE SITE AWAY FROM BUILDING A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO THE PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES.

NOTE

1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS

ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC. ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC.

NOTE

FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH B.C.A E1.6 AND SELECTED, LOCATED AND DISTRIBUTED IN ACCORDANCE WITH AS 2444.

WINDOW AND DOOR DESIGN
GLASS WHICH FORMS ANY EXTERNAL WALL OF A BUILDING DOES NOT EXCEED:
-A MAXIMUM DEGREE OF REFLECTION OF BOTH HEAT AND LIGHT OF TWENTY PERCENT (20%)
-SIXTY PERCENT (60%) OF THE TOTAL AREA OF SUCH WALL.

PART A:
DESIGN WIND PRESSURE:
REFER STRUCTURAL ENGINEER FOR WIND DESIGN PRESSURES FOR ALL WINDOWS AND DOORS AND THEIR STRUCTURAL ELEMENTS.

FURTHER ALLOWANCES FOR LOCAL PRESSURE ZONES BY MANUFACTURER, REFER FIGURE B2, AS 1170 / PART 2, REFER TO STRUCTURAL ENGINEER FOR DETAILS OF RATINGS AND DESIGN LIMITS

NOTE

PART B :
ALL WINDOWS AND DOORS SHALL BE TESTED FOR WATER PENETRATION TO CONFORM WITH AS 2047 AND AS 2048, 1997 PART 5.3.4 AND RELEVANT LOCAL AUTHORITY CONDITIONS

WATERPROOFING OF WET AREAS
(A) BUILDING ELEMENTS IN WET AREAS IN CLASS 2 AND 3 BUILDINGS AND CLASS 4 PARTS OF BUILDINGS MUST BE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH AS3740

(B) IN A CLASS 5, 6, 7, 8 OR 9 BUILDING THE BATHROOM OR SHOWER ROOM, SLOP HOPPER OR SINK COMPARTMENT, LAUNDRY OR SANITARY COMPARTMENT MUST BE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH AS3740 AS IF THEY WERE IN A RESIDENTIAL BUILDING

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No:..MCU/2022/525

Dated: ..28 March 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

DEVELOPMENT DETAILS

PRECINT B (GENERAL IMPACT BUSINESS AND INDUSTRY)
CLASS B - TYPE C CONSTRUCTION

GROUND FLOOR WAREHOUSE (INC. AMENITIES) GFA
FIRST FLOOR OFFICE (INC. AMENITIES) GFA
MEZZANINE FLOOR AREA
LANDSCAPING

TOTAL BUILDING AREA

SITE AREA

AREA USE CALCULATIONS

GF AREA - GFA - WAREHOUSE

DEDUCTIONS GF - WAREHOUSE
WALLS 41.82m²
KITCHEN 2.84m²
TOILETS 12.87m²
STAIR 7.14m²

TOTAL GF DEDUCTIONS - WAREHOUSE 63.07m²
TOTAL USE AREA WAREHOUSE 418.34m²
ALLOWABLE 20% OFFICE USE AREA

GF OFFICE AREA - GFA - WAREHOUSE

DEDUCTIONS GF - OFFICE
WALLS 10.8m²
STAIR 7.14m²
TOILETS 12.23m²
LUNCH ROOM 29.22

TOTAL GF DEDUCTIONS - OFFICE 58.59m²
TOTAL USE AREA OFFICE

FF OFFICE AREA - GFA - OFFICE

DEDUCTIONS FF - OFFICE
WALLS 14.08m²
KITCHEN 2.84m²
TOILETS 10.63m²
FACADE 21.57m²

TOTAL FF DEDUCTIONS - OFFICE 48.32m²
TOTAL USE AREA OFFICE

FF MEZZANINE AREA - GFA - MEZZANINE

DEDUCTIONS FF - MEZZANINE
WALLS 7.43m²
FACADE 2.78m²
STAIR 7.14m²

TOTAL FF DEDUCTIONS - MEZZANINE 17.35m²
TOTAL USE AREA MEZZANINE

CARPARKING
2 PER TENANCY +1/50m² FOR FIRST 500m² GFA
+ 1/100m² THEREAFTER
CARPARKING REQUIRED: 33 SPACES
CARPARKING PROVIDED: 37 SPACES

LANDSCAPED SPACE
1 SPACE PER 40 CAR SPACES
LANDSCAPED SPACE REQUIRED: NA
LANDSCAPED SPACE PROVIDED: NA

DISABLED PARKING
1 SPACE FOR EVERY 100 CAR PARKING SPACES OR THERE AFTER
DISABLED SPACES REQUIRED: 1
DISABLED SPACES PROVIDED: 1

BICYCLE PARKING
1: 150 GFA
BICYCLE SPACES REQUIRED: 19
BICYCLE SPACES PROVIDED: 21

2366.92m²

322.18m²

166.47

246m²

2855.57m² (NOT INC. LANDSCAPING)

4094m²

2,154.84m²

2,091.77m²

212.46m²

153.87m²

329.20m²

280.88m²

173.52m²

156.17m²

CAR PARK DIMENSION PLAN

1:200 @ A1

ISSUE	DATE	DESCRIPTION
A	29.03.22	PRELIMINARY SKETCH PLAN ISSUED
A	24.08.22	PRELIMINARY BA ISSUED FOR APPROVAL
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C	21.02.23	RFI RESPONSE ISSUED

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

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EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m 10m 20m			DRAWING No. BP1358/WD/1.02	ISSUE C
DRAWING CAR PARK DIMENSION PLAN				
DRAWN	CV / KF			
DATE	FEB '23			
SCALE	1:200 @ A1			

two clicks design

PRELIMINARY ONLY

NOT FOR CONSTRUCTION

BICYCLE STORAGE FACILITIES

VERTICAL STORAGE RACKS TO BE PROVIDED AND IN ACCORDANCE WITH AS2890.3 BICYCLE PARKING FACILITIES.

BICYCLE STORAGE LAYOUT IS TO BE IN ACCORDANCE WITH AS2890.3 SECTION 2 FIGURE 2.4 - VERTICAL STORAGE FACILITIES

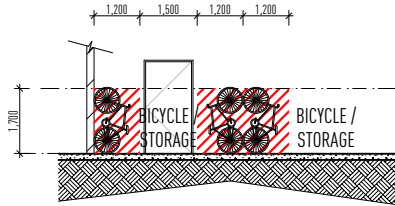
21 BICYCLE PARKS HAVE BEEN ARRANGED TO MEET THE EXAMPLE SET OUT IN AS2890.3 SECTION 2 FIGURE 2.4

BICYCLE PARKING

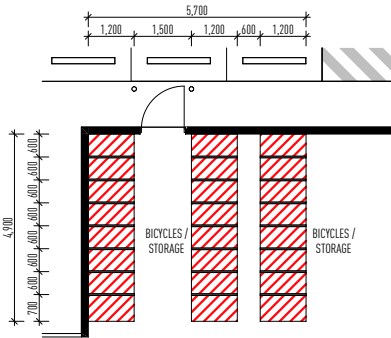
1: 150 GFA

BICYCLE SPACES REQUIRED: 19

BICYCLE SPACES PROVIDED: 21



BICYCLE STORAGE DETAIL 1 : 100



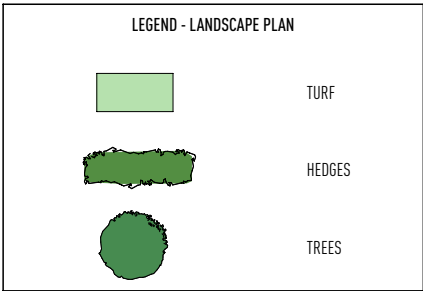
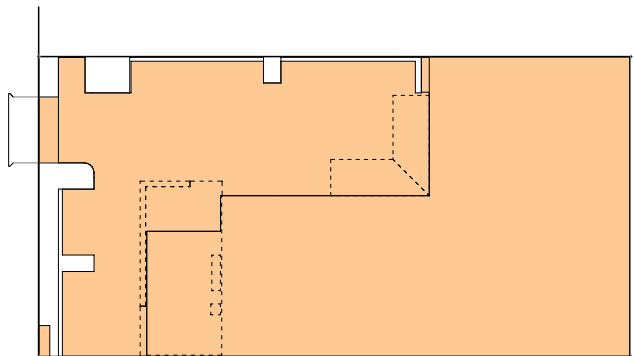
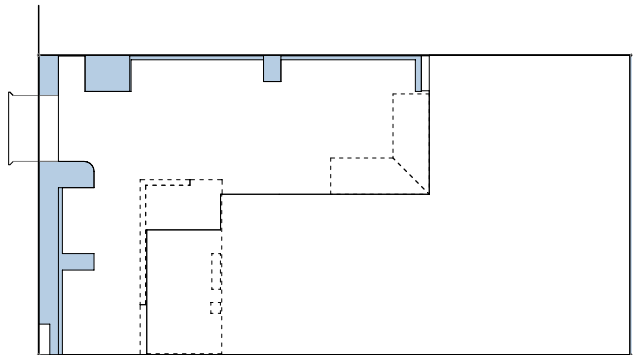
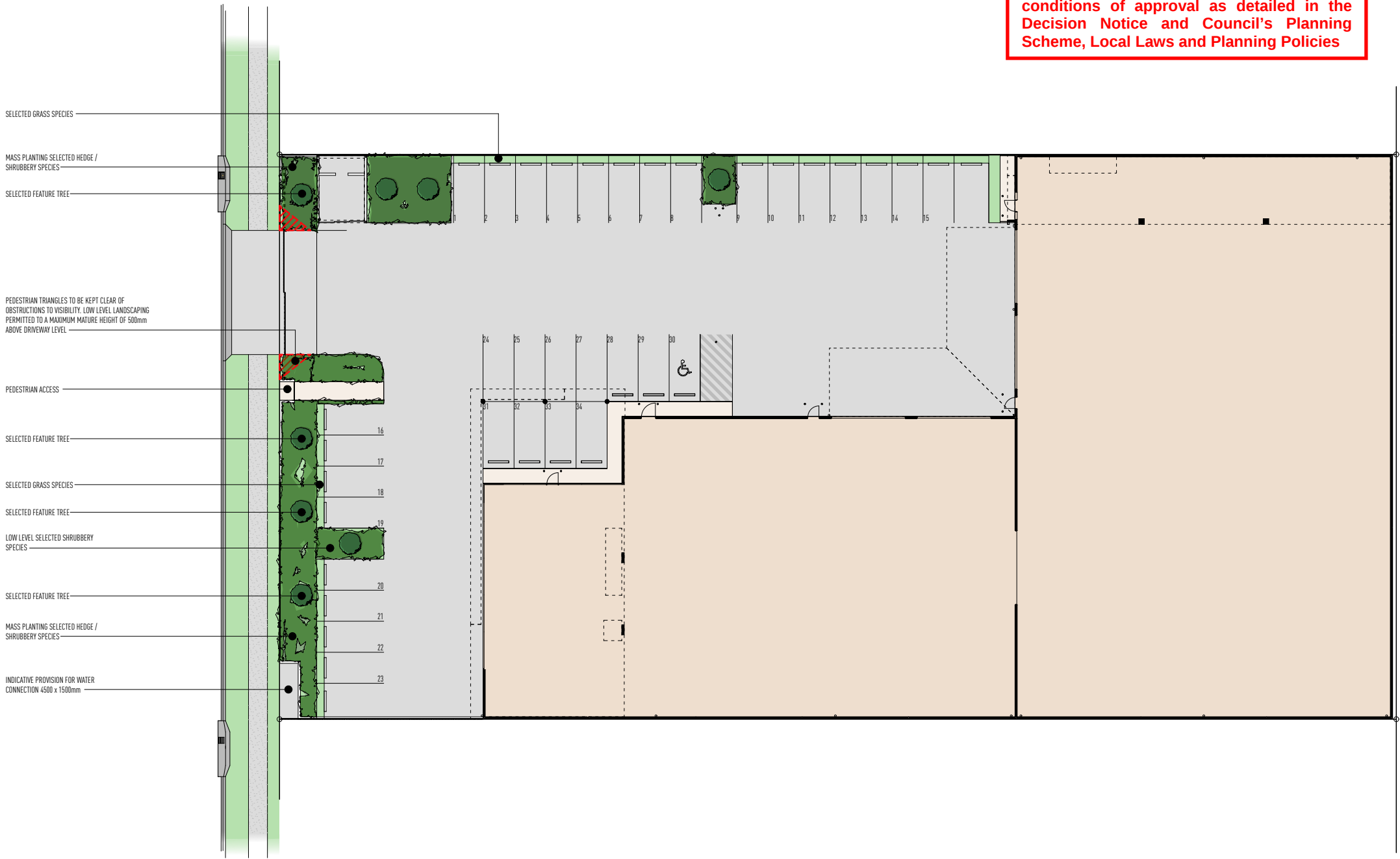
BICYCLE STORAGE PLAN 1 : 100

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No:.....MCU/2022/525.....

Dated:28 March 2023.....

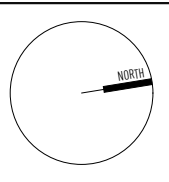
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LANDSCAPE INTENT

1:200 @ A1

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
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DRAWING LANDSCAPE INTENT		DRAWING No. BP1358/WD/1.07	ISSUE C
DRAWN CV / KF			
DATE FEB '23			
SCALE 1:200 @ A1			

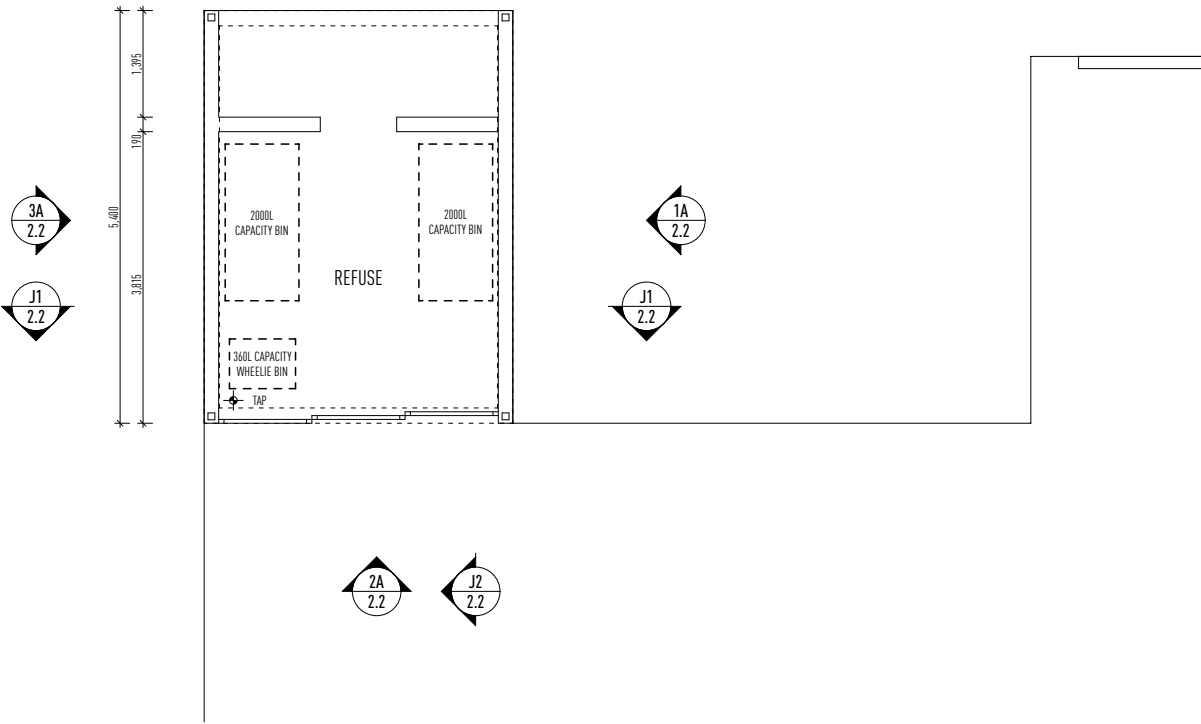
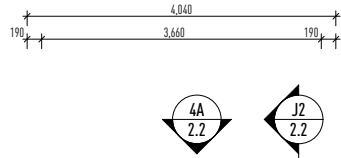
two clicks design

PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

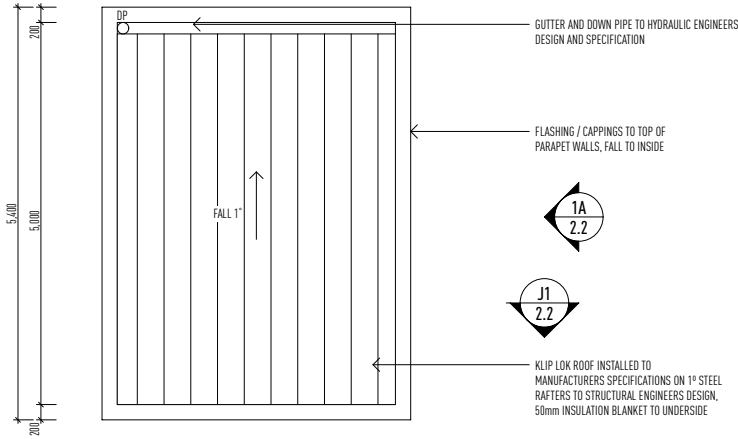
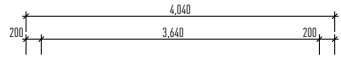
Application No: MCU/2022/525

Dated: 28 March 2023

Development shall comply with the
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Decision Notice and Council's Planning
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PLAN 1:50



ROOF PLAN 1:50

REFUSE / STORAGE DETAILS

1:50 @ A1

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
Eastridge 117 Pty Ltd

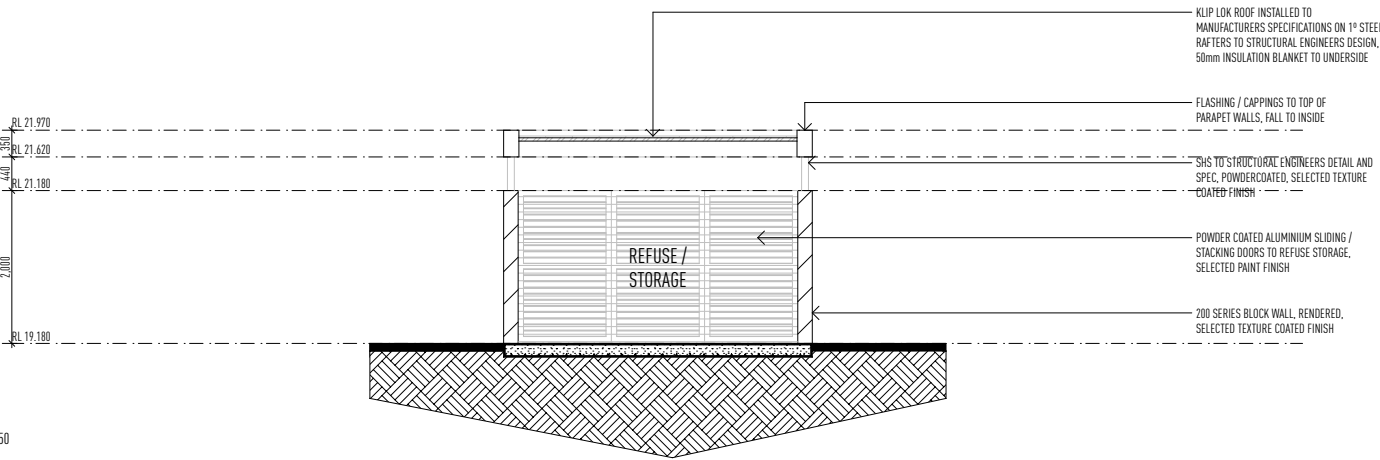
LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU

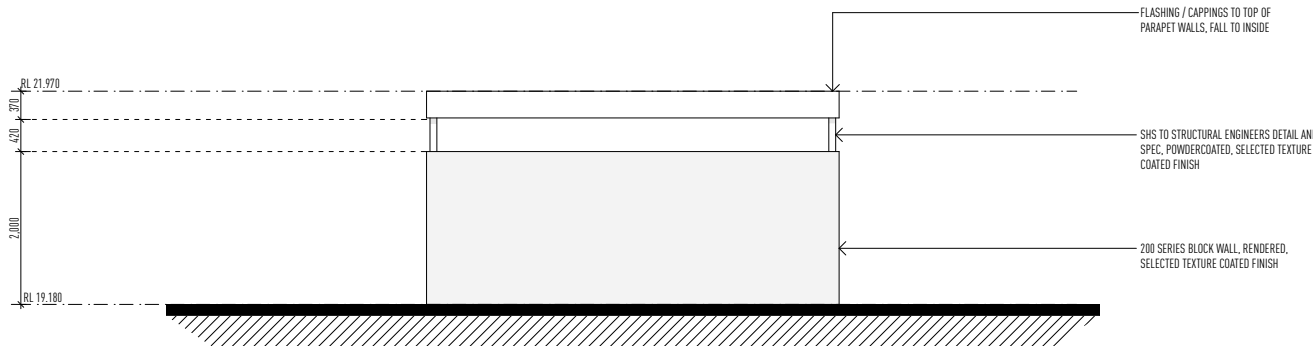


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DRAWN CV / KF	DATE FEB '23	SCALE 1:50 @ A1	

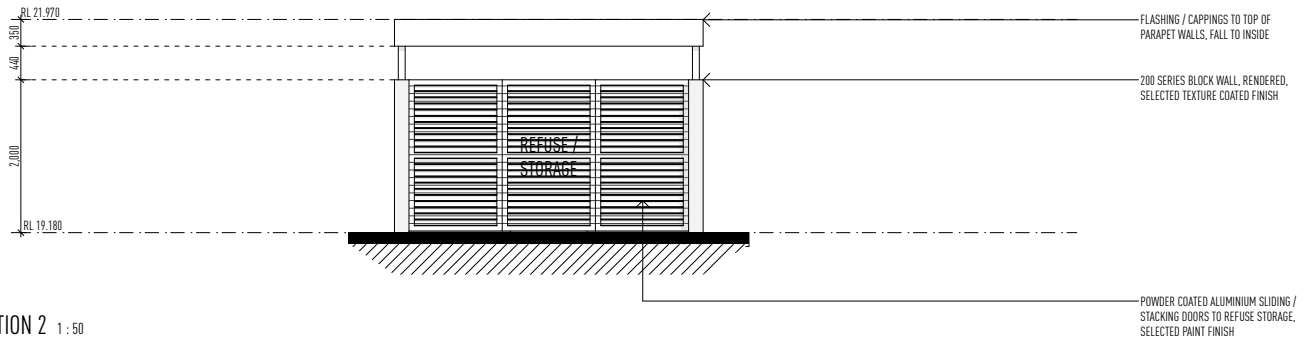
SECTION J1 1:50



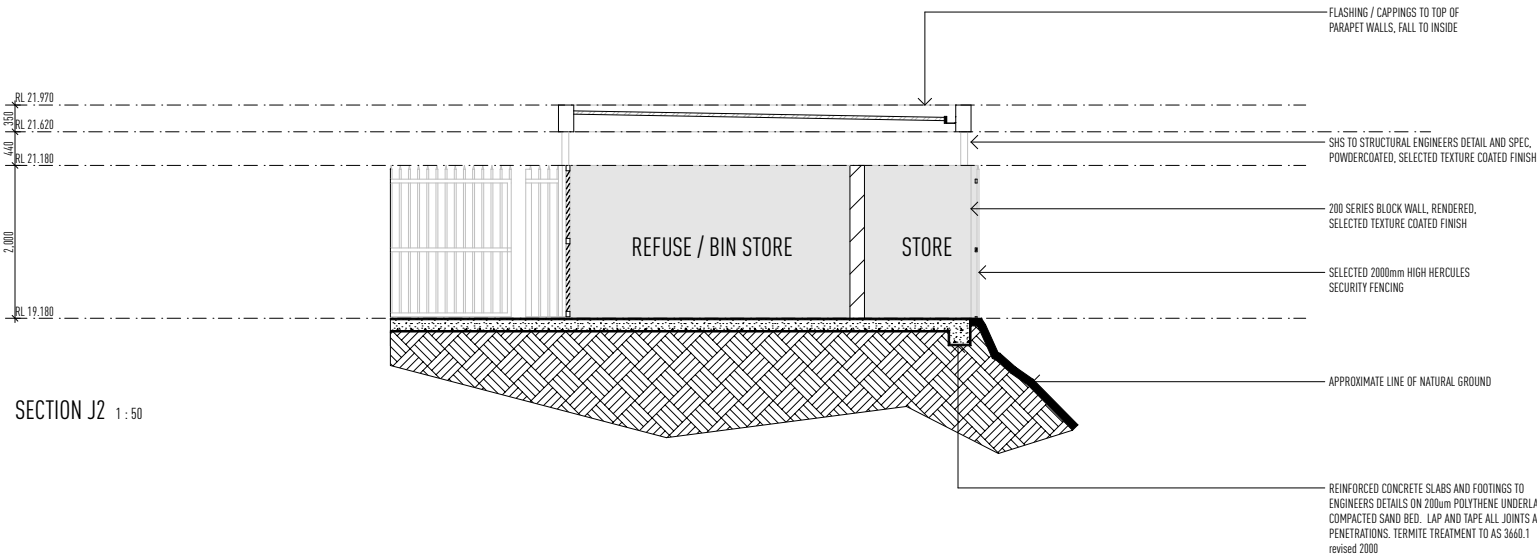
ELEVATION 1 1:50



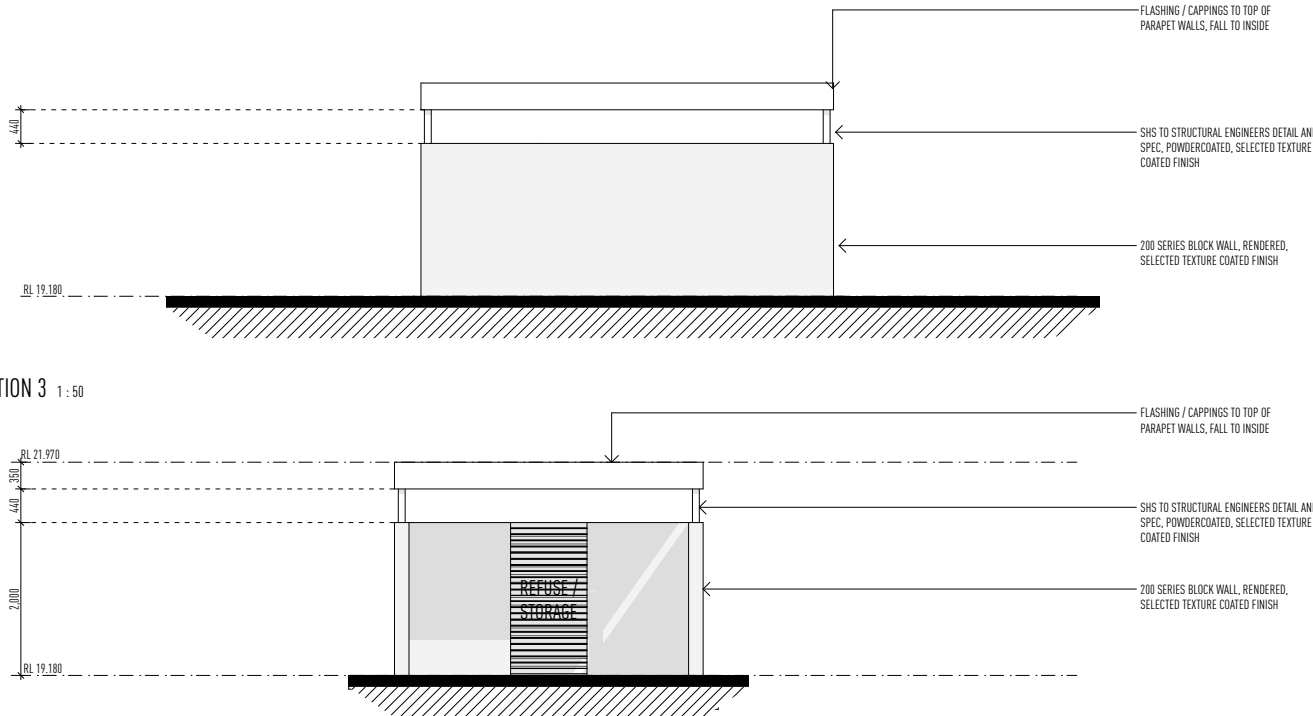
ELEVATION 2 1:50



SECTION J2 1:50



ELEVATION 3 1:50



ELEVATION 4 1:50

REFUSE / STORAGE DETAILS

1:50 @ A1

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
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DRAWING REFUSE / STORAGE DETAILS		DRAWING No. BP1358/WD/2.2	ISSUE C
DRAWN CV / KF			
DATE FEB '23			
SCALE 1:50 @ A1			

two clicks design

NOTE

WC DOORS TO COMPLY WITH THE BCA, PART 3.8.3; DOOR TO SWING OUT FROM EDGE OF THE PAN, DISTANCE BETWEEN THE PAN AND THE DOOR EDGE TO BE 1200mm OR LIFT OFF HINGES TO BE INSTALLED.

MECHANICAL VENTILATION TO ALL HABITABLE ROOMS WITHOUT NATURAL VENTILATION TO COMPLY WITH THE BCA, PART 3.8.5.

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA 3.7.2.

ALL STAIRS AND HANDRAILS INSTALLED TO BCA 3.9.2 AND MANUFACTURERS SPECIFICATIONS.

RECESS ALL EXTERIOR DOOR TRACKS/SILLS.

FINISHED RLs TO BE CONFIRMED ON SITE.

TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

REFER SLAB SET-OUT PLANS FOR SLAB DIMENSIONS.

WATERPROOFING IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA VOL PART 2.3.8.1 AND INSTALLED BY A SUITABLY QUALIFIED PERSON.

NOTE

FLOOR OR GROUND SURFACES ON CONTINUOUS ACCESSIBLE PATHS OF TRAVEL AND CIRCULATION SPACES TO BE IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

SYMBOLS INDICATING ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

TACTILE GROUND SURFACE INDICATORS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

STAIRWAY LOCATION AND HANDRAIL EXTENSIONS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

STAIR NOSING PROFILE AND EXPOSED NOSING STRIP TO BE INSTALLED IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

ALL HANDRAILS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

ALL LANDINGS CIRCULATION SPACES AND DOORWAYS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

NOTE

ALL EXIT AND TRAVEL DISTANCES TO COMPLY WITH NCC.2019 VOL 1 D1.4 - EXIT TRAVEL DISTANCES

THE DISTANCE BETWEEN ALTERNATIVE MEANS OF EGRESS TO COMPLY WITH NCC.2019 VOL 1 D1.5 - DISTANCE BETWEEN ALTERNATIVE EXITS

ALL EXITS AND PATHS OF TRAVEL TO COMPLY WITH NCC.2019 VOL D1.6 - DIMENSIONS OF EXITS AND PATHS OF TRAVEL TO EXITS

ALL TRAVEL VIA ISOLATED EXITS TO COMPLY WITH NCC.2019 VOL 1 D1.7 - TRAVEL VIA FIRE ISOLATED EXITS

ALL EMERGENCY LIGHTING TO COMPLY WITH NCC.2019 VOL 1 EV4.1 - EMERGENCY LIGHTING

ALL EMERGENCY LIGHTING TO COMPLY WITH NCC.2019 VOL 1 EV 4.2 - EMERGENCY LIGHTING REQUIREMENTS

ALL EMERGENCY LIGHTING MUST BE IN ACCORDANCE WITH AS/NZ 2293.1

NOTE

1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS

ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC. ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC

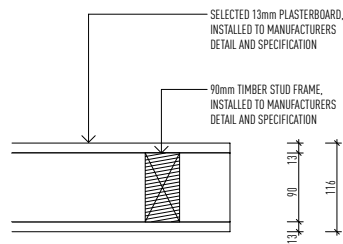
	90mm TIMBER STUD + FOAM CLADDING		SELECTED EMERGENCY LIGHTING
	90mm TIMBER STUD WALL		36m HOSE, 100mm CLEARANCE ALL ROUND, INSTALLED IN ACCORDANCE WITH AS2441
	180mm PRE CAST CONCRETE WALL		WALL TYPE REFER TO SCHEDULE ON PAGE
	450 x 450mm CONCRETE COLUMN		DOOR NUMBER - REFER TO SCHEDULE
	800 x 200mm CONCRETE COLUMN		WINDOW NUMBER - REFER TO SCHEDULE
	200 SERIES CONCRETE BLOCK WALL		SELECTED FIRE EXTINGUISHER, IN ACCORDANCE WITH B.C.A E1 AND TABLE E1.6

AREA SCHEDULE

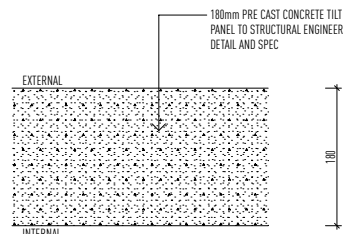
TENANCY 1 GF WAREHOUSE	2,137.17
TENANCY 1 GF LUNCH ROOM	31.10
TENANCY 1 GF LUNCH ROOM AMENITIES	13.72
TENANCY 1 GF WAREHOUSE AMENITIES	14.23
TENANCY 1 GF OFFICE	170.70
TENANCY 1 FF MEZZANINE 2	166.47
TENANCY 1 FF OFFICE	309.79
TENANCY 1 FF OFFICE TOILETS	12.39
	2,855.57 m ²

PRELIMINARY ONLY

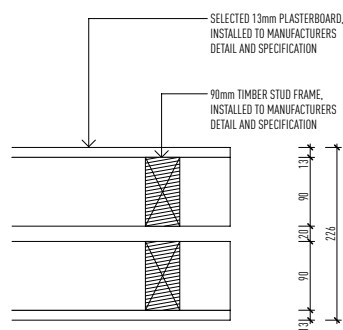
NOT FOR CONSTRUCTION



WALL TYPE A 1:5



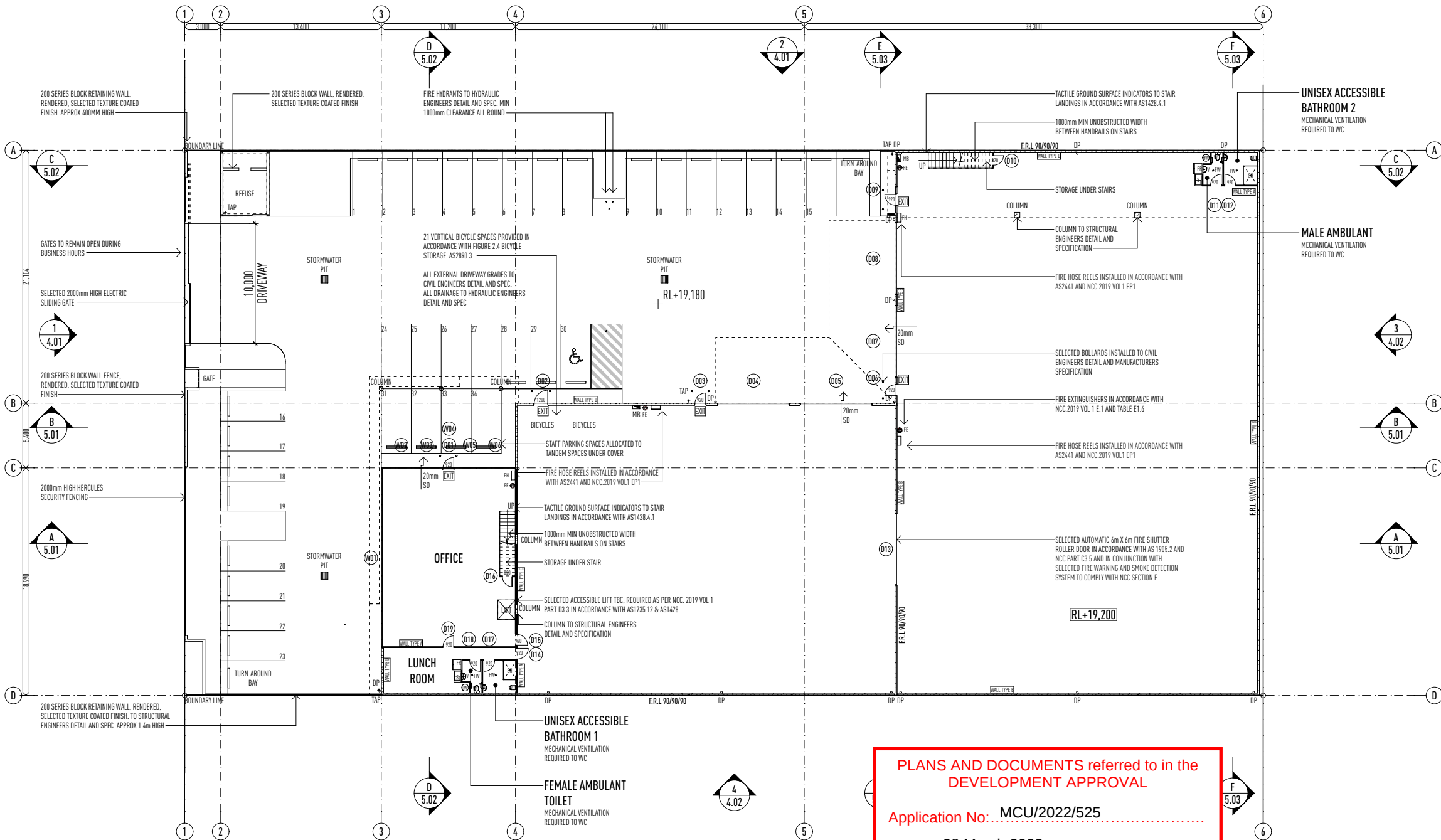
WALL TYPE B 1:5



WALL TYPE C 1:5

GROUND FLOOR PLAN

1:200, 1:5 @ A1

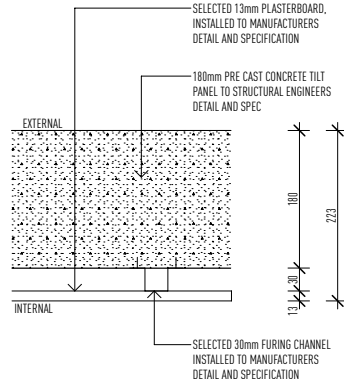


PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

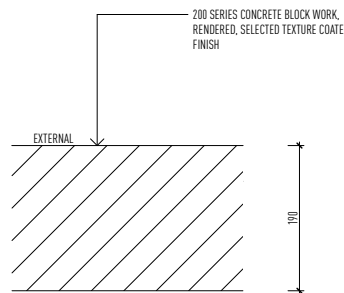
Application No: ...MCU/2022/525

Dated: 28 March 2023

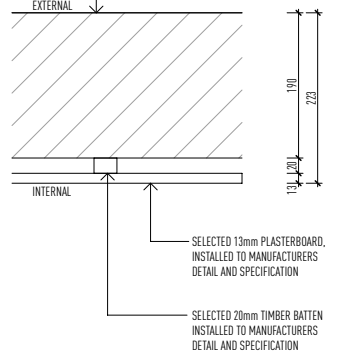
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



WALL TYPE D 1:5

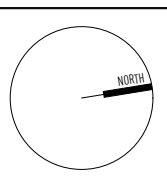


WALL TYPE E 1:5



WALL TYPE F 1:5

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD
FOR
EASTRIDGE 117 PTY LTD

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU



2m	10m	20m
DRAWING	GROUND FLOOR PLAN	
DRAWN	CV / KF	ISSUE C
DATE	FEB '23	
SCALE	1:200, 1:5 @ A1	

two clicks design

NOTE

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NOTE

FLOOR OR GROUND SURFACES ON CONTINUOUS ACCESSIBLE PATHS OF TRAVEL AND CIRCULATION SPACES TO BE IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

SYMBOLS INDICATING ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY

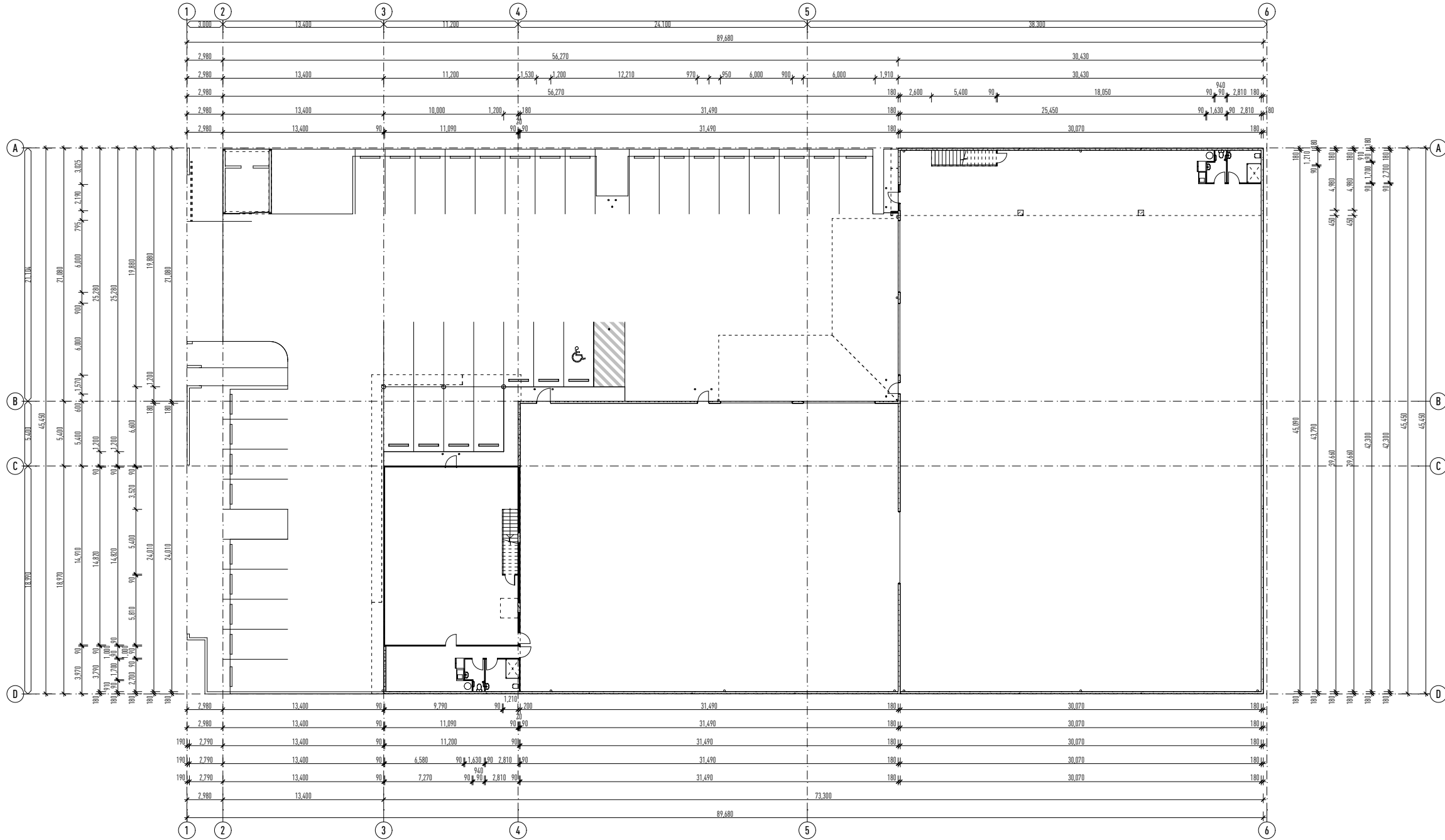
TACTILE GROUND SURFACE INDICATORS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1 - DESIGN FOR ACCESS AND MOBILITY

STAIRWAY LOCATION AND HANDRAIL EXTENSIONS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1. DESIGN FOR ACCESS AND MOBILITY

STAIR NOSING PROFILE AND EXPOSED NOSING STRIP TO BE INSTALLED IN ACCORDANCE WITH AS1428.1. DESIGN FOR ACCESS AND MOBILITY

ALL HANDRAILS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1. DESIGN FOR ACCESS AND MOBILITY

ALL LANDINGS CIRCULATION SPACES AND DOORWAYS TO BE INSTALLED IN ACCORDANCE WITH AS1428.1. DESIGN FOR ACCESS AND MOBILITY



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No.: MCU/2022/525

Dated: 28 March 2023

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PRELIMINARY ONLY

NOT FOR CONSTRUCTION

DIMENSION PLAN - GROUND FLOOR

1:200 @ A1

ISSUE	DATE	DESCRIPTION
A	29.03.22	PRELIMINARY SKETCH PLAN ISSUED
A	24.08.22	PRELIMINARY BA ISSUED FOR APPROVAL
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C	21.02.23	RFI RESPONSE ISSUED

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
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FOR
Eastridge 117 Pty Ltd

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2m 10m 20m		
DRAWING DIMENSION PLAN - GROUND FLOOR		DRAWING No. BP1358/WD/3.02
DRAWN CV / KF	ISSUE C	
DATE FEB '23		
SCALE 1:200 @ A1		

two clicks design

NOTE

WC DOORS TO COMPLY WITH THE BCA, PART 3.8.3; DOOR TO SWING OUT FROM EDGE OF THE PAN, DISTANCE BETWEEN THE PAN AND THE DOOR EDGE TO BE 1200mm OR LIFT OFF HINGES TO BE INSTALLED.

MECHANICAL VENTILATION TO ALL HABITABLE ROOMS WITHOUT NATURAL VENTILATION TO COMPLY WITH THE BCA, PART 3.8.5.

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH BCA 3.7.2.

ALL STAIRS AND HANDRAILS INSTALLED TO BCA 3.9.2 AND MANUFACTURERS SPECIFICATIONS.

RECESS ALL EXTERIOR DOOR TRACKS/SILLS.

FINISHED RLs TO BE CONFIRMED ON SITE.

TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

REFER SLAB SET-OUT PLANS FOR SLAB DIMENSIONS.

WATERPROOFING IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA VOL PART 2.3.8.1 AND INSTALLED BY A SUITABLY QUALIFIED PERSON.

NOTE

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NOTE

ALL EXIT AND TRAVEL DISTANCES TO COMPLY WITH NCC.2019 VOL 1 D1.4 - EXIT TRAVEL DISTANCES

THE DISTANCE BETWEEN ALTERNATIVE MEANS OF EGRESS TO COMPLY WITH NCC.2019 VOL 1 D1.5 - DISTANCE BETWEEN ALTERNATIVE EXITS

ALL EXITS AND PATHS OF TRAVEL TO COMPLY WITH NCC.2019 VOL D1.6 - DIMENSIONS OF EXITS AND PATHS OF TRAVEL TO EXITS

ALL TRAVEL VIA ISOLATED EXITS TO COMPLY WITH NCC.2019 VOL 1 D1.7 - TRAVEL VIA FIRE ISOLATED EXITS

ALL EMERGENCY LIGHTING TO COMPLY WITH NCC.2019 VOL 1 EV4.1 - EMERGENCY LIGHTING

ALL EMERGENCY LIGHTING TO COMPLY WITH NCC.2019 VOL 1 EV 4.2 - EMERGENCY LIGHTING REQUIREMENTS

ALL EMERGENCY LIGHTING MUST BE IN ACCORDANCE WITH AS/NZ 2293.1

NOTE

1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS

ALL EXTERNAL DRIVEWAY GRADES TO CIVIL ENGINEERS DETAIL AND SPEC. ALL DRAINAGE TO HYDRAULIC ENGINEERS DETAIL AND SPEC

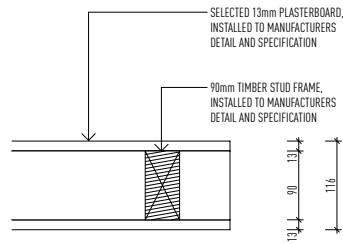
	90mm TIMBER STUD + FOAM CLADDING		SELECTED EMERGENCY LIGHTING
	90mm TIMBER STUD WALL		36m HOSE, 100mm CLEARANCE ALL ROUND, INSTALLED IN ACCORDANCE WITH AS2441
	180mm PRE CAST CONCRETE WALL		WALL TYPE REFER TO SCHEDULE ON PAGE
	450 x 450mm CONCRETE COLUMN		DOOR NUMBER - REFER TO SCHEDULE
	800 x 200mm CONCRETE COLUMN		WINDOW NUMBER - REFER TO SCHEDULE
	200 SERIES CONCRETE BLOCK WALL		SELECTED FIRE EXTINGUISHER, IN ACCORDANCE WITH B.C.A E1 AND TABLE E1.6

AREA SCHEDULE

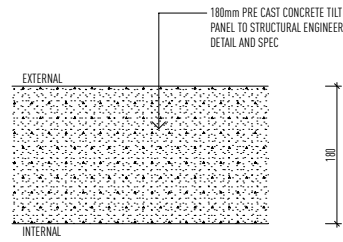
TENANCY 1 GF WAREHOUSE	2,137.17
TENANCY 1 GF LUNCH ROOM	31.10
TENANCY 1 GF LUNCH ROOM AMENITIES	13.72
TENANCY 1 GF WAREHOUSE AMENITIES	14.23
TENANCY 1 GF OFFICE	170.70

PRELIMINARY ONLY

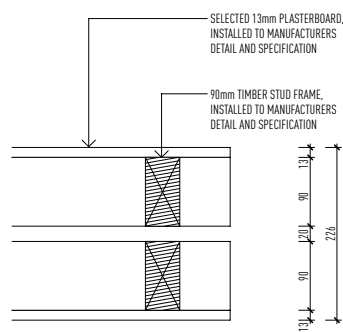
NOT FOR CONSTRUCTION



WALL TYPE A 1:5



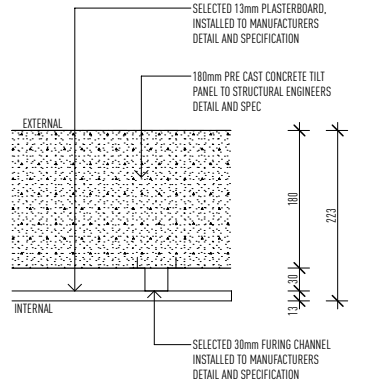
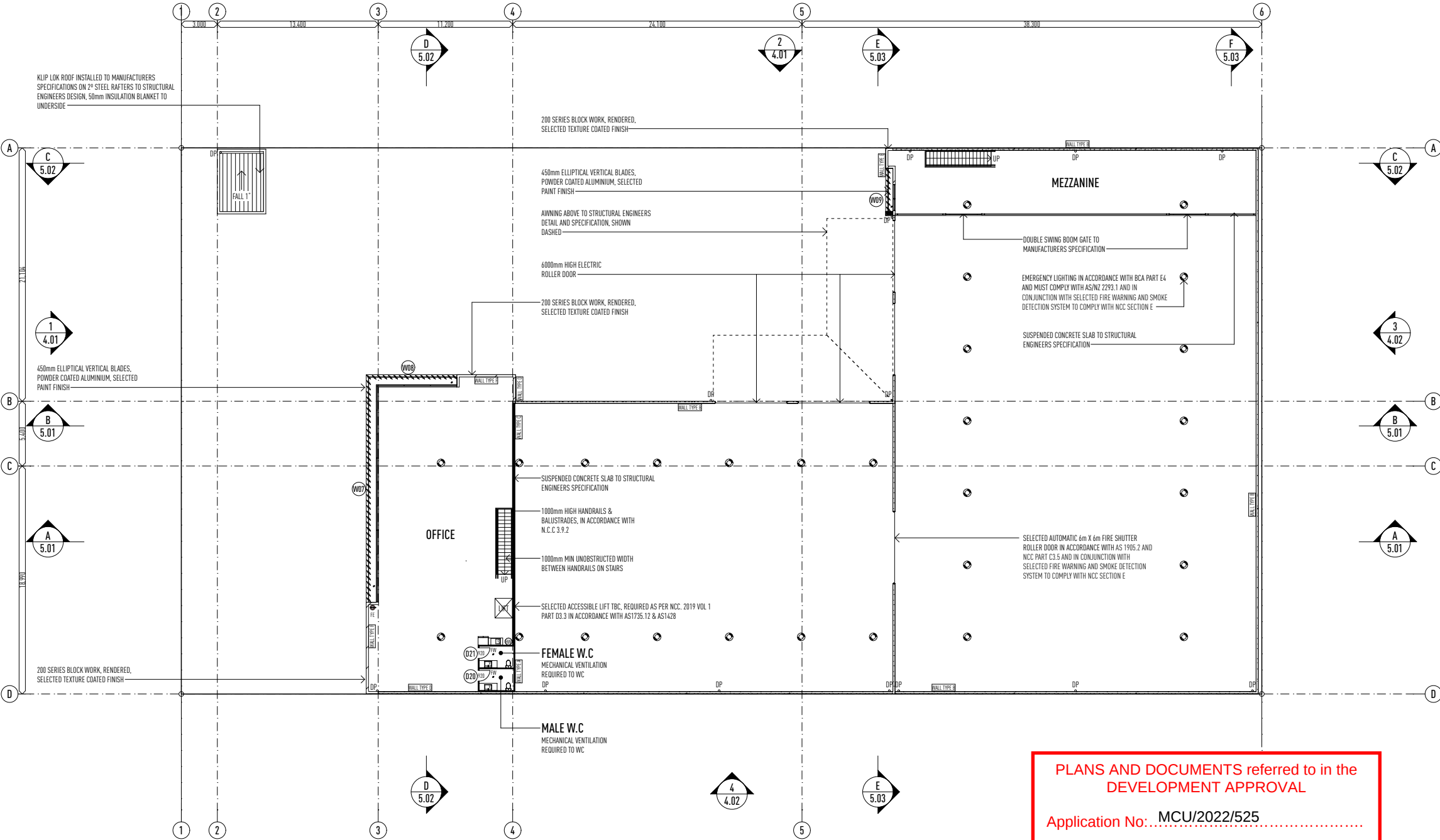
WALL TYPE B 1:5



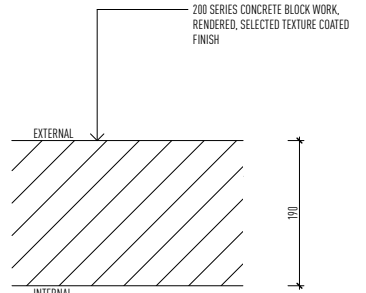
WALL TYPE C 1:5

FIRST FLOOR PLAN

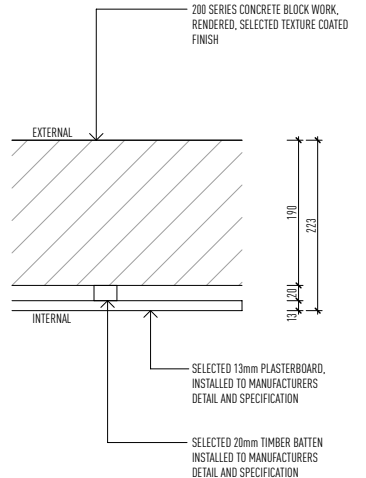
1:200, 1:5 @ A1



WALL TYPE D 1:5



WALL TYPE E 1:5



WALL TYPE F 1:5

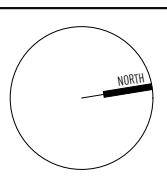
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WEB WWW.JPD.COM.AU



2m	10m	20m
DRAWING No.	BP1358/WD/3.03	ISSUE C
DRAWN	CV / KF	
DATE	FEB '23	
SCALE	1:200, 1:5 @ A1	

two clicks design

NOTE

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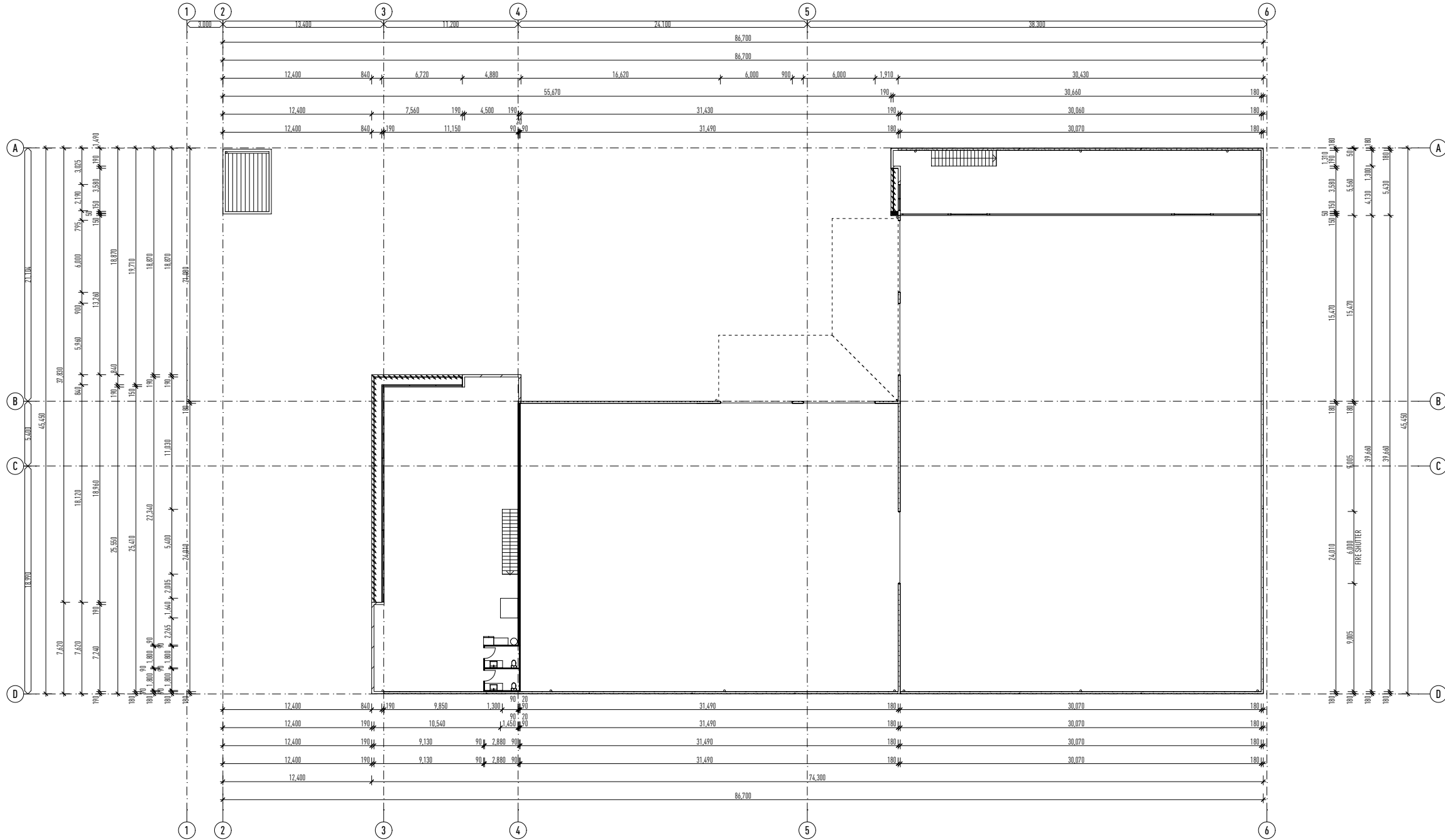
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DIMENSION PLAN - FIRST FLOOR

1:200 @ A1

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ISLE OF CAPRI, Q. 4217 AUSTRALIA
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2m 10m 20m			DRAWING No. BP1358/WD/3.04	ISSUE C
DRAWING DIMENSION PLAN - FIRST FLOOR				
DRAWN	CV / KF			
DATE	FEB '23			
SCALE	1:200 @ A1			

two clicks design

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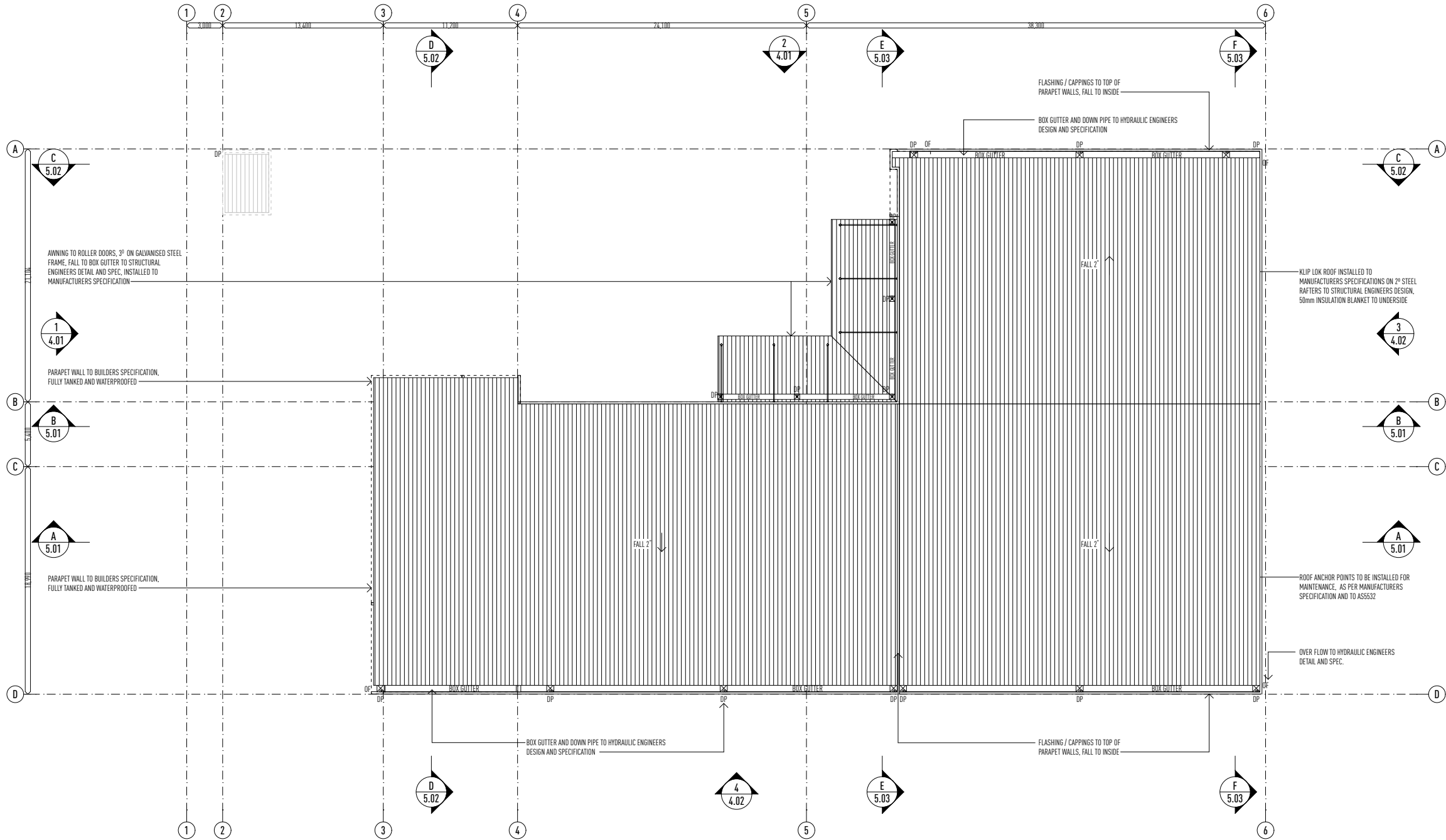
Application No:

Dated:

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PRELIMINARY ONLY

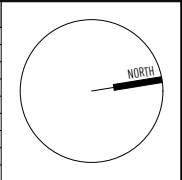
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ROOF PLAN

1:200 @ A1

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2m	10m	20m
DRAWING ROOF PLAN	DRAWING No. BP1358/WD/3.05	ISSUE C
DRAWN CV / KF	DATE FEB '23	SCALE 1:200 @ A1

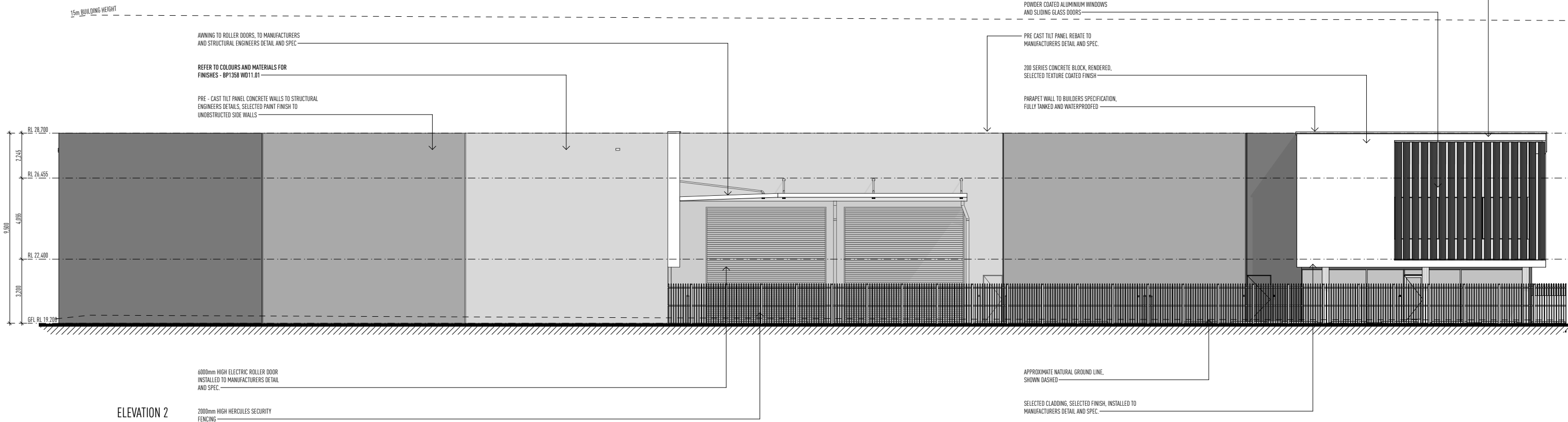
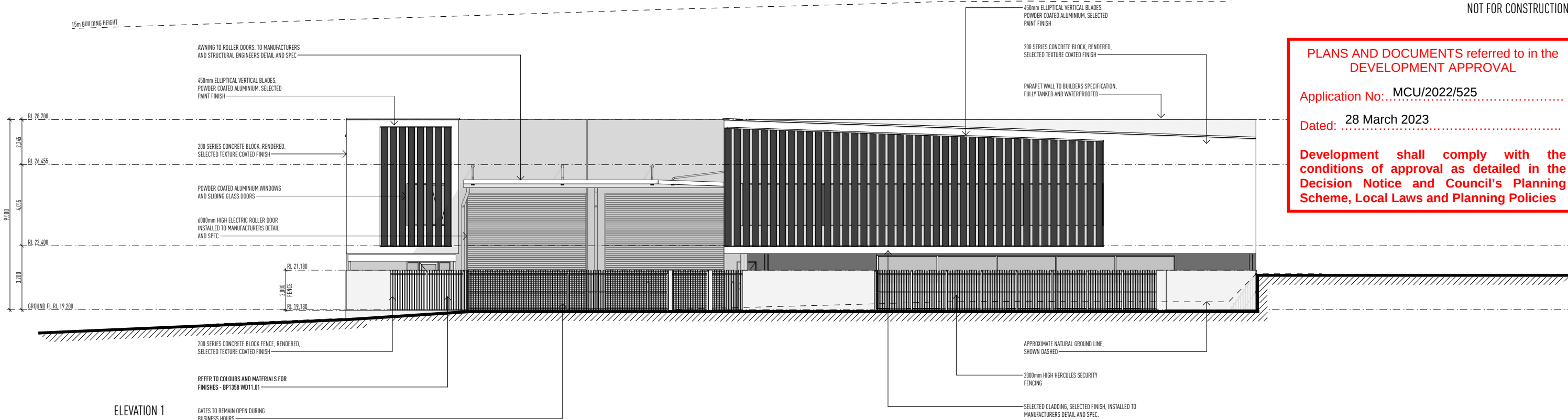
two clicks design

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ELEVATIONS

1:100 @ A1

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DRAWING ELEVATIONS		DRAWING No. BP1358/WD/4.01	ISSUE C
DRAWN	CV / KF		
DATE	FEB '23		
SCALE	1:100 @ A1		

two clicks design

REFER TO COLOURS AND MATERIALS FOR FINISHES - BP1358 WD11.01

PRE - CAST TILT PANEL CONCRETE WALLS TO STRUCTURAL ENGINEERS DETAILS, SELECTED PAINT FINISH TO UNOBSTRUCTED SIDE WALLS

PARAPET WALL TO BUILDERS SPECIFICATION, FULLY TANKED AND WATERPROOFED

BOX GUTTER OVER FLOW TO HYDRAULIC ENGINEERS DETAIL AND SPEC.

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ELEVATION 3

KLIP LOK ROOF INSTALLED TO MANUFACTURERS SPECIFICATIONS ON 2nd STEEL RAFTERS TO STRUCTURAL ENGINEERS DESIGN, 50mm INSULATION BLANKET TO UNDERSIDE

PRE - CAST TILT PANEL CONCRETE WALLS TO STRUCTURAL ENGINEERS DETAILS, SELECTED PAINT FINISH TO UNOBSTRUCTED SIDE WALLS

REFER TO COLOURS AND MATERIALS FOR FINISHES - BP1358 WD11.01

PARAPET WALL TO BUILDERS SPECIFICATION, FULLY TANKED AND WATERPROOFED

200 SERIES CONCRETE BLOCK, RENDERED, SELECTED TEXTURE COATED FINISH

APPROXIMATE NATURAL GROUND LINE, SHOWN DASHED

ELEVATION 4

ELEVATIONS

1:100 @ A1

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2m5m10m

DRAWING ELEVATIONS

DRAWN CV / KF

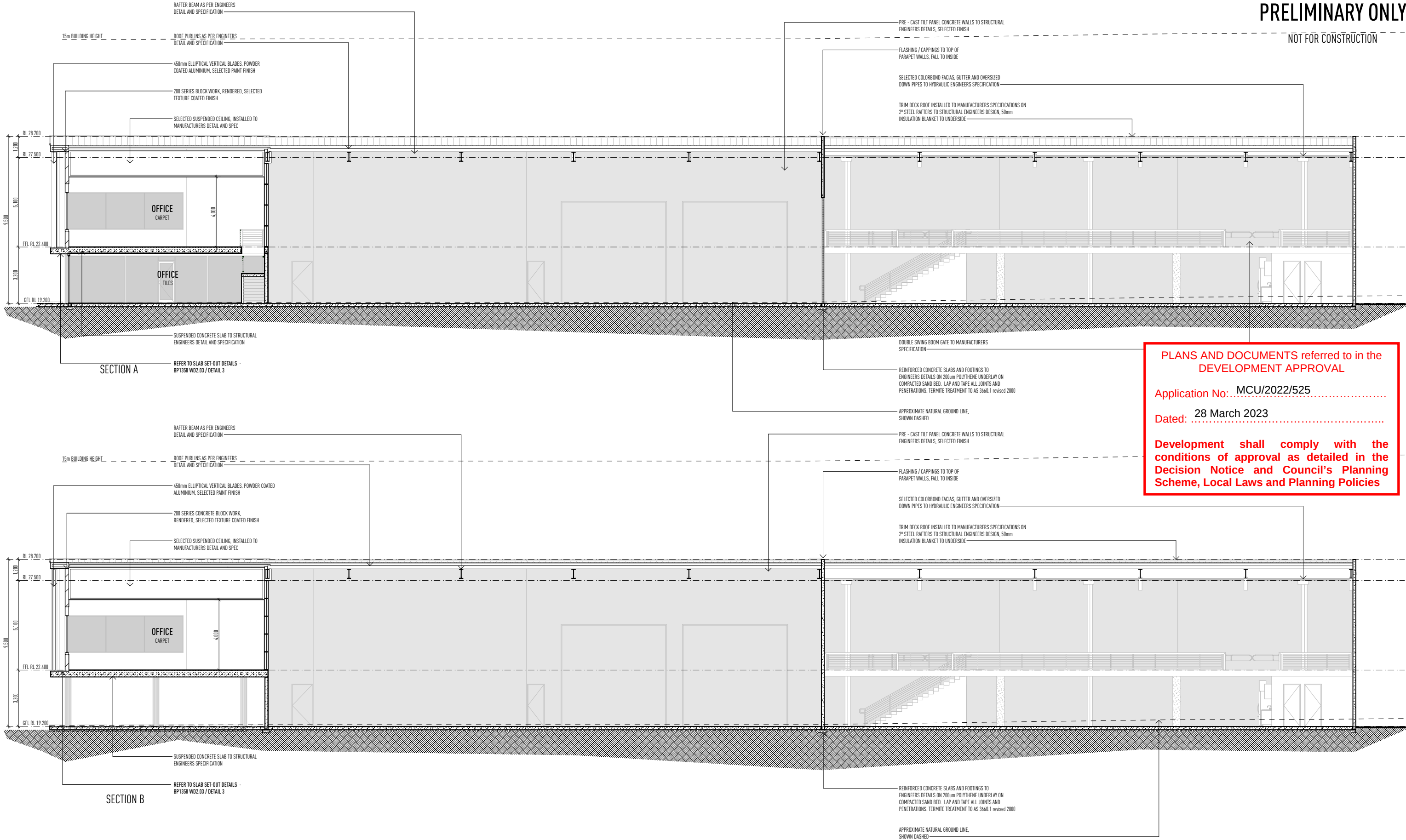
DATE FEB '23

SCALE 1:100 @ A1

DRAWING No. BP1358/WD/4.02

ISSUE C

two clicks design



SECTION A & B

1:100 @ A1

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info@jpd.com.au

WEB

www.jpd.com.au

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DRAWING

SECTION A & B

DRAWN

CV / KF

DATE

FEB '23

SCALE

1:100 @ A1

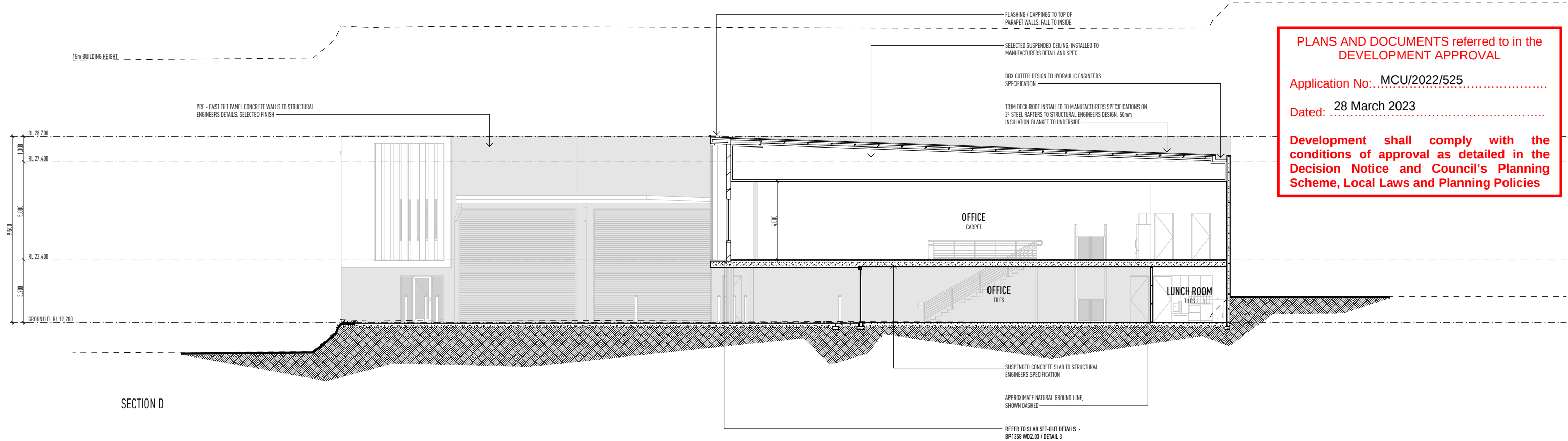
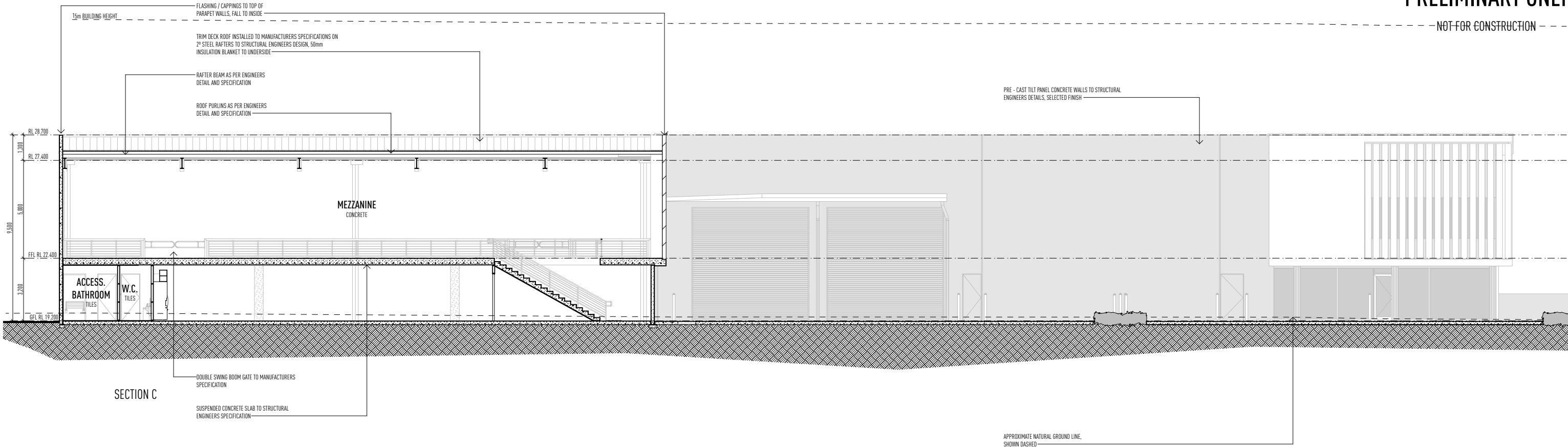
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BP1358/WD/5.01

ISSUE

C

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PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No...MCU/2022/525

Dated: 28 March 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

SECTION C & D

1:100 @ A1

ISSUE	DATE	DESCRIPTION
A	29.03.22	PRELIMINARY SKETCH PLAN ISSUED
A	24.08.22	PRELIMINARY BA ISSUED FOR APPROVAL
B	02.12.22	RFI RESPONSE BA ISSUED FOR APPROVAL
C	21.02.23	RFI RESPONSE ISSUED

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
PO BOX 42
ISLE OF CAPRI, Q. 4217 AUSTRALIA

TEL 07 5527 5300
EMAIL INFO@JPD.COM.AU
WEB WWW.JPD.COM.AU

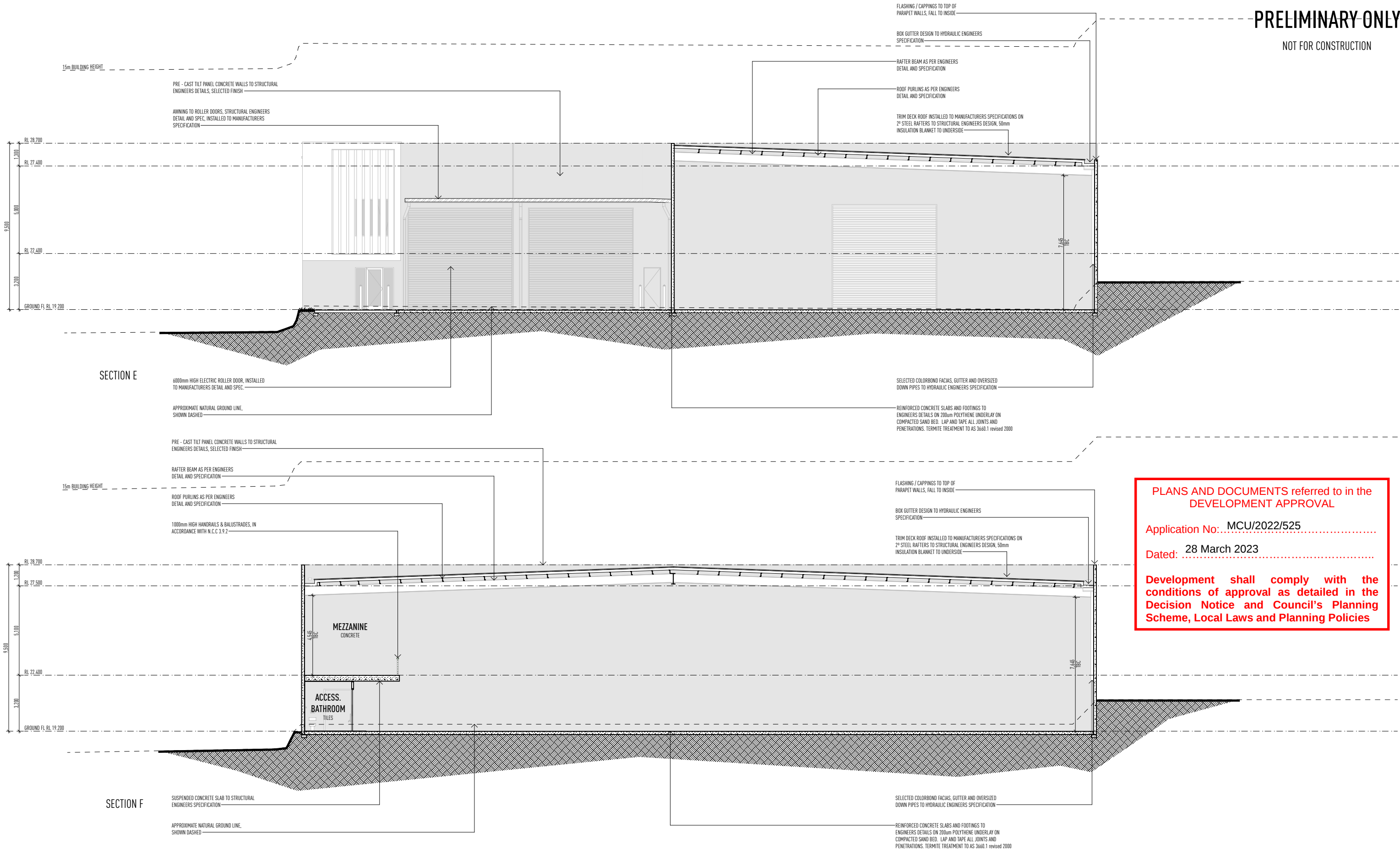


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DRAWING SECTION C & D				DRAWING No. BP1358/WD/5.02	
				ISSUE C	
DRAWN	CV / KF				
DATE	FEB '23				
SCALE	1:100 @ A1				

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PRELIMINARY ONLY

NOT FOR CONSTRUCTION



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No.: MCU/2022/525

Dated: 28 March 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

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PROJECT
PROPOSED NEW DEVELOPMENT
AT
LOT 117 Eastridge Street, Vantage, Yatala, QLD

FOR
Eastridge 117 Pty Ltd

LEVEL 1 33 ELKHORN AVENUE
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DRAWING SECTION E & F		DRAWING No. BP1358/WD/5.03	ISSUE C
DRAWN CV / KF	DATE FEB '23	SCALE 1:100 @ A1	

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PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL

Application No:..MCU/2022/525

Dated: 28 March 2023

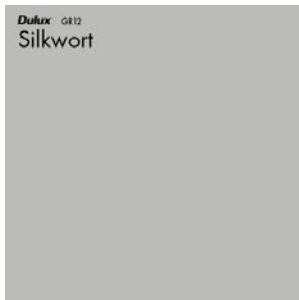
Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies

1



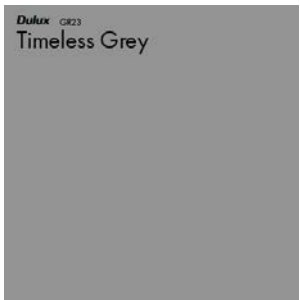
WALLS
RENDER 1
DULUX PAINT OR SIMILAR
COLOURBOND MONUMENT

2



WALLS
RENDER 1
DULUX PAINT OR SIMILAR
SILKWORT

3



WALLS
RENDER 1
DULUX PAINT OR SIMILAR
TIMELESS GREY

4



WALLS
RENDER 2
RESENE PAINT OR SIMILAR
DOUBLE ALABASTER

5



WINDOW AND DOOR FRAMES, GATE
POWDER COATED
-
BLACK

6



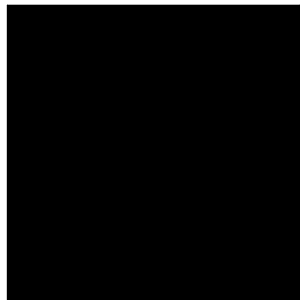
ROOF
KLIP LOCK ROOF SHEETING
POWDER COAT
COLOURBOND MONUMENT OR SIMILAR

7



DRIVEWAY
SELECTED CONCRETE FINISH
-
GREY

8



ALUMINIUM BATTEN SCREENS, ROLLER DOORS
SELECTED ALUMINIUM BATTENS
POWDER COAT
BLACK

COLOURS AND MATERIALS

1:1 @ A1

ISSUE	DATE	DESCRIPTION
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PROJECT PROPOSED NEW DEVELOPMENT AT LOT 117 Eastridge Street, Vantage, Yatala, QLD FOR Eastridge 117 Pty Ltd
--

LEVEL 1 33 ELKHORN AVENUE
SURFERS PARADISE, Q. 4217 AUSTRALIA
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DRAWING COLOURS AND MATERIALS		DRAWING No. BP1358/WD/11.01	ISSUE C
DRAWN CV / KF			
DATE FEB '23			
SCALE 1:1 @ A1			

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ATTACHMENT C

CURRENT PRELIMINARY APPROVAL PACKAGE MIN/2023/64



gasman
development
perspectives

planning
environment
landscape
engineering
survey

Our reference: MIN/2023/64
Your reference: 5941

Decision notice— change application approval including amended suite of development conditions for MIN/2020/659

(Given under section 83(1) of the *Planning Act 2016*.)

The Council of the City of Gold Coast received your change application made under section 78 of the *Planning Act 2016* on 24 February 2023 for the development approval dated 8 December 2020.

Date of decision notice: 23 May 2023

Applicant details

Applicant name: Frasers Property Australia Pty Ltd
Applicant's contact details: C/- Gassman Development Perspectives
PO Box 392
Beenleigh QLD 4207

Application details

Application number: MIN/2023/64
Approval sought: Minor change to a change to a development permit for Preliminary Approval for making a Material Change of Use to override the Planning Scheme for industry uses.
Details of the change:

- Amendments to the Land Use Classification and Staging Plan reflecting changes to amended lot configurations and internal road layout.
- Administrative amendment: removal of reference to 'Stage 4' which has been previously removed from the staged development.
- Administrative amendment: Amended acoustic report correcting reference made to Lot 109 and 110 as being included within Precinct A.

Original Application number: MCU201100650
Details of original decision: Preliminary Approval for making a Material Change of Use to override the Planning Scheme for industry uses.
Date of original decision: 04 March 2013
Date of most recent change application: 8 December 2020

Location details

Street address: 1 Homestead Drive, Stapylton Qld 4207
Real property description: Lot 101 SP316137, Lot 102 SP316137, Lot 111 SP316137, Lot 103 SP316137, Lot 122 SP316137, Lot 104 SP316137, Lot 105 SP316137, Lot 106 SP316137, Lot 121 SP316137, Lot 107 SP316137, Lot 108 SP316137, Lot 109 SP316137, Lot 110 SP316137, Lot 120 SP316137, Lot 504 SP329485, Lot 112 SP316137, Lot 113 SP316137, Lot 114 SP316137, Lot 115 SP316137, Lot 116 SP316137, Lot 117 SP316137, Lot 118 SP316137, Lot 119 SP316137, Lot 503 SP329485, Lot 4 RP6843

Decision

Date of decision:	16 May 2023
Decision details:	Under Delegated Authority, the Executive Coordinator Planning Assessment of the City Development Branch of Council has resolved to approve the change in full and amend the existing conditions of approval.

Affected Entity(s) for the application

Not applicable – no part of the application required referral to an affected entity.

Details of the approval

Preliminary approval overriding the Planning Scheme in accordance with section 242 of the <i>Sustainable Planning Act 2009</i>	Minor change to Preliminary Approval for making a Material Change of Use to override the Planning Scheme for industry uses.
--	---

Conditions

Amended conditions of approval for preliminary approval, which overrides the Planning Scheme for a material change of use for Industrial uses are enclosed in this notice.

A full suite of development conditions for the development approval is also enclosed in this notice.

Further development permits

The following development permits are required to be obtained before the development can be carried out:

- Development permit;
- Operational works;
- Application to work on the City's Infrastructure.

Notwithstanding the above, other approvals/development permits may be required.

Properly made submissions

Not applicable—No part of the application required public notification.

Approved plans and drawings

Approved plans and drawings reflecting the approved change(s) are attached and are identified in the conditions imposed by Council in the amended suite of development conditions.

Appeal rights

Applicant	You have appeal rights in relation to this decision. An appeal may be made against a responsible entity's decision for a change application. An appeal must be started within 20 business days after this notice is given to you. An appeal may be made to the Planning and Environment Court or, for certain matters which are identified in section 1(2) of Schedule 1 of the <i>Planning Act 2016</i>, to a development tribunal.
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	An appeal is started by lodging a notice of appeal with the registrar of the Planning and Environment Court or a development tribunal, as applicable. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required fee. An appellant to the Planning and Environment Court must give a copy of the notice of appeal, within 10 business days after the appeal is started, to the persons identified in section 230(3) of the <i>Planning Act 2016</i>. A person who is appealing to the Planning and Environment Court must comply with the rules of the court that apply to the appeal. An extract of Chapter 6, Part 1 and Schedule 1 of the <i>Planning Act 2016</i> is attached to this notice, which sets out further information about the appeal rights.
--	--

For further information please contact Natasha Sidabutar, Planner, on p: 07 5582 8866 or via email mail@goldcoast.qld.gov.au who will be pleased to assist.

AUTHORISED BY



Emily Walsh
A/Supervising Planner (North)
For the Chief Executive Officer
 Council of the City of Gold Coast

enc:

New and/or amended conditions imposed by Council, as the Responsible Entity
 Amended suite of development conditions for development approval MIN/2023/64

Attach:

Stamped approved plans and drawings for development approval MIN/2023/64
 Appeal rights extracts

New and/or amended conditions imposed by Council as the Responsible Entity

Condition 1 currently reads:

1 Approved plans/drawings/documents

Undertake and maintain the development generally in accordance with the following plans/drawings/documents:

Title	Author	Date	Reference No.	Ver.
M38 Industrial Estate Place Code	Gassman Development Perspectives	June 2020	-	-
M38 Industrial Estate Land Use Classification and Staging Plan	Gassman Development Perspectives	18.06.2020	5941 P LU 01	B

The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.

Condition 1 is changed to read:

1 Approved plans/drawings/documents

Undertake and maintain the development generally in accordance with the following plans/drawings/documents:

Title	Author	Date	Reference No.	Ver.
M38 Industrial Estate Place Code	Gassman Development Perspectives	June 2020	-	-
M38 Industrial Estate Land Use Classification and Staging Plan	Gassman Development Perspectives	23.01.2023	5941 P LU 01	C

The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.

Condition 2 currently reads:

2 Staged construction of development

- a Subject to the changes required by Condition 1 within section B of this Decision Notice, the stages as shown on the following plan are approved (subject to the relevant Operational Works approvals):
 - i Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision B, dated 18/06/2020 and prepared by Gassman Development Perspectives.
- b The construction of the development must be in sequence of the stages shown on the approved staging plan.
- c Deleted.
- d Any subsequent proposed amendments to the approved staging plan (including sequence of development) must be approved in writing by the Chief Executive Officer.

Condition 2 is changed to read:

2 Staged construction of development

- a Subject to the changes required by Condition 1 within section B of this Decision Notice, the stages as shown on the following plan are approved (subject to the relevant Operational Works approvals):
 - i Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision C, dated 23.01.2023 and prepared by Gassman Development Perspectives.
- b The construction of the development must be in sequence of the stages shown on the approved staging plan.

- c Deleted.
- d Any subsequent proposed amendments to the approved staging plan (including sequence of development) must be approved in writing by the Chief Executive Officer.

Condition 9 currently reads:

9 Staged development

In accordance with Condition 1 of this Decision Notice the stages as shown on Approved Plan titled Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision B, dated 18/06/2020 and prepared by Gassman Development Perspectives, are approved for the purposes of construction (subject to the relevant Operational Work approvals) and compliance assessment of subdivision plans, subject to the following requirements:

- a The future Operational Works application can cover more than one stage. However, the engineering plans must be split into the individual stages shown on the approved staging plan.
- b The construction of any approved operational works (including provision of “as constructed” information) and compliance assessment of subdivision plans must be in the sequence (i.e. order) of the stages shown on the approved staging plan. To be clear, the subdivision plan for stage 1 must be approved by Council before (or at the same time as) the stage 2 subdivision plan, and so on.
- c Subdivision plans must correspond to the stages as shown on the approved staging plan.
- d Any subsequent proposed amendments to the stage boundaries or the sequence of development must be first approved by Council as a change to the reconfiguration of a lot development approval and any operational work development approval.

Condition 9 is changed to read:

9 Staged development

In accordance with Condition 1 of this Decision Notice the stages as shown on Approved Plan titled Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision C, dated 23/01/2023 and prepared by Gassman Development Perspectives, are approved for the purposes of construction (subject to the relevant Operational Work approvals) and compliance assessment of subdivision plans, subject to the following requirements:

- a The future Operational Works application can cover more than one stage. However, the engineering plans must be split into the individual stages shown on the approved staging plan.
- b The construction of any approved operational works (including provision of “as constructed” information) and compliance assessment of subdivision plans must be in the sequence (i.e., order) of the stages shown on the approved staging plan. To be clear, the subdivision plan for stage 1 must be approved by Council before (or at the same time as) the stage 2 subdivision plan, and so on.
- c Subdivision plans must correspond to the stages as shown on the approved staging plan.
- d Any subsequent proposed amendments to the stage boundaries or the sequence of development must be first approved by Council as a change to the reconfiguration of a lot development approval and any operational work development approval.

Condition 10 currently reads:

10 External Roadworks

Prior to the issue of any development approval associated with the relevant stage, functional road layout plans (including land dedications) must be submitted for the following:

- a the upgrade of Christensen Road and Christensen Road South;
- b the intersection of Christensen Road South and proposed new road;
- c the intersection of Christensen Road and proposed new road;
- d the intersection of Christensen Road and the Eastern Service Road;
- e the re-prioritisation of the intersection of Christensen Road and Christensen Road South.

The functional road layout plans must be supported by a Traffic Impact Assessment Report, and must be completed at no cost to Council and to the satisfaction of the Chief Executive Officer.

Advice Note: Any identified roadworks supported by Council will be conditioned for construction as part of future development applications.

Condition 10 is changed to read:

11 External Roadworks

Prior to the issue of any development approval associated with the relevant stage, functional road layout plans (including land dedications) must be submitted for the following:

- a the upgrade of Christensen Road and Christensen Road South;
- b the intersection of Christensen Road and proposed new road;
- c the intersection of Christensen Road and the Eastern Service Road;
- d the re-prioritisation of the intersection of Christensen Road and Christensen Road South.

The functional road layout plans must be supported by a Traffic Impact Assessment Report and must be completed at no cost to Council and to the satisfaction of the Chief Executive Officer.

Advice Note: Any identified roadworks supported by Council will be conditioned for construction as part of future development applications.

Condition 15 currently reads:

15 Detailed landscape plan to be submitted for approval relating to landscape buffers within Stage 1, 2 and 4.

- a A landscape buffer ten (10) metres wide for the length of the western property boundary of Precinct A, six (6) metres wide for the entire length of the subject site adjoining the Stapylton Jacobs Well Road frontage and twenty (20) metres wide for the length of the eastern boundary of Precinct C, the applicant must submit to Council for approval a detailed landscape plan, by making a development application for operational work (landscape work).
- b Approval of proposed landscaping plan must be obtained prior to the commencement of works relating to relating to the corresponding stages, being stages 1, 2 and 4, of this development. The approved landscape work must be completed prior to the commencement of use of any part of the corresponding stage, being stages 1, 2 or 4 of this development.
- c Without limiting the requirements of the planning scheme's Landscape Work Specific Development Code, the detailed landscape plan must:
 - i Be prepared by a qualified landscape architect or similar landscape design professional;
 - ii Be in general accordance with the Statement of Landscape Intent, being:

Drawing Title	Author	Date	Drawing No.	Ver
Landscape Intent	Gassman Development Perspectives	21 February 2020	1-5	C

- iii Reflect the approved layout (including any amendments to that layout required by these conditions) and the conditions of this approval; and
 - iv Comply with Planning Scheme Policy 13 – Landscape Strategy Part 2 – Landscape Works Documentation Manual.
- d The required landscaping plan for the northern boundary must demonstrate
 - i A landscaped buffer six (6) metres wide for the entire length of the subject site adjoining the Stapylton Jacobs Well Road frontage; and
 - ii That the buffers contain dense tree planting to soften and screen the development.
- e The required landscaping plan for the western boundary must demonstrate
 - i A buffer ten (10) metres wide for the length of the western property boundary of Precinct A;
 - ii A solid fence with a maximum height of 2.4 metres designed and located in accordance with acoustic report prepared by Acoustic Works dated 18 December 2019 (reference: 2019338 R01B), located wholly within the subject site, for the length of the western property boundary of Precinct A. The fence must be of a durable fencing material with a minimum life span of 20 years. The fencing material and colour must be nominated;
 - iii Dense tree planting, at grade, with a minimum width of three (3) metres along the western boundary for the entire length of Precinct A;

- iv Where a minimum batter of 1V:3H can be achieved, landscaping must be provided within the entire ten (10) metre width;
- v Maximum batter grade of 1V:1.1H within the remaining seven (7) metres.
- f The required landscaping plan for the eastern boundary must demonstrate
 - i A landscape buffer with a minimum width of twenty (20) metres for the entire length of the eastern property boundary, within Precinct C;
 - ii That the buffer contains dense tree planting to soften and screen the development;
 - iii An undisturbed corridor with a width of ten (10) metres from the boundary, where all existing vegetation is retained and no earthworks are permitted to encroach;
 - iv Earthworks, where required, must not encroach the ten (10) metre undisturbed corridor;
 - v All batters proposed within the buffer area have a maximum grade of 1V:2H where the batter is within fill and 1V:3H where the batter is within cut. The cut batter may have a maximum grade of 1V:2H, provided it is over-excavated, micro-benched and incorporates a minimum 400mm soil depth, as per correspondence from Douglas Partners, Project 90520.00. L.002.docx, Dated 24 January 2019 titled Batter Treatment.

Condition 15 is changed to read:

15 Detailed landscape plan to be submitted for approval relating to landscape buffers within Stage 1, 2 and 3.

- a A landscape buffer ten (10) metres wide for the length of the western property boundary of Precinct A, six (6) metres wide for the entire length of the subject site adjoining the Stapylton Jacobs Well Road frontage and twenty (20) metres wide for the length of the eastern boundary of Precinct C, the applicant must submit to Council for approval a detailed landscape plan, by making a development application for operational work (landscape work).
- b Approval of proposed landscaping plan must be obtained prior to the commencement of works relating to the corresponding stages, being stages 1, 2 and 3, of this development. The approved landscape work must be completed prior to the commencement of use of any part of the corresponding stage, being stages 1, 2 or 3 of this development.
- c Without limiting the requirements of the planning scheme's Landscape Work Specific Development Code, the detailed landscape plan must:
 - i Be prepared by a qualified landscape architect or similar landscape design professional;
 - ii Be in general accordance with the Statement of Landscape Intent, being:

Drawing Title	Author	Date	Drawing No.	Ver
Landscape Intent	Gassman Development Perspectives	21 February 2020	1-5	C
 - iii Reflect the approved layout (including any amendments to that layout required by these conditions) and the conditions of this approval; and
 - iv Comply with Planning Scheme Policy 13 – Landscape Strategy Part 2 – Landscape Works Documentation Manual.
- d The required landscaping plan for the northern boundary must demonstrate
 - i A landscaped buffer six (6) metres wide for the entire length of the subject site adjoining the Stapylton Jacobs Well Road frontage; and
 - ii That the buffers contain dense tree planting to soften and screen the development.
- e The required landscaping plan for the western boundary must demonstrate
 - i A buffer ten (10) metres wide for the length of the western property boundary of Precinct A;
 - ii A solid fence with a maximum height of 2.4 metres designed and located in accordance with acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C), located wholly within the subject site, for the length of the western

Purpose	Description on Plan	Plan Reference
Conservation Area	Area D – Open Space/Reserve	Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision C, dated 23/01/2023 and prepared by Gassman Development Perspectives.

- b The land identified in paragraph (a) must be transferred in fee simple as 'Public Open Space' to Council of the City of Gold Coast as Trustee.
- c Council will hold the land in trust for community infrastructure and may use the land, or permit the land to be used, for purposes that do not compromise the purpose for which the land is dedicated.
- d The applicant must lodge the transfer documents with Council at the same time as lodgement of the subdivision plans for Stage 3 or, if no subdivision plans are required, prior to the commencement of any use within Stage 3 of this development.
- e Where subdivision plans are required, the applicant must provide Council with evidence of the transfer of the land identified in paragraph (a) within 30 days of the registration of the subdivision plan that shows the entirety of the land identified in paragraph (a).
- f The transfer of the land to Council must be at no cost to Council.

Condition 25 currently reads:

25 Preparation of open space management plan (OSMP) to be submitted for approval addressing all areas of land to be transferred to Council as public open space

- a An Open Space Management Plan ('OSMP') must be prepared, addressing all areas of land to be transferred to Council, specifically the area of land south of Christensen Road to be dedicated to Council as public open space.
- b The OSMP must be submitted and approved by the Chief Executive Officer prior to the approval of any development permit for operational works (change to ground level, bulk earthworks, tree works, landscaping, whichever comes first) within Stage 4 of this development. The OSMP is not an approved report until a Council approved letter has been issued in respect of it.
- c The OSMP must be prepared by a suitably qualified professional and must be:
 - ii In accordance with Council's Open Space Management Guideline: Guideline for the preparation of Reports and Plans associated with the dedication of Public Open Space (November 2007, Version 1); and
 - iii Generally in accordance with:
 - A The approved reconfiguration layout (including any amendments required by these conditions).
 - B Relevant conditions of approval.
- d The submitted OSMP must demonstrate compliance with the Open Space requirements in Section 6 of the Planning Scheme Policy 11 – Land Development Guidelines, Standard Specifications and Drawings and must address the following site-specific issue:
 - ii Detail a rehabilitated sixty (60) metre buffer from the high bank of Sandy Creek.

Condition 25 is changed to read:

25 Preparation of open space management plan (OSMP) to be submitted for approval addressing all areas of land to be transferred to Council as public open space

- a An Open Space Management Plan ('OSMP') must be prepared, addressing all areas of land to be transferred to Council, specifically the area of land south of Christensen Road to be dedicated to Council as public open space.
- b The OSMP must be submitted and approved by the Chief Executive Officer prior to the approval of any development permit for operational works (change to ground level, bulk earthworks, tree works, landscaping, whichever comes first) within Stage 3 of this development. The OSMP is not an approved report until a Council approved letter has been issued in respect of it.
- c The OSMP must be prepared by a suitably qualified professional and must be:
 - i In accordance with Council's Open Space Management Guideline: Guideline for the preparation of Reports and Plans associated with the dedication of Public Open Space (November 2007, Version 1); and
 - ii Generally in accordance with:

- A The approved reconfiguration layout (including any amendments required by these conditions).
 - B Relevant conditions of approval.
- d The submitted OSMP must demonstrate compliance with the Open Space requirements in Section 6 of the Planning Scheme Policy 11 – Land Development Guidelines, Standard Specifications and Drawings and must address the following site-specific issue:
 - i Detail a rehabilitated sixty (60) metre buffer from the high bank of Sandy Creek.

Condition 26 currently reads:

26 Compliance assessment of OSMP

The OSMP is a document requiring compliance assessment under the Sustainable Planning Act 2009. A request for compliance assessment must be made in accordance with the Sustainable Planning Act 2009 for a compliance certificate approving the document, in accordance with the following:

Matters or things against which the document must be assessed	• The planning scheme's Landscape Works Specific Development Code; • The planning scheme's Vegetation Management Specific Development Code; • The planning scheme's Bushfire Management Areas Constraint Code; • The planning scheme's Canals and Waterways Constraint Code; • The planning scheme's Cultural Heritage (Indigenous) Constraint Code; • The planning scheme's Natural Wetland Areas and Natural Waterways Constraint Code; • The planning scheme's Nature Conservation Constraint Code; • Policy 10 – Guidelines for Preparing Management Plans and Plans of Development; • Planning Scheme Policy 11 – Land Development Guidelines; • Planning Scheme Policy 17 – Site Analysis; and • Council's Open Space Management Guideline: Guideline for the preparation of Reports and Plans associated with the dedication of Public Open Space (November 2007, Version 1).
Compliance assessor	Gold Coast City Council
When the request for compliance assessment must be made	Prior to the approval of any development applications for operational work (inclusive of change to ground level, works for infrastructure, vegetation clearing or landscape work) for Stage 4.

The OSMP is not an approved report until a compliance certificate has been issued in respect of it.

Condition 26 is changed to read:

26 Compliance assessment of OSMP

The OSMP is a document requiring compliance assessment under the Sustainable Planning Act 2009. A request for compliance assessment must be made in accordance with the Sustainable

Planning Act 2009 for a compliance certificate approving the document, in accordance with the following:

Matters or things against which the document must be assessed	• The planning scheme's Landscape Works Specific Development Code; • The planning scheme's Vegetation Management Specific Development Code; • The planning scheme's Bushfire Management Areas Constraint Code; • The planning scheme's Canals and Waterways Constraint Code; • The planning scheme's Cultural Heritage (Indigenous) Constraint Code; • The planning scheme's Natural Wetland Areas and Natural Waterways Constraint Code; • The planning scheme's Nature Conservation Constraint Code; • Policy 10 – Guidelines for Preparing Management Plans and Plans of Development; • Planning Scheme Policy 11 – Land Development Guidelines; • Planning Scheme Policy 17 – Site Analysis; and • Council's Open Space Management Guideline: Guideline for the preparation of Reports and Plans associated with the dedication of Public Open Space (November 2007, Version 1).
Compliance assessor	Gold Coast City Council
When the request for compliance assessment must be made	Prior to the approval of any development applications for operational work (inclusive of change to ground level, works for infrastructure, vegetation clearing or landscape work) for Stage 3.

The OSMP is not an approved report until a compliance certificate has been issued in respect of it.

Condition 27 currently reads:

27 Compliance certificate with future operational work development applications

A copy of compliance certificate for the OSMP must be provided with any future operational work development applications for Stage 4.

Condition 27 is changed to read:

27 Compliance certificate with future operational work development applications

A copy of compliance certificate for the OSMP must be provided with any future operational work development applications for Stage 3.

Condition 30 currently reads:

30 Acoustic report

- a The development must be designed and constructed in accordance with all recommendations outlined in acoustic report prepared by Acoustic Works dated 18 December 2019 (reference: 2019338).

- b Any alteration to the design or construction of the development that prevents the recommendations of the approved acoustic report being implemented will require an amended acoustic report to be submitted and approved by Council prior to Building Approval.
- c Hours of operation within Precinct A are restricted to between 7:00am and 8:00pm Monday to Friday.

Condition 30 is changed to read:

30 Acoustic report

- a The development must be designed and constructed in accordance with all recommendations outlined in acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C).
- b Any alteration to the design or construction of the development that prevents the recommendations of the approved acoustic report being implemented will require an amended acoustic report to be submitted and approved by Council prior to Building Approval.
- c Hours of operation within Precinct A are restricted to between 7:00am and 8:00pm Monday to Friday.

Condition 31 currently reads:

31 Acoustic barrier

A continuous line of buildings adjacent to the full extent of the western property boundary adjoining the residential development as per the recommendations within approved acoustic report prepared by Acoustic Works dated 18 December 2019 (reference: 2019338) is to be provided ensuring the following treatment is incorporated:

- a Buildings to be a minimum 5m high;
- b No gaps to be present between buildings;
- c Buildings to be constructed of solid concrete or masonry with a minimum thickness of 100mm;
- d No openings (other than emergency doors) are to be located on the western façade facing the residential properties. Any doors are to be a minimum 45mm thick solid core door with a minimum density of 25kg/m² with acoustic gasket seals around the top and sides and a seal the base;
- e Insulation blanket is to be installed in the roof of the buildings with a minimum thickness of 75mm;
- f Any penetrations through the western building façade should be acoustically treated to ensure the acoustic rating is maintained; and
- g Any alteration to the design or construction of the development that prevents the above recommendations being implemented will require an amended acoustic report to be submitted and approved by Council prior to Building Approval.

Condition 31 is changed to read:

31 Acoustic barrier

A continuous line of buildings adjacent to the full extent of the western property boundary adjoining the residential development as per the recommendations within approved acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C) is to be provided ensuring the following treatment is incorporated:

- a Buildings to be a minimum 5m high;
- b No gaps to be present between buildings;
- c Buildings to be constructed of solid concrete or masonry with a minimum thickness of 100mm;
- d No openings (other than emergency doors) are to be located on the western façade facing the residential properties. Any doors are to be a minimum 45mm thick solid core door with a

minimum density of 25kg/m² with acoustic gasket seals around the top and sides and a seal the base;

- e Insulation blanket is to be installed in the roof of the buildings with a minimum thickness of 75mm;
- f Any penetrations through the western building façade should be acoustically treated to ensure the acoustic rating is maintained; and
- g Any alteration to the design or construction of the development that prevents the above recommendations being implemented will require an amended acoustic report to be submitted and approved by Council prior to Building Approval.

Condition 33 currently reads:

33 Certificate of Compliance

Prior to occupation of any premise within Precinct A of the development, a Certificate of Compliance from a suitably qualified acoustic professional is to be provided so as to confirm that buildings have been constructed in accordance with the recommendations within approved acoustic report prepared by Acoustic Works dated 18 December 2019 (reference: 2019338).

Condition 33 is changed to read:

33 Certificate of Compliance

Prior to occupation of any premise within Precinct A of the development, a Certificate of Compliance from a suitably qualified acoustic professional is to be provided so as to confirm that buildings have been constructed in accordance with the recommendations within approved acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C).

Condition 53 currently reads:

53 General wastewater servicing arrangement

Unless otherwise determined by Gold Coast Water, the wastewater servicing arrangements shall be generally in accordance with the following:

- a Connect Stage 1 to Council's existing live 100mm diameter sewer rising main located within the southern verge of Stapylton Jacobs Well Road via an interim trunk sewer pump station to be contained within the Stage 1 road reserve extent (refer to drawing no. 5941 ENG EXTSEW SK003 Rev B prepared by Gassman Development Perspectives dated 12-11-2020);
- b The balance of Stage 2, Stage 3 and Stage 4 shall gravitate into Council's future trunk wastewater network located on the Christensen Road frontage of the subject site.

Condition 53 is changed to read:

53 General wastewater servicing arrangement

Unless otherwise determined by Gold Coast Water, the wastewater servicing arrangements shall be generally in accordance with the following:

- a Connect Stage 1 to Council's existing live 100mm diameter sewer rising main located within the southern verge of Stapylton Jacobs Well Road via an interim trunk sewer pump station to be contained within the Stage 1 road reserve extent (refer to drawing no. 5941 ENG EXTSEW SK003 Rev B prepared by Gassman Development Perspectives dated 12-11-2020);
- b The balance of Stage 2, and Stage 3 shall gravitate into Council's future trunk wastewater network located on the Christensen Road frontage of the subject site.

Condition 54 currently reads:

54 Connection point

The applicant must submit to Gold Coast Water and obtain approval prior to making any development application for a Development Permit or Building Work:

- a Pump Station BE45 catchment (part of Stage 1):

- i Demonstrate development can be connected by gravity to BE45,
- b Proposed new pump station near Stapylton-Jacobs Well Road (balance of Stage 1 and part of Stage 2 that's drains to this new pump station):
 - i Demonstrate that downstream wastewater infrastructure has sufficient capacity to accommodate the new wastewater pump station;
 - ii Demonstrate an ability to deliver the new wastewater pump station in time to service the proposed development.
- c Long Term Strategy (balance of Stage 2, Stage 3 and Stage 4):
 - i Demonstrate that balance of Stage 2 and Stage 3 gravitate to Stage 4; and
 - ii Demonstrate that downstream wastewater infrastructure has sufficient capacity to accommodate the development.

Note: The development is out of sequence in respect of wastewater services. The wastewater network scenario may change as a result of the future planning of the Beenleigh, Stapylton and Pimpama Wastewater Treatment plants. The applicant is advised to liaise with Gold Coast Water.

Condition 54 is changed to read:

54 Connection point

The applicant must submit to Gold Coast Water and obtain approval prior to making any development application for a Development Permit or Building Work:

- a Pump Station BE45 catchment (part of Stage 1):
 - i Demonstrate development can be connected by gravity to BE45,
- b Proposed new pump station near Stapylton-Jacobs Well Road (balance of Stage 1 and part of Stage 2 that's drains to this new pump station):
 - i Demonstrate that downstream wastewater infrastructure has sufficient capacity to accommodate the new wastewater pump station;
 - ii Demonstrate an ability to deliver the new wastewater pump station in time to service the proposed development.
- c Long Term Strategy (balance of Stage 2, and Stage 3):
 - i Demonstrate that balance of Stage 2 gravitates to Stage 3; and
 - ii Demonstrate that downstream wastewater infrastructure has sufficient capacity to accommodate the development.

Note: The development is out of sequence in respect of wastewater services. The wastewater network scenario may change as a result of the future planning of the Beenleigh, Stapylton and Pimpama Wastewater Treatment plants. The applicant is advised to liaise with Gold Coast Water.

Property Notification A currently reads:

A Noise/Acoustic

There are development approval conditions applicable in relation to acoustic issues on this lot/subsequent lots. All property owner(s) must ensure compliance with these conditions. Refer to Council of the City of Gold Coast's Decision Notice MIN/2019/762. A copy of Council's Decision Notice is available for viewing on Council's website www.goldcoastcity.com.au/pdonline

Property Notification A is changes reads:

A Noise/Acoustic

There are development approval conditions applicable in relation to acoustic issues on this lot/subsequent lots. All property owner(s) must ensure compliance with these conditions. Refer to Council of the City of Gold Coast's Decision Notice MIN/2023/64. A copy of Council's Decision Notice is available for viewing on Council's website www.goldcoastcity.com.au/pdonline

Amended suite of development conditions for development approval MIN/2023/64

For ease of reference only, a consolidated set of the conditions, incorporating the above changes, of the of the Preliminary Approval dated 30 June 2020 for making a Material Change of Use to override the Planning Scheme for Industry uses is set out below:

NATURE OF DECISION

- A** Under Delegated Authority the Manager of the City Development Branch decides as follows in respect of the applicant's representations:
- B** Under Delegated Authority the Manager of the City Development Branch gives a new decision notice approving the issue of preliminary approval for material change of use to override the Planning Scheme for Industry Uses, subject to the following conditions:
- 1 The issue of a preliminary approval for a material change of use for Industry land uses;**
 - 2 The following variations to the effect of the planning scheme:**
 - a Type of assessment
The following tables of development vary the effect of Section A/B/C/D/E/F/G of the Yatala Enterprise Area Local Area Plan Table of Development for determining the type of assessment for the approved material change of use and operational work relating to the approved material change of use:

A: Material Change of Use

Exempt	Self Assessable	Code Assessable	Impact Assessable
Precinct A (Low Impact and Service Industry)			
Agriculture Animal Husbandry Conservation (natural area management) Low-Impact Telecommunications Facility Minor Change in the scale or intensity of an existing lawful use Park Public Utility	Café Car Park Convenience Shop Low Impact Industry Milk Depot Service Industry Take-Away Food Premises Temporary Use Warehouse	Bulk Garden Supplies Caretakers Residence Estate Sales Office Family Accommodation Food Industry Industry Manufacturer's Shop Outdoor Storage Area Rural Industry Telecommunications Facilities n.e.i.	Motor Vehicle Repairs n.e.i. Salvage Yard Service Station Transport Terminal

Precinct B (General Impact Business and Industry)			
Agriculture Animal Husbandry Conservation (natural area management) Low-Impact Telecommunications Facility Minor Change in the scale or intensity of an existing lawful use Park Public Utility	Café Car Park Convenience Shop Industry Low Impact Industry Manufacturer's Shop Milk Depot Outdoor Storage Area Service Industry Take-Away Food Premises Temporary Use Warehouse	Bulk Garden Supplies Caretakers Residence Food Industry Rural Industry Telecommunications Facilities n.e.i. Transport Terminal	Motor Vehicle Repairs n.e.i Salvage Yard Service Station

Precinct C (Limited General Impact Business and Industry)			
Agriculture Animal Husbandry Conservation (natural area management) Low-Impact Telecommunications Facility Minor Change in the scale or intensity of an existing lawful use Park Public Utility	Car Park Industry Low Impact Industry Manufacturer's Shop Outdoor Storage Area Service Industry Temporary Use Warehouse	Bulk Garden Supplies Caretakers Residence Rural Industry Telecommunications Facilities n.e.i Transport Terminal	Café Convenience Shop Food Industry Milk Depot Motor Vehicle Repairs n.e.i Salvage Yard Service Station Take-Away Food Premises

Precinct D (Open Space/Reserve)			
Conservation (natural area management) Low-Impact Telecommunications Facility Minor Change in the scale or intensity of an existing lawful use Park Public Utility	Temporary Use	Telecommunications Facility n.e.i	Agriculture

B: OPERATIONAL WORKS - CHANGE TO GROUND LEVEL

Exempt	Self Assessable	Code Assessable	Impact Assessable
Operational Work that involves extraction, excavation or fill that:			
		Exceeds a volume of 100 cubic metres of fill or excavation, or is closer than 20 metres from the allotment boundary and is within or adjoins an allotment containing places, sites, or landscapes of indigenous cultural heritage significance listed on the Queensland Heritage Register – Cultural Records (Landscapes Queensland and Queensland Estate) Act 1987; OR is located on land which is the subject of a native title claim; OR Is located on land that is known to the owner and/or the developer to be of indigenous cultural heritage value	

C: OPERATIONAL WORKS - ADVERTISING DEVICE

Exempt	Self Assessable	Code Assessable	Impact Assessable
	Advertising Device that is: a) not illuminated, nor animated, and where the total area of signage per street frontage does not exceed the following for each precinct: Precinct A:20 m ² b) not on land with frontage to an arterial road or any State controlled road	Advertising Devices n.e.i.	

D: OPERATIONAL WORKS - INFRASTRUCTURE AND LANDSCAPE WORK

Exempt	Self Assessable	Code Assessable	Impact Assessable
Minor Landscape Work		Landscape Work n.e.i. Works for Infrastructure	

E: OPERATIONAL WORKS - VEGETATION CLEARING

Exempt	Self Assessable	Code Assessable	Impact Assessable
Precinct A and B and C (Low Impact and Service Industry, General Impact Business and Industry and Limited General Impact Business and Industry)			
	Results in the removal of, or damage to, vegetation that is equal to, or in excess of, 40 centimetres in girth (circumference) measured at 1.3 metres above average ground level, and complies with the Acceptable Solutions of Specific Development Code 36 – Vegetation Management; OR Results in the removal of, or damage to, vegetation that is equal to, or in excess of, four metres in height, and complies with the Acceptable Solutions of Specific Development Code 36 – Vegetation Management.	Results in the removal of, or damage to, vegetation that is equal to, or in excess of, 40 centimetres in girth (circumference) measured at 1.3 metres above average ground level, and provides an alternative solution to the Acceptable Solutions of Specific Development Code 36 – Vegetation Management; OR Results in the removal of, or damage to, vegetation that is equal to, or in excess of, four metres in height, and provides an alternative solution to the Acceptable Solutions of Specific Development Code 36 – Vegetation Management; or Results in the removal of, or damage to the existing wedge-tailed eagles nest (Aquila audax) in the north eastern corner of Precinct C, which is not in accordance with the vegetation removal requirements detailed in the approved relocation plan required by the conditions of this Development Permit.	

F: RECONFIGURATION OF A LOT

Exempt	Self Assessable	Code Assessable	Impact Assessable
Precinct A and B (Low Impact and Service Industry and General Impact Business and Industry)			
		Results in no lots with an area less than 2,000m ² ; OR Entails only a Community Title Subdivision (including Standard Format Plan and/or Volumetric Lots), or a Volumetric Lot within a building, or a leasehold subdivision of an existing approved development	
Precinct C (Limited General Impact business and Industry)			
		Results in no lots with an area less than 10,000m ² .	
Precinct D (Open Space/Reserve)			
		Results in no lots with an area less than 20 hectares; OR Entails only a Community Title Subdivision (including Standard Format Plans and/or Volumetric Lots), or a Volumetric Lot within a building, or a leasehold subdivision of an existing or approved development.	

b Codes varying the effect of the planning scheme

Subject to the amendments listed in this Decision Notice, the following code varies the effect of the planning scheme code/s listed for the approved material change of use:

New Code	Existing code varied by new code
Generations Industrial Park Place Code	Yatala Enterprise Area Local Area Plan

c The Preliminary Approval pursuant to section 242 of SPA 2009 does not seek to override any further Specific Development Codes or Constraint Codes of the Gold Coast Planning Scheme 2003, version 1.2.

C The conditions that attach to this preliminary approval are as follows:

APPROVED PLANS/DRAWINGS/DOCUMENTS

1 Approved plans/drawings/documents

Undertake and maintain the development generally in accordance with the following plans/drawings/documents:

Title	Author	Date	Reference No.	Ver.
M38 Industrial Estate Place Code	Gassman Development Perspectives	June 2020	-	-
M38 Industrial Estate Land Use Classification and Staging Plan	Gassman Development Perspectives	23/01/2023	5941 P LU 01	C

The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.

2 Staged construction of development

- a Subject to the changes required by Condition 1 within section B of this Decision Notice, the stages as shown on the following plan are approved (subject to the relevant Operational Works approvals):
 - i Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision C, dated 23/01/2023 and prepared by Gassman Development Perspectives.
- b The construction of the development must be in sequence of the stages shown on the approved staging plan.
- c Deleted.
- d Any subsequent proposed amendments to the approved staging plan (including sequence of development) must be approved in writing by the Chief Executive Officer.

3 Decision notice and approved plans/drawings to be submitted with subsequent application

A copy of this decision notice and accompanying stamped approved plans/drawings must be submitted with any building development application or operational works application relating to or arising from this development approval.

4 Any deviations require further approval

Any proposed deviation from the approved plans/drawings as a result of on-site or in-situ conditions must not be made unless amended plans/drawings are submitted and approved by Council. The development must be carried out in accordance with the approved amended plans/drawings.

ADVERTISING

5 Advertising device

No advertising device is to be placed on the premises without the necessary development permit for operational work (advertising device) and/or approval under Council's Local Law No.16 (Licensing) 2008 and Subordinate Local Law No. 16.8 (Advertisement) 2008. The Applicant should contact Council's Health, Regulatory and Lifeguard Services Branch on (07) 5581 6668 to discuss approval requirements.

AMENITY

6 No nuisance from lighting

All lighting devices must be positioned on the premises and shielded to the satisfaction of the Chief Executive Officer so as not to cause glare or other nuisance to surrounding development and motorists

7 Restricted paint colours

Buildings and structures must not be painted in highly reflective, bright or obtrusive colours.

8 Location of equipment and ventilation/air-condition units

All service equipment, mechanical ventilation and air-condition units associated with the use of the premises must be installed and located to the satisfaction of the Chief Executive Officer so as not to cause nuisance or disturbance to persons outside the curtilage of the premises.

CITY TRANSPORT

9 Staged development

In accordance with Condition 1 of this Decision Notice the stages as shown on Approved Plan titled Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision C, dated 23/01/2023 and prepared by Gassman Development Perspectives, are approved for the purposes of construction (subject to the relevant Operational Work approvals) and compliance assessment of subdivision plans, subject to the following requirements:

- a The future Operational Works application can cover more than one stage. However, the engineering plans must be split into the individual stages shown on the approved staging plan.
- b The construction of any approved operational works (including provision of "as constructed" information) and compliance assessment of subdivision plans must be in the sequence (i.e., order) of the stages shown on the approved staging plan. To be clear, the subdivision plan for stage 1 must be approved by Council before (or at the same time as) the stage 2 subdivision plan, and so on.
- c Subdivision plans must correspond to the stages as shown on the approved staging plan.
- d Any subsequent proposed amendments to the stage boundaries or the sequence of development must be first approved by Council as a change to the reconfiguration of a lot development approval and any operational work development approval.

10 External Roadworks

Prior to the issue of any development approval associated with the relevant stage, functional road layout plans (including land dedications) must be submitted for the following:

- a the upgrade of Christensen Road and Christensen Road South;
 - b the intersection of Christensen Road and proposed new road;
 - c the intersection of Christensen Road and the Eastern Service Road;
 - d the re-prioritisation of the intersection of Christensen Road and Christensen Road South.
- The functional road layout plans must be supported by a Traffic Impact Assessment Report and must be completed at no cost to Council and to the satisfaction of the Chief Executive Officer.

Advice Note: Any identified roadworks supported by Council will be conditioned for construction as part of future development applications.

11 Land dedication for road widening

Land must be dedicated to Council for road widening purposes. All land to be dedicated to Council must be completed at no cost to Council and to the satisfaction of the Chief Executive Officer, the timing of which will be determined as part of each subsequent application.

ACID SULFATE SOILS AND GROUNDWATER

12 Approved acid sulfate soil management plan must be complied with

- a All works must be undertaken with due regard to the possibility of encountering acid sulfate soils.
- b The applicant must comply with the approved acid sulfate soil management plan, being Acid Sulfate Soil investigation, Lot 1 on RP 6882 and Lot 240 on W31320 Stapylton Jacobs Well Road and Christensen Road, Stapylton, prepared by ADG consulting and dated August 2011, in the carrying out of works and in the testing, treatment and management of acid sulfate soils.

VEGETATION MANAGEMENT

13 Staged tree clearing

Tree clearing onsite must be staged in accordance with the approved staging development plan as required by Condition no.1 of this Decision Notice.

14 Vegetation works OPW application required

This approval does not approve vegetation clearing or damage. Prior to commencement of such works, a development application for operational work (vegetation works) must be made to and approved by Council for any works proposing clearing or damage to any Protected Vegetation. The application must be accompanied by a copy of each of the following plans (and, where a plan has already been approved, that plan must be accompanied by the corresponding approval documentation (i.e., decision notice or letter of approval)):

- a The approved MCU layout plan.
- b The approved bushfire management plan/site specific Bushfire Hazard letter.
- c Plans clearly identifying which vegetation is proposed to be removed and which vegetation is proposed to be retained.
- d A letter from an EPA-approved spotter-catcher together with any necessary fauna management plan or a QPWS-endorsed fauna translocation management plan.
- e A sediment and erosion control and construction management plan.

For this condition 'Protected Vegetation' is defined as vegetation that is:

- i equal to, or in excess of, 40 centimetres in girth (circumference) measured at 1.3 metres above average ground level irrespective of the domain or LAP; or
- ii equal to, or in excess of, four metres in height in the Rural, Park Living or Emerging Communities Domains, Burleigh Ridge LAP, Coomera LAP (Precincts 7, 9 and 10), Coomera Town Centre (Precincts 8, 10 and 11), Currumbin Hill LAP, Eagleby LAP (Precinct 6), East Coomera/Yawalpah Conservation LAP, Guragunbah LAP, Hope Island LAP (Precinct 3), Mudgeeraba Village LAP, Nerang LAP (Precincts 9 and 10), South Stradbroke LAP, Uplands Dr and Woodlands Way LAP, West Burleigh Township LAP or Yatala Enterprise Area LAP.

LANDSCAPING

15 Detailed landscape plan to be submitted for approval relating to landscape buffers within Stage 1, 2 and 3.

- a A landscape buffer ten (10) metres wide for the length of the western property boundary of Precinct A, six (6) metres wide for the entire length of the subject site adjoining the Stapylton Jacobs Well Road frontage and twenty (20) metres wide for the length of the eastern boundary of Precinct C, the applicant must submit to Council for approval a detailed landscape plan, by making a development application for operational work (landscape work).
- b Approval of proposed landscaping plan must be obtained prior to the commencement of works relating to relating to the corresponding stages, being stages 1, 2 and 3, of this development. The approved landscape work must be completed prior to the commencement of use of any part of the corresponding stage, being stages 1, 2 or 3 of this development.
- c Without limiting the requirements of the planning scheme's Landscape Work Specific Development Code, the detailed landscape plan must:

- i Be prepared by a qualified landscape architect or similar landscape design professional;
- ii Be in general accordance with the Statement of Landscape Intent, being:

Drawing Title	Author	Date	Drawing No.	Ver
Landscape Intent	Gassman Development Perspectives	21 February 2020	1-5	C

- iii Reflect the approved layout (including any amendments to that layout required by these conditions) and the conditions of this approval; and
 - iv Comply with Planning Scheme Policy 13 – Landscape Strategy Part 2 – Landscape Works Documentation Manual.
- d The required landscaping plan for the northern boundary must demonstrate
 - i A landscaped buffer six (6) metres wide for the entire length of the subject site adjoining

- the Stapylton Jacobs Well Road frontage; and
- ii That the buffers contain dense tree planting to soften and screen the development.
- e The required landscaping plan for the western boundary must demonstrate
 - i A buffer ten (10) metres wide for the length of the western property boundary of Precinct A;
 - ii A solid fence with a maximum height of 2.4 metres designed and located in accordance with acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C), located wholly within the subject site, for the length of the western property boundary of Precinct A. The fence must be of a durable fencing material with a minimum life span of 20 years. The fencing material and colour must be nominated;
 - iii Dense tree planting, at grade, with a minimum width of three (3) metres along the western boundary for the entire length of Precinct A;
 - iv Where a minimum batter of 1V:3H can be achieved, landscaping must be provided within the entire ten (10) metre width;
 - v Maximum batter grade of 1V:1.1H within the remaining seven (7) metres.
- f The required landscaping plan for the eastern boundary must demonstrate
 - i A landscape buffer with a minimum width of twenty (20) metres for the entire length of the eastern property boundary, within Precinct C;
 - ii That the buffer contains dense tree planting to soften and screen the development;
 - iii An undisturbed corridor with a width of ten (10) metres from the boundary, where all existing vegetation is retained and no earthworks are permitted to encroach;
 - iv Earthworks, where required, must not encroach the ten (10) metre undisturbed corridor;
 - v All batters proposed within the buffer area have a maximum grade of 1V:2H where the batter is within fill and 1V:3H where the batter is within cut. The cut batter may have a maximum grade of 1V:2H, provided it is over-excavated, micro-benched and incorporates a minimum 400mm soil depth, as per correspondence from Douglas Partners, Project 90520.00. L.002.docx, Dated 24 January 2019 titled Batter Treatment.

COVENANT AREA – PROHIBITED ACTIVITIES, MANAGEMENT AND COVENANT

- 16 Cancelled
- 17 Cancelled
- 18 Cancelled
- 19 Cancelled
- 20 Cancelled
- 21 Cancelled
- 22 Cancelled
- 23 Cancelled

OPEN SPACE

24 Transfer of open space

- a The applicant must transfer to Council the areas of public open space listed below, as identified on the plans indicated (subject to any amendments required by these conditions):

Purpose	Description on Plan	Plan Reference
Conservation Area	Area D – Open Space/Reserve	Land Use Classification and Staging Plan, drawing 5941 P LU 01, Revision C, dated 23/01/2023 and prepared by Gassman Development Perspectives.

- b The land identified in paragraph (a) must be transferred in fee simple as 'Public Open Space' to Council of the City of Gold Coast as Trustee.

- c Council will hold the land in trust for community infrastructure and may use the land, or permit the land to be used, for purposes that do not compromise the purpose for which the land is dedicated.
- d The applicant must lodge the transfer documents with Council at the same time as lodgement of the subdivision plans for Stage 3 or, if no subdivision plans are required, prior to the commencement of any use within Stage 3 of this development.
- e Where subdivision plans are required, the applicant must provide Council with evidence of the transfer of the land identified in paragraph (a) within 30 days of the registration of the subdivision plan that shows the entirety of the land identified in paragraph (a).
- f The transfer of the land to Council must be at no cost to Council.

OPEN SPACE MANAGEMENT PLAN

25 Preparation of open space management plan (OSMP) to be submitted for approval addressing all areas of land to be transferred to Council as public open space

- c An Open Space Management Plan ('OSMP') must be prepared, addressing all areas of land to be transferred to Council, specifically the area of land south of Christensen Road to be dedicated to Council as public open space.
- d The OSMP must be submitted and approved by the Chief Executive Officer prior to the approval of any development permit for operational works (change to ground level, bulk earthworks, tree works, landscaping, whichever comes first) within Stage 3 of this development. The OSMP is not an approved report until a Council approved letter has been issued in respect of it.
- e The OSMP must be prepared by a suitably qualified professional and must be:
 - i In accordance with Council's Open Space Management Guideline: Guideline for the preparation of Reports and Plans associated with the dedication of Public Open Space (November 2007, Version 1); and
 - ii Generally in accordance with:
 - A The approved reconfiguration layout (including any amendments required by these conditions).
 - B Relevant conditions of approval.
- d The submitted OSMP must demonstrate compliance with the Open Space requirements in Section 6 of the Planning Scheme Policy 11 – Land Development Guidelines, Standard Specifications and Drawings and must address the following site-specific issue:
 - i Detail a rehabilitated sixty (60) metre buffer from the high bank of Sandy Creek.

26 Compliance assessment of OSMP

The OSMP is a document requiring compliance assessment under the Sustainable Planning Act 2009. A request for compliance assessment must be made in accordance with the Sustainable Planning Act 2009 for a compliance certificate approving the document, in accordance with the following:

Matters or things against which the document must be assessed	• The planning scheme's Landscape Works Specific Development Code; • The planning scheme's Vegetation Management Specific Development Code; • The planning scheme's Bushfire Management Areas Constraint Code; • The planning scheme's Canals and Waterways Constraint Code; • The planning scheme's Cultural Heritage (Indigenous) Constraint Code; • The planning scheme's Natural Wetland Areas and Natural Waterways Constraint Code; • The planning scheme's Nature Conservation Constraint Code; • Policy 10 – Guidelines for Preparing Management Plans and Plans of Development; • Planning Scheme Policy 11 – Land Development Guidelines; • Planning Scheme Policy 17 – Site Analysis; and • Council's Open Space Management Guideline: Guideline for the preparation of Reports and Plans associated with the dedication of Public Open Space (November 2007, Version 1).
Compliance assessor	Gold Coast City Council
When the request for compliance assessment must be made	Prior to the approval of any development applications for operational work (inclusive of change to ground level, works for infrastructure, vegetation clearing or landscape work) for Stage 3.

The OSMP is not an approved report until a compliance certificate has been issued in respect of it.

27 Compliance certificate with future operational work development applications

A copy of compliance certificate for the OSMP must be provided with any future operational work development applications for Stage 3.

28 Compliance with OSMP prior to acceptance of open space 'On Maintenance'

- a All works specified in the OSMP and any conditions imposed on the compliance certificate must be carried out in accordance with the approved plan at no cost to Council and to the satisfaction of the Chief Executive Officer, prior to Council accepting the open space 'On Maintenance' in accordance with Planning Scheme Policy 11 – Land Development Guidelines, Standard Specifications and Drawings.
- b The applicant must provide certification from a qualified professional that all works in the approved OSMP and associated design drawings have been implemented on-site in accordance with the OSMP and the conditions of approval as stated on the compliance certificate approving the OSMP. This certification must be provided to the Council prior to accepting the works 'On Maintenance'.

29 Revegetation to use Local Provenance Stock

- a All revegetation for the purposes of ecological rehabilitation and restoration must be undertaken using only local provenance plant stock in accordance with Appendix 1A of Open Space Management Guideline: Guideline for the preparation of Reports and Plans associated with the dedication of Public Open Space (November 2007, Version 1).

- b Unless otherwise approved to the satisfaction of the Chief Executive Officer, local provenance plant stock is to be sourced from seed or vegetative material located no further than 10 kilometres from the subject site.

ACOUSTICS

30 Acoustic report

- a The development must be designed and constructed in accordance with all recommendations outlined in acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C).
- b Any alteration to the design or construction of the development that prevents the recommendations of the approved acoustic report being implemented will require an amended acoustic report to be submitted and approved by Council prior to Building Approval.
- c Hours of operation within Precinct A are restricted to between 7:00am and 8:00pm Monday to Friday.

31 Acoustic barrier

A continuous line of buildings adjacent to the full extent of the western property boundary adjoining the residential development as per the recommendations within approved acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C) is to be provided ensuring the following treatment is incorporated:

- a Buildings to be a minimum 5m high;
- b No gaps to be present between buildings;
- c Buildings to be constructed of solid concrete or masonry with a minimum thickness of 100mm;
- d No openings (other than emergency doors) are to be located on the western façade facing the residential properties. Any doors are to be a minimum 45mm thick solid core door with a minimum density of 25kg/m² with acoustic gasket seals around the top and sides and a seal the base;
- e Insulation blanket is to be installed in the roof of the buildings with a minimum thickness of 75mm;
- f Any penetrations through the western building façade should be acoustically treated to ensure the acoustic rating is maintained; and
- g Any alteration to the design or construction of the development that prevents the above recommendations being implemented will require an amended acoustic report to be submitted and approved by Council prior to Building Approval.

32 Landscape buffer

A minimum ten (10) metre wide buffer is to be provided along the length of the western property boundary of Precinct A in accordance with the submitted Statement of Landscape Intent, revision C, dated 21 February 2020, prepared by Gassman Development Perspectives.

33 Certificate of Compliance

Prior to occupation of any premise within Precinct A of the development, a Certificate of Compliance from a suitably qualified acoustic professional is to be provided so as to confirm that buildings have been constructed in accordance with the recommendations within approved acoustic report prepared by Acoustic Works dated 19 January 2023 (reference: 2019338 R01C).

34 An acoustic report required for future MCU (Code and Impact Assessable) development applications within Precinct A

An acoustic report must be submitted and approved by Council for all future Material Change of Use (Code and Impact Assessable) development applications within Precinct A.

- a The report must detail:
 - i The expected impact of noise from mechanical plant and equipment from buildings within Precinct A on nearby noise sensitive dwellings;

- ii An assessment conducted in accordance with AS1055.1-3: 1997 Acoustics – Description and Measurement of Environmental Noise and the Environmental Protection Act 1994 and Subordinate Regulations and Policies; and
 - iii The required control measures to ensure compliance with the relevant noise level criteria.
 - b The development must be designed and constructed in accordance with any recommendations of the approved acoustic report and any other conditions imposed in the approval of the report.
- 35 Hours of operation within Precinct A**
- Hours of operation within Precinct A are restricted to between 7:00am and 8:00pm Monday to Friday or to the satisfaction of the Chief Executive Officer.
- 36 Delivery and Collection Activities within Precinct A**
- Delivery and collection activities within Precinct A are restricted to between 7:00am and 8:00pm Monday to Friday or to the satisfaction of the Chief Executive Officer.

HYDRAULICS AND STORMWATER MANAGEMENT

37 No worsening of hydraulic conditions

The development must be designed and constructed so as to result in:

- a No increase in peak flow rates downstream from the site;
- b No increase in flood levels external to the site; and
- c No increase in duration of inundation external to the site that could cause loss or damage.

38 Alteration of overland flow paths

Overland flow paths on the site must not be altered in a way that inhibits or alters the characteristics of existing overland flows on other properties or that creates an increase in flood damage on other properties.

39 Certification of earthworks compliance with hydraulic report

Immediately after completion of the bulk earthworks, the applicant must submit to Council a certification from a Registered Professional Engineer Queensland (RPEQ) specialising in hydraulics stating that the bulk earthworks comply with Section 4 of the approved report, being 'Generations Industrial Park – Stormwater Management Plan', dated 20 June 2012 and prepared by Hyder Consulting Pty Ltd and no loss of flood plain storage has occurred as a result of the earthworks. The certification must be accompanied by calculations and as constructed data that:

- a Includes existing and proposed triangulated surface meshes which can be produced by computer terrain modelling software packages such as Civil-Cad, 12D or KEAYS; and
- b Has been compared with the pre-development surface levels to ensure that no loss of floodplain storage has occurred.

40 Use of land for flood storage purposes only

The part of Lot 4 on RP6843 that is identified as Excavation below RL8.6m AHD in Figure 4.6 (Compensatory Excavation for Flood Storage Volume Balance) of the stormwater management report, being 'Generations Industrial Park – Stormwater Management Plan', dated 20 June 2012 and prepared by Hyder Consulting Pty Ltd must be used solely for the purposes of flood storage/conveyance and not be used for any purposes that involve the construction of any building, structures or earthworks. This obligation applies independently of any registered covenant.

41 Flood storage covenant

Prior to the earlier of compliance assessment of the subdivision plan or the commencement of the use of the premises, an instrument of covenant must be registered on the title/s of the lot/s. The following requirements must be complied with in the preparation and lodgement of the instrument of covenant:

- a The applicant is responsible for the preparation of the instrument of covenant and any necessary subdivision plan to enable registration of the covenant and for lodgement of the covenant for registration.

- b The instrument must be in a form capable of registration pursuant to section 97A(3)(a) of the Land Title Act 1994.
- c The part of Lot 4 on RP6843 that is identified as Excavation below RL8.6m AHD in Figure 4.6 (Compensatory Excavation for Flood Storage Volume Balance) of the stormwater management report, being 'Generations Industrial Park – Stormwater Management Plan', dated 20 June 2012 and prepared by Hyder Consulting Pty Ltd must be shown and identified as a 'Flood Covenant Area' on the face of the subdivision plan in addition to any covenant descriptor (e.g. Covenant 'A').
- d The applicant must provide a draft of the covenant to Council for written approval.
- e The parties to the covenant are to be the registered owner of the lot (as covenantor) and the Council (as covenantee).
- f The instrument must include a purpose statement that articulates:
 - i That the covenantor acknowledges that the Flood Covenant Area contributes to the existing flood storage capacity of the floodplain and watercourse system, as well as maintaining existing flood conveyance capacity of the watercourse system; and
 - ii That to ensure the flood storage/flood conveyance function of the Flood Covenant Area is not adversely affected, it is critical the Flood Covenant Area be used solely for the purposes of flood storage/conveyance and not be used for any purposes that involve the construction of any building, structures or earthworks.
- g The instrument must expressly set out in full as obligations of the covenantor that:
 - i The Flood Covenant Area must be used for the purpose of flood storage/conveyance; and
 - ii The Flood Covenant Area must not be used for any purposes involving buildings, structures or earthworks that result in a loss of flood plain storage or conveyance capacity (cross sectional area) of the watercourse.
- h If the instrument is requisitioned or refused registration by the Registrar of Titles, the applicant shall amend the document to include a covenant/s which, as nearly as practicable, addresses the objective sought to be achieved by this condition. A draft of the amended document is to be provided to Council for written approval.

42 Amendment of and compliance with stormwater management plan

- a The submitted stormwater management plan, being 'Generations Industrial Park – Stormwater Management Plan', dated 20 June 2012 and prepared by Hyder Consulting Pty Ltd, is approved, subject to the following amendments:
 - i GPTs must be selected in accordance with Section 13.12.2.2 of the Council's Land Development Guidelines (GCCC, 2007).
 - ii Pollutant removal efficiency of GPTs must not be higher than the Council's acceptable value 50% TSS, 20% TP and no removal of TN. The applicant must provide additional bioretention basin/swale if requires, to achieve the Council's pollutant load reduction target (80% TSS, 60% TP, 45% TN and 90% GP).
- b All works must be carried out and completed and all maintenance and monitoring implemented by the applicant in accordance with the amended stormwater management plan, prior to a request for compliance assessment of the subdivision plan or, if no subdivision plan is required, prior to the commencement of the use of the premises.

43 Certification that stormwater management treatment train implemented

- a The applicant must provide to Council certification from a Registered Professional Engineer Queensland (RPEQ) specialising in stormwater that the stormwater management treatment train in the approved (as amended) stormwater management plan and associated design drawings has been installed on-site and is functioning as designed.
- b Certification must be provided prior to the earlier of compliance assessment of the subdivision plan or the commencement of the use of the premises.

44 SQIDs maintenance management plan

In accordance with Vol 3 (Section 13) of the Land Development Guidelines, the applicant must submit to Council for approval, before Council will accept the works 'On Maintenance', a SQID Maintenance Management Plan (MMP) that is:

- a prepared by a Registered Professional Engineer Queensland (RPEQ) specialising in stormwater; and
- b developed in accordance with Council's Water Sensitive Urban Design Guidelines (2007), and with reference to the Water by Design document "Maintaining Vegetated Stormwater Assets" Version 1 February 2012.

The MMP should be a concise document suitable for use by field staff in carrying out day-to-day maintenance activities. The MMP must include, but not necessarily be limited to, the following key information:

- i Design intent and description of the device(s)
- ii The location and specific dimensions of the device(s)
- iii Approved / designed water quality objectives
- iv Water quality monitoring procedures
- v Monitoring frequency
- vi Specifications and procedures for device(s) maintenance
- vii Plant and equipment access details for maintenance activities
- viii Maintenance activity schedule defining frequency, area (m²) per maintenance zone, hours, staff, plant and equipment, approximate costs per rotation, and per annum
- ix Performance indicators / intervention levels / triggers for reactive maintenance
- x Any necessary preventative maintenance measures
- xi Acceptable solutions for specific items, i.e., acceptable plant species substitutions based on availability, hydraulic conductivity, water quality objectives, etc
- xii Defined maintenance zones, i.e., shallow water zone – 350m², ephemeral planting zone – 600m², etc (for wetlands in particular)
- xiii Approximate lifecycle maintenance costs

Prior to acceptance for 'Off Maintenance' the applicant must submit a report to Council providing details of water quality performance monitoring including any recommendations or corrective action taken throughout the maintenance / defects liability period ('On Maintenance').

Information Note:

The term Stormwater Quality Improvement Devices (SQID) is used to describe all built WSUD features, e.g., grassed swales, gross pollutant traps and various basins (detention, retention and sedimentation, etc).

EROSION AND SEDIMENT CONTROL

45 Erosion and sediment control

- a Sediment, erosion and dust control measures must be implemented generally in accordance with the approved report, being "Generations Industrial Park – Stormwater Management Plan" dated 20 June 2012 prepared by Hyder Consulting Pty Ltd and the Best Practice Erosion & Sediment Control (IECA Australasia, November 2008). Additional sediment, erosion and dust control measures must be implemented as directed by Council officers upon site inspection.
- b Immediately after backfilling behind all kerbing:
 - i A turf strip 1 metre wide must be placed behind all kerbing; and
 - ii A turf strip must be placed at 90 degrees to the kerb every 10 metres to prevent scouring along the turf edge, in accordance with Figure 2.5 (Application of Grassed Filter Strips down a slope) of the Best Practice Erosion & Sediment Control (IECA Australasia, November 2008).
- c Immediately after completion of the construction of an open drain:

- i The open drain must be turfed, unless approved otherwise in a Council approved stormwater management plan; and
 - ii A turf strip must be placed at 90 degrees to the invert every 10 metres to prevent scouring along the turf edge. Reinforced turf must be used where invert grades exceed 5%.
- d Sediment control structures (e.g., sediment fence) must be placed at the base of all materials imported on-site to trap any sediment runoff.
- e The following inspection program must be carried out until the site is fully rehabilitated:
 - i Regular inspections to ensure that adequate erosion control measures are in place and in good condition both during and after construction; and
 - ii Inspections after each storm event to assess the adequacy of the erosion control measures. The applicant must make good any damage or non-performing erosion control devices and clean up any sediment that has left the site or is on the roads within and external to the site.
- f To minimise unvegetated areas:
 - i Construction activities must be staged;
 - ii Filled areas must be seeded immediately on completion; and
 - iii No area should remain exposed (unvegetated) for more than 2 weeks unless construction work is being undertaken on that area.
- g All water from the site, including dewatering discharge, must be directed through a sediment pond prior to leaving the site. The sediment ponds or other approved devices are to be maintained in good condition until the site is fully rehabilitated.
- h Prior to discharging of any water from the site during construction, including dewatering discharge, the applicant must achieve the water quality objectives in Table 8.2.1 of the Queensland Water Quality Guidelines (DERM, September 2009).
- i Water quality must be monitored in accordance with Section 7.5 of the Best Practice Erosion & Sediment Control (IECA Australasia, November 2008) and compared with water quality objectives. A monitoring report must be prepared and retained at the site office and made available to Council's inspectors upon request. The applicant must notify Council's Contributed Asset Section and Department of Environmental and Resource Management of any non-compliance to water quality objectives and the corrective actions taken by the applicant within 48 hours of the non-compliance.
- j Water quality samples must be collected monthly during the first rainfall event of greater than 25mm in 24 hours. The sampling frequency shall be increased to fortnightly in case of any non-compliance to the construction phase water quality objectives until the above water quality objectives are achieved through additional corrective measures.

46 Construction of sediment basin

- a The sediment basin(s) proposed for construction phase must be designed in accordance with Appendix B of the Best Practice Erosion and Sediment Control (IECA Australasia, November 2008).
- b Each sediment basin must have the capacity to treat flows to current best practice standards and as a minimum must be designed to contain all the stormwater runoff from the 85th percentile 5 day rainfall depth and in addition be designed to store 2 months sediment from the receiving catchment, as determined using the Revised Universal Soil Loss Equation.
- c Sediment basins must be dewatered as soon as practicable after each rainfall event.
- d Sediment basins and associated structures such as inlets, outlets and spillways are designed and constructed to be structurally sound for 10 year ARI rainfall event under normal circumstances.
- e A high-flow bypass system must be included (if necessary) to prevent any potential re-suspension of accumulated sediment from the basin during major storm events.
- f Accumulated sediment from basins and other controls must be removed and disposed of appropriately without causing water contamination.

47 Inspections and reporting

- a All erosion and sediment control measures must be inspected on a weekly basis and following runoff events until the site is fully rehabilitated.
- b All drainage control structures such as Diversion Banks, Diversion Channels and Temporary Culvert Protections must be inspected daily to ensure they have not been damaged by machinery and are serviceable in readiness for the next rainfall event.
- c Where inspection indicates a non-conformance, a Non-Conformance Report must be generated. This report must include but not limited to the following:
 - i Details of the nature and cause of non-conformance; and
 - ii Details of the required corrective actions.
 - iii Corrective actions must be carried out within 24 hours where practicable or as agreed with the Construction Superintendent.
- d A monthly summary of Erosion and Sediment Control (ESC) performances must be compiled and retained at the site office and made available to Council's inspectors upon request. This report must include but not limited to the following:
 - i ESC Inspection Checklists;
 - ii Description of any incidents of non-conformance;
 - iii Results of corrective action; and
 - iv Revisions to the ESCP.

48 Detailed design and certification of erosion and sediment control measures

- a The development application for operational work (change to ground level and/or works for infrastructure) must be accompanied by site specific detailed design of erosion & sediment control measures, including (but not limited to) details of:
 - i Catchment boundary and overland flow path;
 - ii Estimated soil loss from each catchment;
 - iii Length, width and depth of each sediment basin;
 - iv Spillway details and levels;
 - v Energy dissipation/scour protection;
 - vi High flow bypass (if requires);
 - vii Value of each parameter used in the calculation of soil loss and volume of sediment basins;
 - viii Cross section, capacity and spacing of each catch/diversion drain;
 - ix Spacing of silt fences;
 - x Frequency and location of water quality monitoring;
 - xi Maintenance requirements and frequencies;
 - xii Maintenance access; and
 - xiii Contingency measures in case of failure to achieve the water quality objectives.
- b The applicant must also submit a certification from a qualified professional confirming that the above detailed drawings are prepared in accordance with the Best Practice Erosion & Sediment Control (IECA Australasia, November 2008) and best industry practices.

GEOTECHNICAL

49 Geotechnical report to be complied with

All future earthworks over the subject site must be designed following the advice and recommendations of the geotechnical report, being 'Broad Geotechnical Assessment, Proposed Industrial Development, Lot 1 on RP6882 and Lot 240 on W31320, Stapylton Jacobs Well Road and Christensen Road, Stapylton', prepared by Morrison Geotechnic Pty Ltd, Job No. GE11/002 and dated February 2011.

50 Retaining structures design

- a Retaining structures and associated footings must be designed in accordance with AS 4678 – 2002 Earth-retaining structures.
- b Retaining structures and associated footings must comply with the Planning Scheme Policy 11 - Land Development Guidelines, Standard Specifications and Drawings including in particular, but not limited to:
 - i Section 3.2.7 (Cut/fill batters and earth retaining structures); and
 - ii Section 7.7 (Building near or over Council water, sewer and/or stormwater services).
- c Retaining structures over the subject site must not exceed 5.0 metres in height.
- d Retaining structures must be made of durable materials not subject to rot and insect attack and have a minimum design life of 60 years.

51 Cut and fill batters design

- a Cut/fill batters must be constructed in accordance with section 3.2.7 of Planning Scheme Policy 11 - Land Development Guidelines, Standard Specifications and Drawings.
- b All platforms resulting from cutting/filling must have a minimum slope of 1 in 150 and comply with Planning Scheme Policy 11 – Land Development Guidelines, Standard Specifications and Drawings for drainage of allotments to the street.
- c Benching is required where any proposed freestanding batter height exceeds 2.5 metres. The minimum width of benching must be 1 metre with a minimum slope of 1 in 100 towards the lower face. The absolute maximum height of any freestanding cut/fill batter with benching is 5 metres, unless otherwise approved in writing by the Chief Executive Officer.

WASTEWATER

52 Reduced infiltration gravity wastewater reticulation

The development must be connected to reduced infiltration gravity wastewater reticulation by gravity solution, at the applicant's cost.

53 General wastewater servicing arrangement

Unless otherwise determined by Gold Cast Water, the wastewater servicing arrangements shall be generally in accordance with the following:

- a Connect Stage 1 to Council's existing live 100mm diameter sewer rising main located within the southern verge of Stapylton Jacobs Well Road via an interim trunk sewer pump station to be contained within the Stage 1 road reserve extent (refer to drawing no. 5941 ENG EXTSEW SK003 Rev B prepared by Gassman Development Perspectives dated 12-11-2020);
- b The balance of Stage 2 and Stage 3 shall gravitate into Council's future trunk wastewater network located on the Christensen Road frontage of the subject site.

54 Connection point

The applicant must submit to Gold Coast Water and obtain approval prior to making any development application for a Development Permit or Building Work:

- a Pump Station BE45 catchment (part of Stage 1):
 - i Demonstrate development can be connected by gravity to BE45,
- b Proposed new pump station near Stapylton-Jacobs Well Road (balance of Stage 1 and part of Stage 2 that's drains to this new pump station):
 - i Demonstrate that downstream wastewater infrastructure has sufficient capacity to accommodate the new wastewater pump station;
 - ii Demonstrate an ability to deliver the new wastewater pump station in time to service the proposed development.
- c Long Term Strategy (balance of Stage 2, and Stage 3):
 - i Demonstrate that balance of Stage 2 gravitates to Stage 3; and
 - ii Demonstrate that downstream wastewater infrastructure has sufficient capacity to accommodate the development.

Note: The development is out of sequence in respect of wastewater services. The wastewater network scenario may change as a result of the future planning of the Beenleigh, Stapylton and Pimpama Wastewater Treatment plants. The applicant is advised to liaise with Gold Coast Water. Cancelled

55 Wastewater pump stations

Wastewater pump stations, rising main and emergency storage must be designed and constructed in accordance with Council's Policy 11 – Land Development Guidelines standards, at no cost to Council and are to:

- a Provide legal access to the pump station,
- b Provide a separate electrical power,
- c Provide a separate water service and meter.

56 Location and transfer of wastewater pump station land

The site of any wastewater pump station and associated access driveways, that will be owned and maintained by Council, must be transferred, in freehold and at the applicant's cost, at the earlier of making an application for Building Work, request for a compliance assessment for a Development Permit or prior to the commencement of the use.

57 Completion of external wastewater connections

All external wastewater connections (including the completion of all infrastructure downstream of the development site to the point of connection and approved augmentation works) must be completed in accordance with engineering plans approved by Council prior to the earlier of making an application for Building Work, request for a compliance assessment for a Development Permit or commencement of the use of the premises.

58 Connections – arrangements with Gold Coast Water

All live connections are to be performed by Gold Coast Water at the applicant's cost. The applicant must liaise with Gold Coast Water's Field Services and Construction Branch (phone 5581 7564) to make arrangements for the connection and to obtain a quotation for the work.

59 No building work over/within Council's wastewater infrastructure easements and minimum distance from Gold Coast Water infrastructure

- a No structure or building work is permitted over/within any public utility easements (Gold Coast Water/Council).
- b All proposed buildings and structures must be located a minimum distance of 2 metres from Gold Coast Water infrastructure (i.e., Water or wastewater infrastructure that become contributed assets) and comply with Gold Coast City Council Planning Scheme Policy 11 – Land Development Guidelines, Standard Specifications and Drawings.

WATER SUPPLY RETICULATION

60 Cancelled

61 Design, construction and standard of water supply reticulation

The design, construction and standard of the required water supply reticulation infrastructure to be carried out by the applicant (including all water supply reticulation infrastructure to be dedicated to Council) must be in accordance with Gold Coast City Council Planning Scheme Policy 11 – Land Development Guidelines, Standard Specifications and Drawings.

62 Connection point

- a The existing 225mm main in Stapylton Jacobs Well Road, De Bortoli Street and Christensen Road must be used as the potable water supply connection point, unless otherwise approved by Gold Coast Water.
- b Deleted.
- c Deleted.
- d Deleted.

63 Water reticulation schematic plan and network analysis

- a The applicant must submit to Gold Coast Water and obtain approval of a potable water reticulation schematic plan and network analysis of the overall development prior to the earlier

of the making of any development applications for Operational Work (works for infrastructure) or for Plumbing and Drainage Work.

- b In preparing the plan/analysis, the applicant must liaise with Gold Coast Water to ensure appropriate allowance is made for connectivity with external mains and external demands.

64 Cancelled

65 Supply standard

The applicant must provide water supply to the standard specified in Section 4 and 7 of Gold Coast City Council's Land Development Guidelines.

66 Fire loading

Fire loading must not exceed 30L/s for commercial and industrial uses, unless otherwise approved by Gold Coast Water.

67 Cancelled

REFERRAL AGENCY CONDITIONS

68 Cancelled

FAUNA MANAGEMENT

69 Relocation of active Wedge-tailed eagles nest within Precinct C

Prior to any clearing within Precinct C, a relocation program shall be developed by the applicant, lodged with Council and approved by Council for the relocation of the active wedge-tailed eagles nest (*Aquila audax*). The program shall detail the specific requirements for the relocation of the nest. All works shall occur in accordance with the requirements of the relocation program and in liaison with Councils Environmental Planning section.

Please note, a relocation pole of similar height and dimension to the existing nesting tree will be required.

ADVISORY NOTES TO APPLICANT

A Referral agencies

The referral agencies (and their addresses) for the application are listed below.

Any referral agency conditions are identified in the conditions of approval.

Referral agency	Address	Jurisdiction
Department of Natural Resources and Mines (Previously Department of Environment and Resource Management)	Permit and Licence Management GPO BOX 2454 BRISBANE QLD 4001	Concurrence and Advice Agency – For the purposes of the Vegetation Management Act and for the purposes of the Environmental Protection Act
Department of Transport and Main Roads	South Coast Region Land Management PO BOX 442 NERANG QLD 4211	Concurrence Agency – for the purposes of the Transport Infrastructure Act
Department of State Development Infrastructure and Planning	PO BOX 15009 CITY EAST QLD 4002	Concurrence Agency – for the purposes of the Act

B Properly made submissions

There were properly made submissions about the application. The name and address of the principal submitter for each properly made submission is attached to the decision notice.

C Rights of appeal

The applicant has a right of appeal to the Planning and Environment Court regarding this decision, pursuant to section 461 of the Sustainable Planning Act 2009. A copy of that section is attached to the decision notice.

For particular material changes of use, an appeal can also be made to a Building and Development Committee. Please refer to the prerequisites in sections 519 and 522 of the Sustainable Planning Act 2009, attached to this decision notice, to determine whether you have appeal rights to a Building and Development Committee.

Submitters who made properly made submissions have a right of appeal to the Planning and Environment Court regarding this decision, pursuant to section 462 of the Sustainable Planning Act 2009. A copy of that section is attached to the decision notice.

D Applicant responsibilities

The applicant is responsible for securing all necessary approvals and tenure, providing statutory notifications and complying with all relevant laws.

Nothing in this decision notice alleviates the need for the applicant to comply with all relevant local, State and Commonwealth laws and to ensure appropriate tenure arrangements have been made where the use of/reliance upon land other than that owned by the applicant is involved. Without limiting this obligation, the applicant is responsible for:

- a Obtaining all other/further necessary approvals, licences, permits, resource entitlements etc by whatever name called required by law before the development the subject of this approval can be lawfully commenced and to carry out the activity for its duration;
- b Providing any notifications required by law (by way of example only, to notify the administering authority pursuant to the Environmental Protection Act 1994 of environmental harm being caused/threatened by the activity, and upon becoming aware the premises is being used for a 'notifiable activity');
- c Securing tenure/permission from the relevant owner to use private or public land not owned by the applicant (including for access required by conditions of approval);
- d Ensuring the correct siting of structures on the land. An identification survey demonstrating correct siting and setbacks of structures may be requested of the applicant to ensure compliance with this decision notice and applicable codes;
- e Providing Council with proof of payment of the Portable Long Service Leave building construction levy (or proof of appropriate exemption) where the value of the Operational Works exceeds \$80,000. Acceptable proof of payment is a Q. Leave – Notification and Payment Form approved by the Authority. Proof of payment must be provided before Council can issue a development permit for the Operational Works. This is a requirement of section 77(1) of the Building and Construction Industry (Portable Long Service Leave) Act 1991; and
- f Making payment of any outstanding Council rates and charges applicable to the development site prior to the lodgement of subdivision plans.

E Indigenous cultural heritage legislation and duty of care requirement

The Aboriginal Cultural Heritage Act 2003 ('AHCA') is administered by the Department of Environment and Resource Management (DERM). The AHCA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:

- a Is not negated by the issuing of this development approval;
- b Applies on all land and water, including freehold land;
- c Lies with the person or entity conducting an activity; and
- d If breached, is subject to criminal offence penalties.

Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care.

Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the AHCA.

The applicant should contact DERM's Cultural Heritage Coordination Unit on (07) 3238 3838 for further information on the responsibilities of developers under the AHCA.

F Greenhouse gas emissions

As part of Council's commitment to reducing greenhouse gas emissions Council is encouraging the expansion of the natural gas reticulation network. In particular, the use of natural gas hot water systems will result in significantly less greenhouse gas emissions than equivalent electric storage hot water systems.

The applicant should contact the local natural gas reticulator (APA Group) to arrange an assessment of the suitability of the proposed development for connection to the existing gas reticulation network. Please contact Ramon O'Keefe on 0438708798 or email: ramon.o'keefe@apa.com.au.

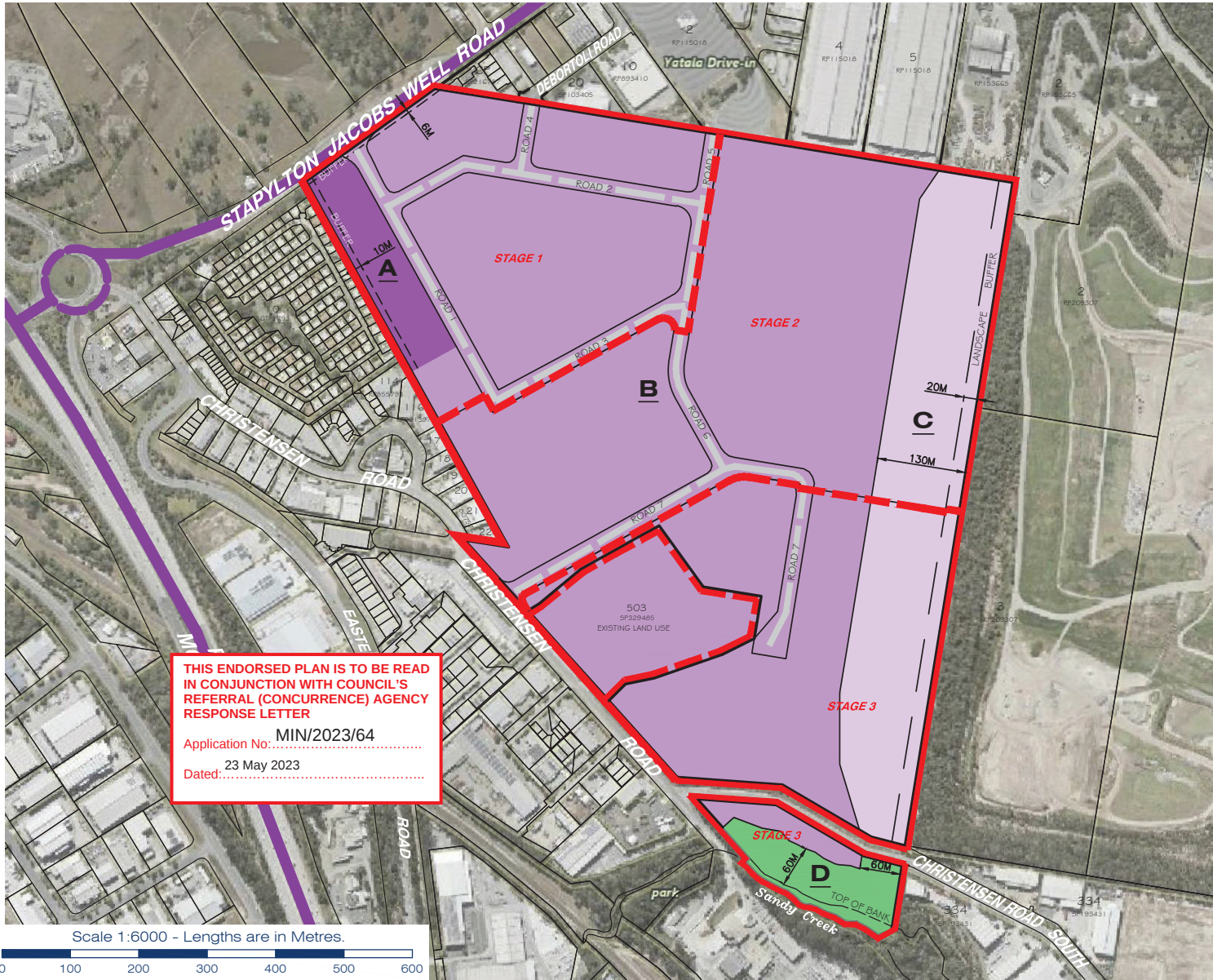
G Infrastructure charges

Infrastructure charges have not been calculated or imposed for this Material Change of Use, as it is a Preliminary Approval under Section 242 of the Sustainable Planning Act 2009. Infrastructure charges will be assessed and charged at the time of subsequent development permit/s for Material Change of Use or Building Work.

PROPERTY NOTIFICATION

A Noise/Acoustic

There are development approval conditions applicable in relation to acoustic issues on this lot/subsequent lots. All property owner(s) must ensure compliance with these conditions. Refer to Council of the City of Gold Coast's Decision Notice MIN/2023/64. A copy of Council's Decision Notice is available for viewing on Council's website www.goldcoastcity.com.au/pdonline



**THIS ENDORSED PLAN IS TO BE READ
IN CONJUNCTION WITH COUNCIL'S
REFERRAL (CONCURRENCE) AGENCY
RESPONSE LETTER**

Application No: MIN/2023/64
Dated: 23 May 2023

Scale 1:6000 - Lengths are in Metres.

0 100 200 300 400 500 600

LEGEND
Site Area: 73.67Ha

- Limit of Application
- - - Stage Boundary
- Major State controlled Roads
- Possible future industrial collector road

■	A	LOW IMPACT AND SERVICE INDUSTRY	2.41Ha
■	B	GENERAL IMPACT BUSINESS & INDUSTRY	57.17Ha
■	C	LIMITED GENERAL IMPACT BUSINESS & INDUSTRY	12.19Ha
■	D	OPEN SPACE / RESERVE	1.91Ha

STAGE	AREA
STAGE 1	19.45Ha
STAGE 2	29.76Ha
STAGE 3	24.45Ha

NOTE:

1. The landscaped buffer areas shall be established and maintained for the life of the development. No building works are to occur within the landscape buffer areas unless otherwise approved by the Chief Executive Officer;

Project:

VantageYatala

Client:



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Drawing Title:

**Land Use Classification
and Staging Plan**

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